

# SITE DEVELOPMENT PLANS FOR 271 CANTON STREET

MAP 43 LOT 118  
STOUGHTON, MASSACHUSETTS

OWNER/APPLICANT:

SUBURBAN ELECTRIC CONTRACTING, INC  
339 CANTON STREET  
STOUGHTON, MA 02072

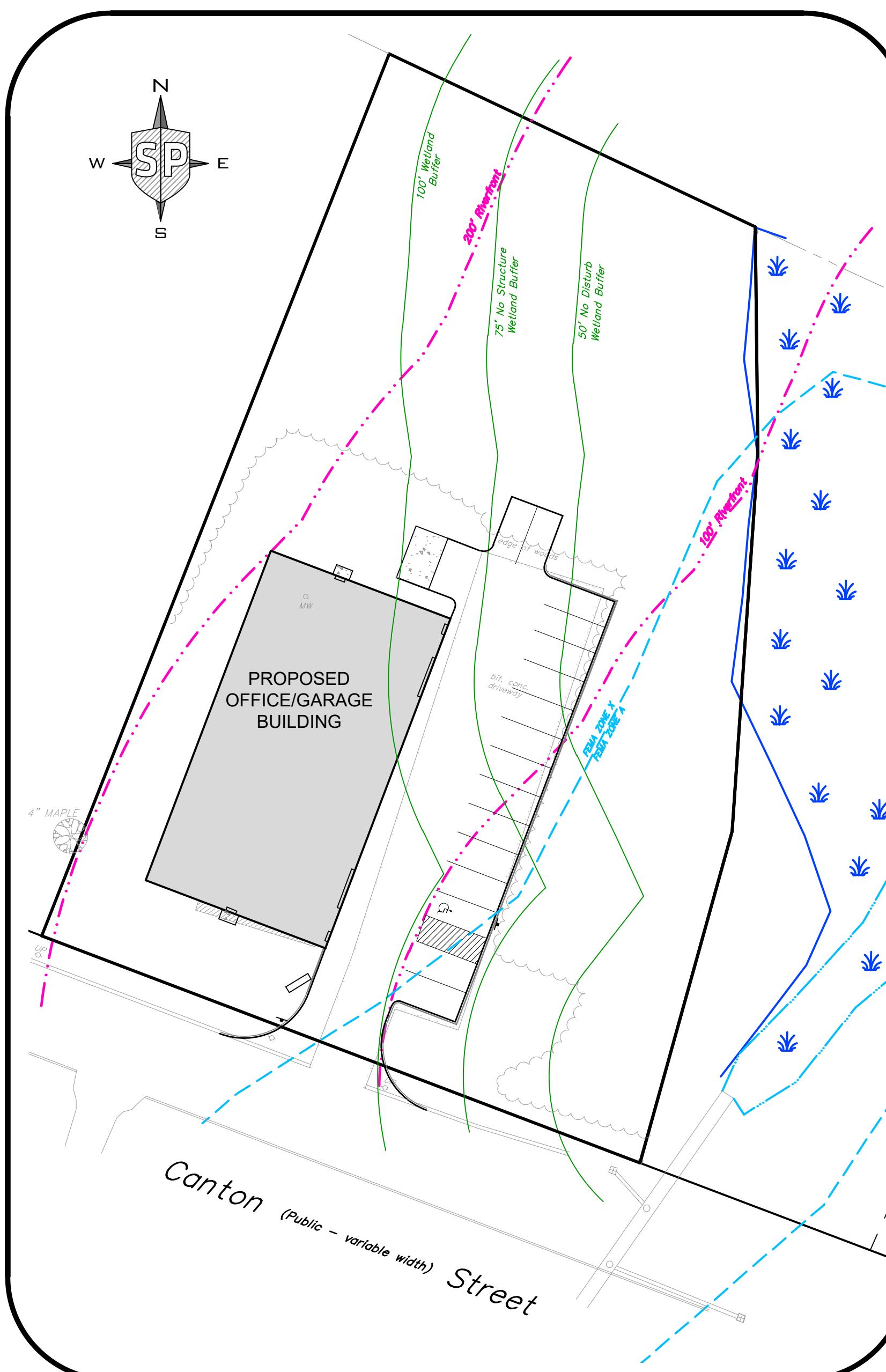
CIVIL ENGINEER :



LAND SURVEYOR:

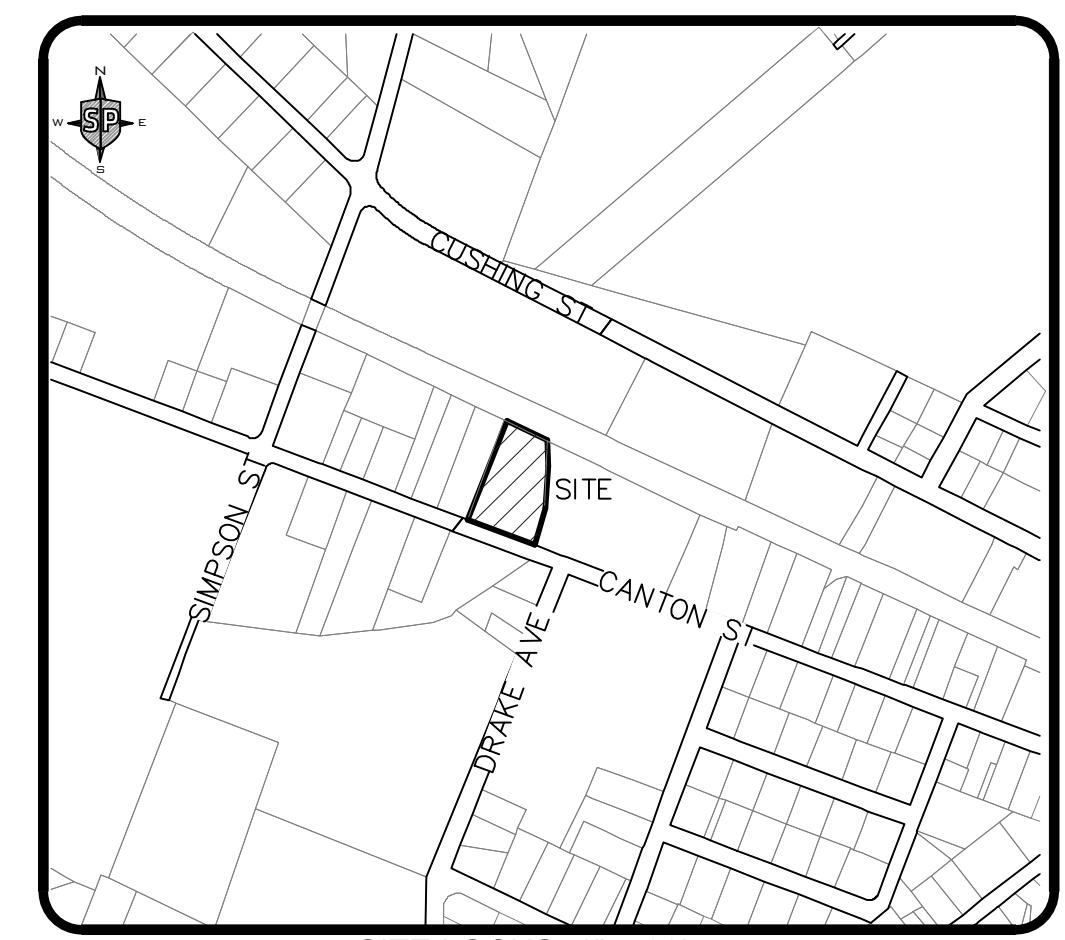


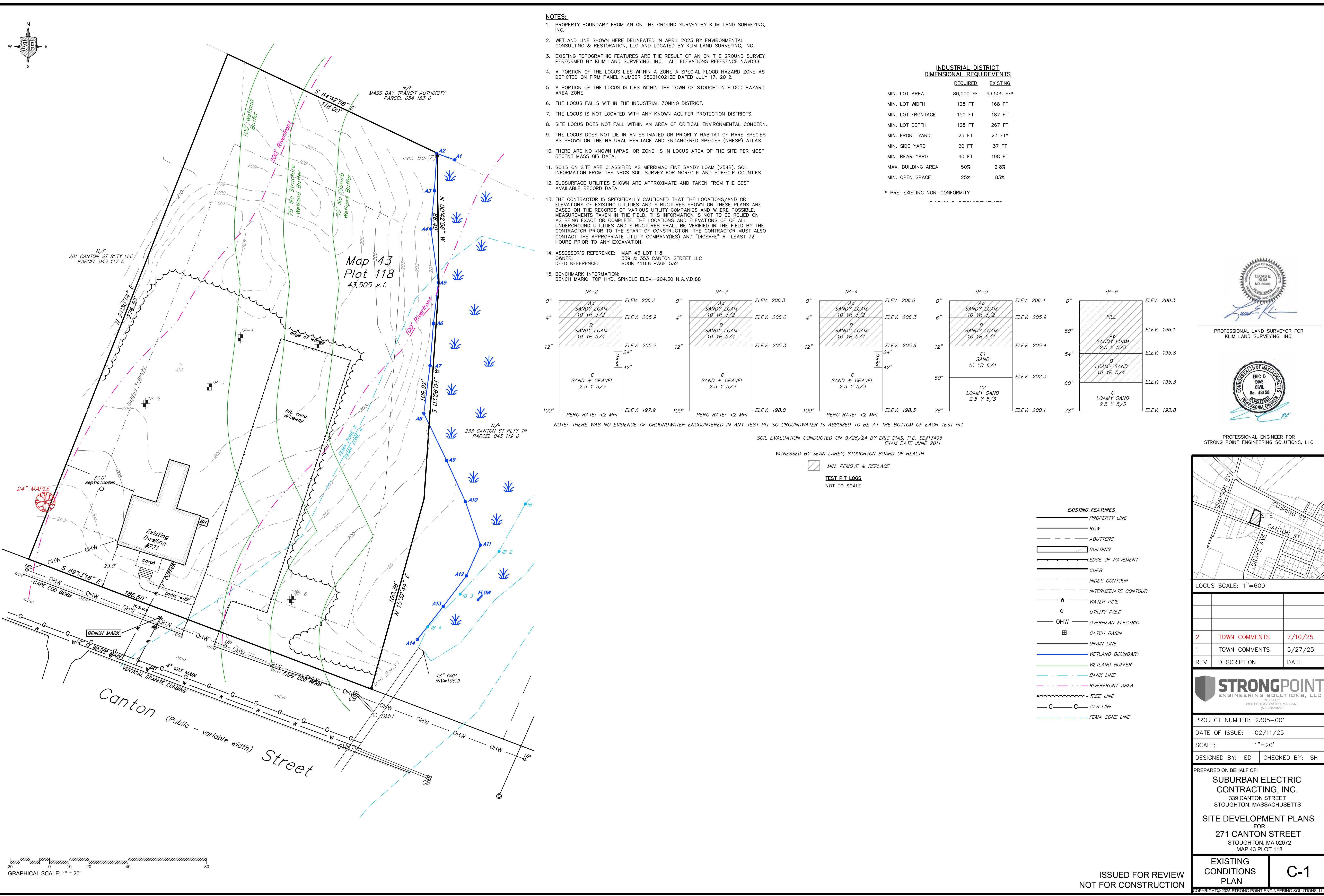
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West Bridgewater, MA  
508-386-0124

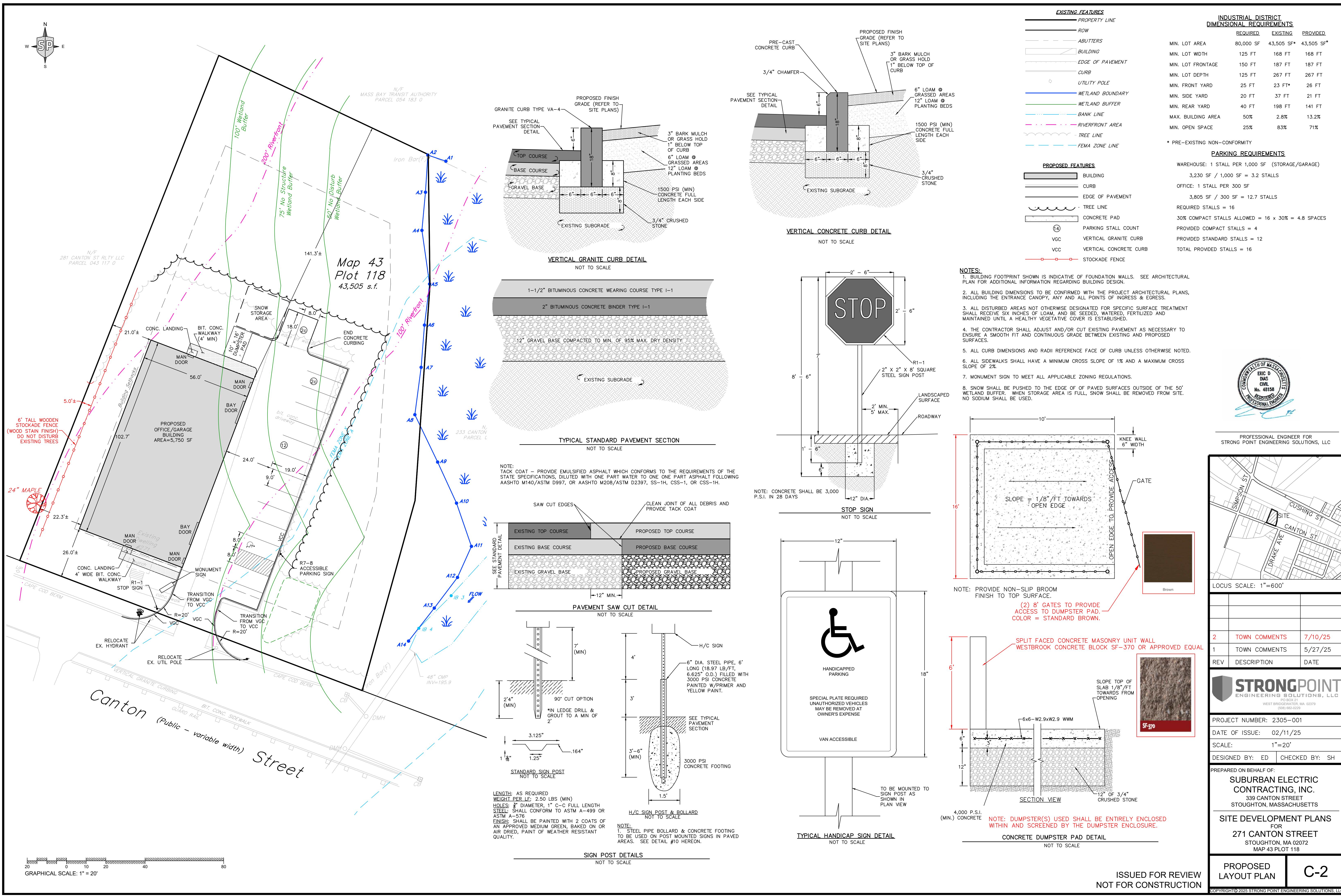


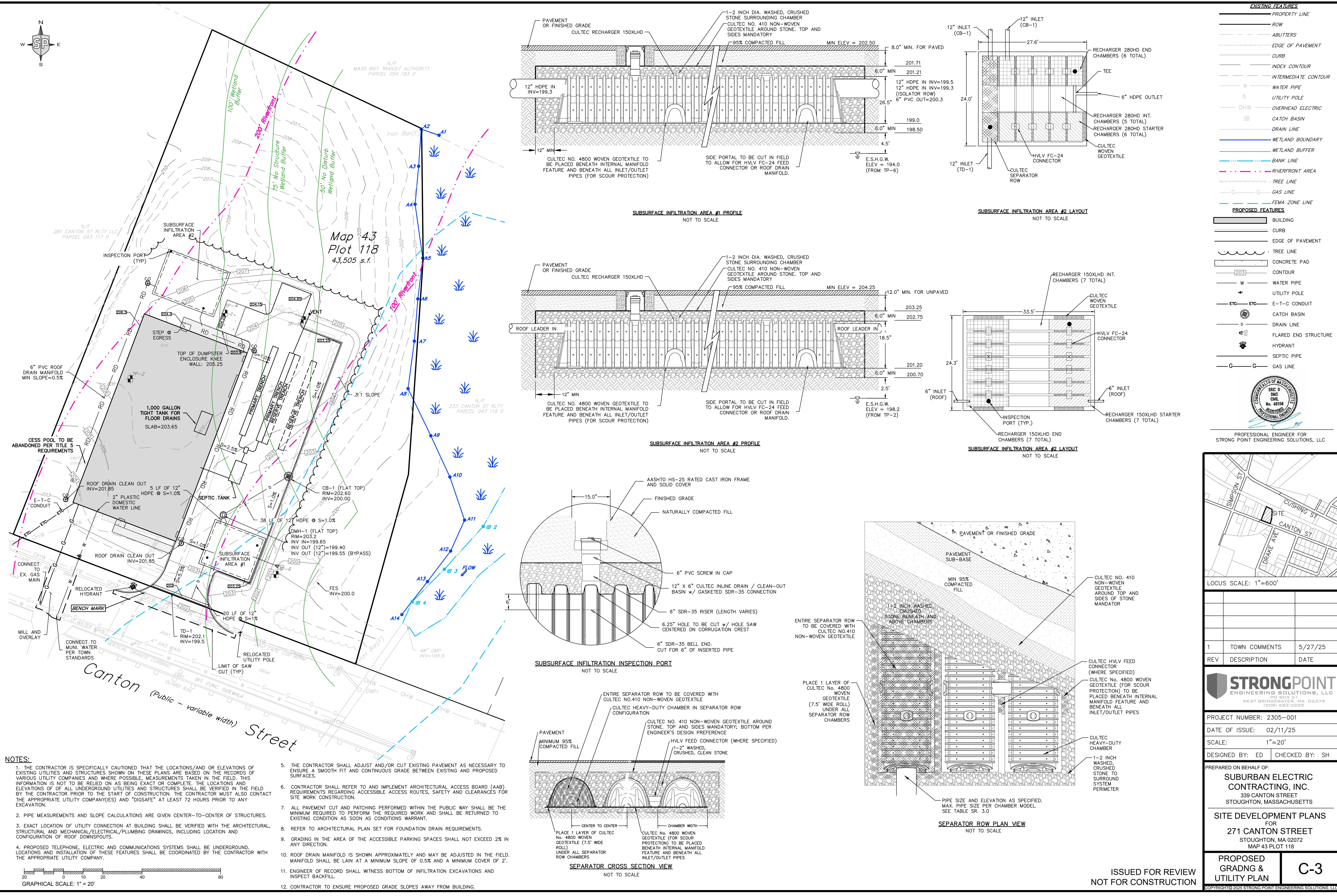
**SHEET INDEX**

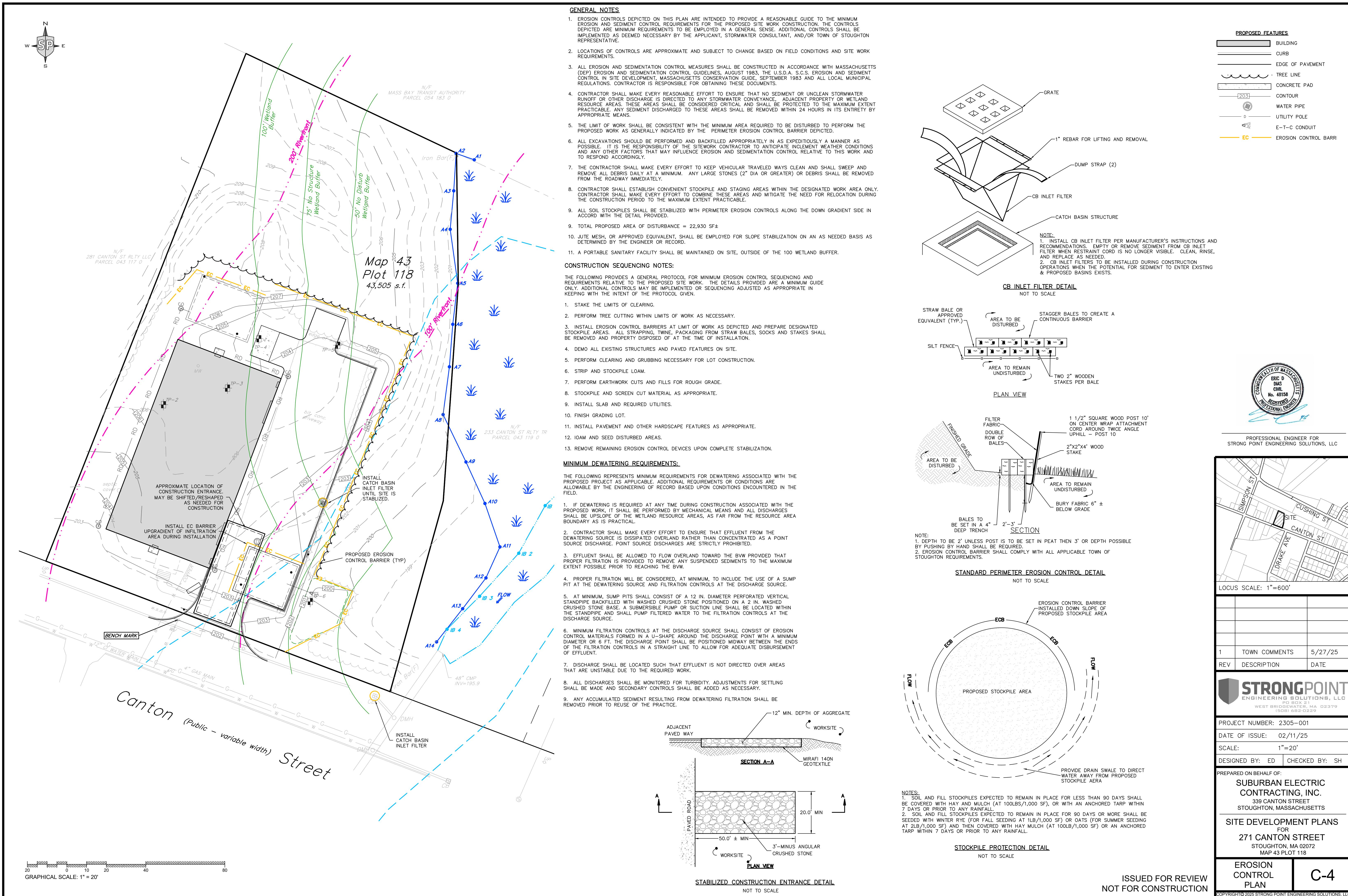
SHEET	NAME	ISSUED	REVISED
C-1	EXISTING CONDITIONS PLAN	02/11/25	07/10/25
C-2	PROPOSED LAYOUT PLAN	02/11/25	07/10/25
C-3	PROPOSED UTILITY & GRADING PLAN	02/11/25	05/27/25
C-4	PROPOSED EROSION CONTROL PLAN	02/11/25	05/27/25
C-5	PROPOSED LANDSCAPING & LIGHTING PLAN	02/11/25	07/10/25
NOI-1	NOTICE OF INTENT PLAN	02/11/25	05/27/25
D-1	DETAIL SHEET	02/11/25	05/27/25
PB-1	PLANNING BOARD ENDORSEMENT	02/11/25	08/27/25





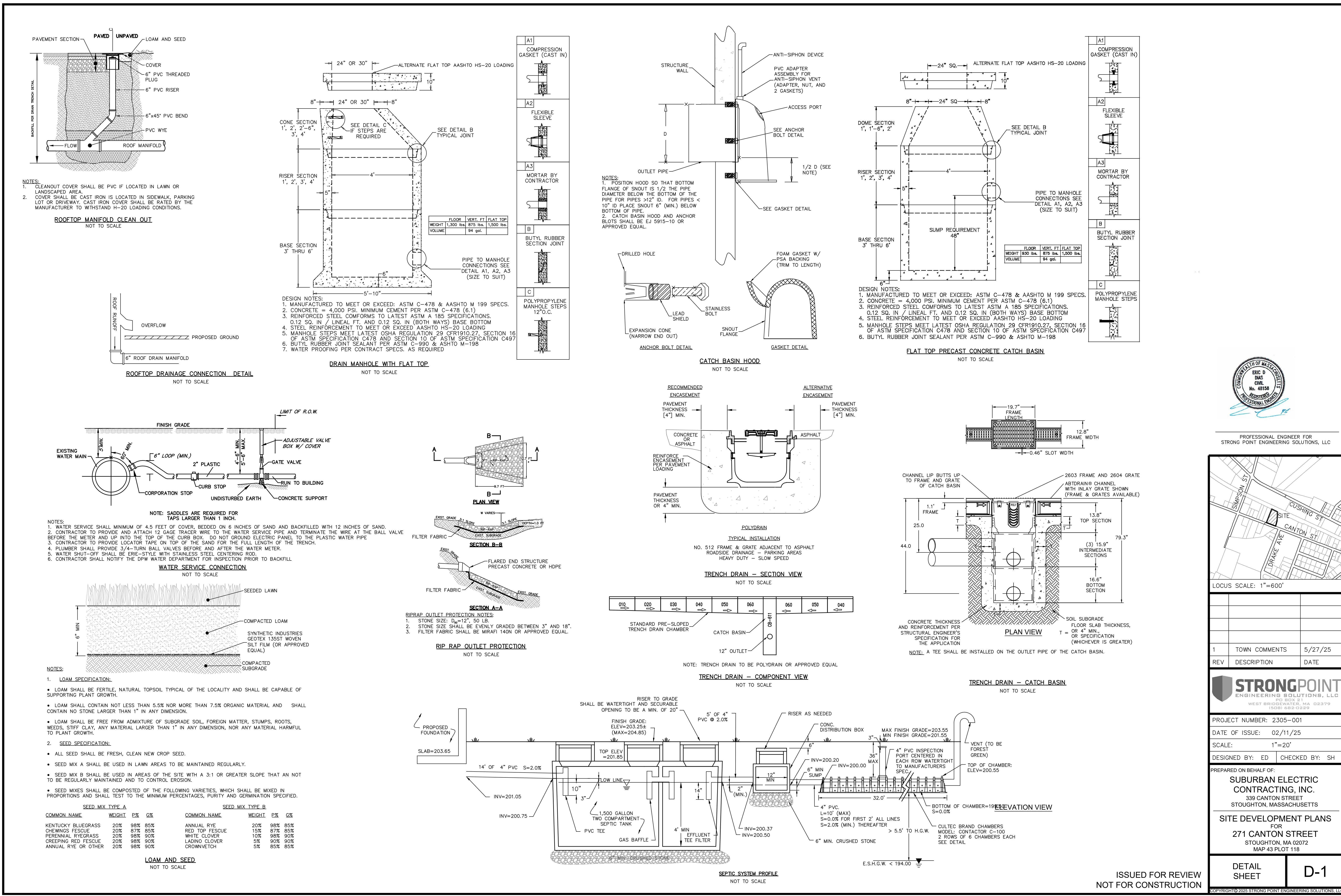








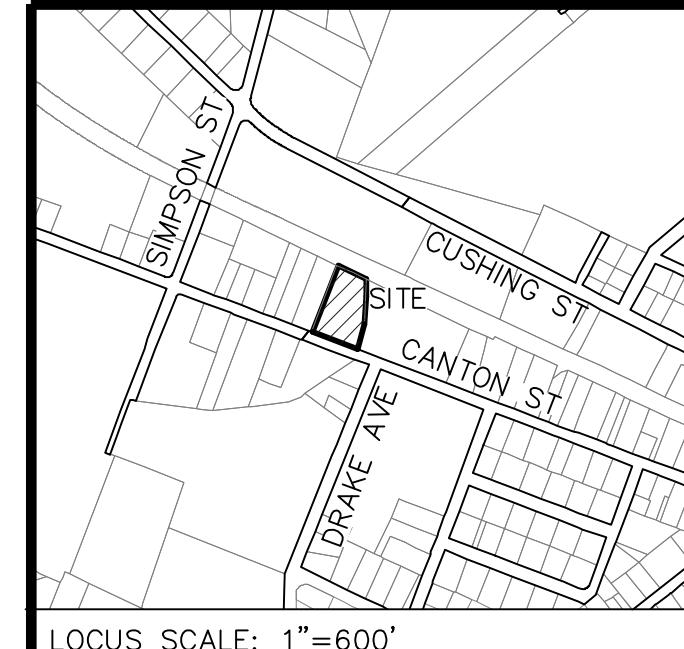




<p>Bk 42612 Pg455 #59652 08-27-2025 @ 10:06a</p> <p>RECEIVED TOWN OF STOUGHTON, MASS. 2025 JUL 19 A 10:16</p> <p><b>TOWN OF STOUGHTON</b> Massachusetts MA 02072</p> <p><b>PLANNING BOARD</b></p> <p><b>Site Plan Approval</b> Suburban Electric Contracting, Inc. 271 Canton Street for Case # SP25-006</p> <p>Date: July 17, 2025</p> <p>Applicant: Suburban Electric Contracting, Inc. Attn: Richard Piazza 339 Canton Street Stoughton MA, 02072</p> <p>Owner: 339 &amp; 353 Canton Street LLC c/o: Richard Piazza 339 Canton Street Stoughton MA, 02072</p> <p>Representative: Eric Dias Strongpoint Engineering, Inc. 340 Manley Street, Unit 2 West Bridgewater, MA 02379</p> <p>Property: 271 Canton Street Stoughton, MA 02072 Assessors Map 43; Lot 118 Book: 41168, Page: 532</p> <p><b>I) Project Summary</b> On February 18, 2025, applicant, Richard Piazza, Suburban Electric Contracting, Inc. ("Applicant"), filed an application for Site Plan Approval under Section 10.6 of the Town of Stoughton's Zoning Bylaws. The Site Plan Review under Section 10.6 is to construct a 6,995 +/- SF industrial office/contractor bay building with 16 parking spaces, landscaping and stormwater drainage system ("Project"), at and upon land known and numbered as 271 Canton Street (Assessors Map 43; Lot 118 the "Property"). The applicant has requested waivers to Section 10.6.10 to not provide a traffic report, Visual Impacts Assessment, Environmental Assessment, Economic Impact Assessment, and Community Impact</p> <p>Case #: SP25-006 – Site Plan- 271 Canton Street – Suburban Electric Contracting, Inc.</p> <p>WILLIAM P. O'DONNELL, REGISTER NORFOLK COUNTY REGISTRY OF DEEDS RECEIVED &amp; RECORDED ELECTRONICALLY</p>	<p>Bk 42612 Pg456 #59652</p> <p>Assessment. The land area is +/- 1 acre. The Project is located within the Industrial (I) Zoning District.</p> <p><b>II) Procedural History</b></p> <p>A) A Site Plan Application was filed by the above referenced applicant with the Planning Board on February 18, 2025.</p> <p>B) The hearing was advertised on March 12, 2025 and March 19, 2025 in the Patriot-Ledger.</p> <p>C) Public hearings on the Site Plan were held on March 27, 2025, June 26, 2025, and July 17, 2025.</p> <p>D) On July 17, 2025, the public hearing was closed and on July 17, 2025, the Planning Board voted to approve the Site Plan and Waivers.</p> <p><b>III) Application Submittals</b></p> <p>A. Site Plan Application submitted February 18, 2025.</p> <p>B. Site Plan entitled "Site Development Plans – 271 Canton Street" prepared by Strongpoint Engineering, dated February 11, 2025 and revised July 10, 2025.</p> <p>C. Site Plan Cover Letter, Narrative and Development Impact Report, prepared by Strongpoint Engineering, dated February 17, 2025.</p> <p>D. Stormwater Management Report prepared by Strongpoint Engineering, dated February 11, 2025 and revised May 27, 2025.</p> <p>E. Architectural floor plans and colored elevations prepared by AD Architects dated February 26, 2025 and revised July 10, 2025.</p> <p>F. Applicant response letter dated May 27, 2025 to the Town's First Technical Review memo.</p> <p>G. Applicant response letter dated July 10, 2025 to the Town's Second Technical Review memo.</p> <p><b>IV) Related Documents</b></p> <p>1. Copy of the Legal Public Hearing notice from the edition of the Patriot-Ledger dated March 12, 2025 and March 19, 2025.</p> <p>2. Two Technical Engineering Review Letters dated March 24, 2025 and June 16, 2025 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner.</p> <p><b>V) Findings and Determinations</b> After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 10.6.1 as well as 10.6.9 through 10.6.12 Specifically,</p> <p>Case #: SP25-006 – Site Plan- 271 Canton Street – Suburban Electric Contracting, Inc.</p>	<p>Bk 42612 Pg457 #59652</p> <p>the Board has examined each of the criteria set forth in Section 10.6.1 and finds as follows:</p> <ol style="list-style-type: none"> <li>1. The location of the parking area, uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.</li> <li>2. Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff, and glare of lights.</li> <li>3. Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection, and methods of solid waste disposal are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.</li> <li>4. Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed, and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.</li> <li>5. Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The property was previously developed.</li> <li>6. Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.</li> <li>7. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department, and the Planning Department, the Planning Board analyzed all the comments, and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.</li> <li>8. The Planning Board, in granting the Applicant's request for a Site Plan Approval and Stormwater Management Permit pursuant to the provisions of Section 10.6 "Site Plan Review" and Town Code Chapter 159 "Stormwater Management", found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.</li> </ol> <p>Case #: SP25-006 – Site Plan- 271 Canton Street – Suburban Electric Contracting, Inc.</p>
<p>Bk 42612 Pg458 #59652</p> <p><b>VI) Site Plan Waivers</b> The applicant has requested waivers to Section 10.6.10 to not provide a traffic report, Visual Impacts Assessment, Environmental Assessment, Economic Impact Assessment and Community Impact Assessment.</p> <p>The property was formerly a house, as where many of the lots along Canton Street, that have since been developed into smaller commercial businesses. Canton Street is fully constructed and of sufficient width and road surface. The proposed project is not of sufficient size to require a traffic Study, Economic Impact Assessment and Community Impact Assessment. The site has wetlands, has gone through the NOI process with the Conservation Commission, and an Order of conditions has been issued. Therefore, an Environmental Assessment is also not necessary.</p> <p>The Planning Board after review of the application and public testimony, find that the requested waivers are reasonable and no substantial detriment would result. Therefore, the waiver requests are approved subject to the findings and conditions contained within this report.</p> <p><b>VII) Conditions</b></p> <p>A) General Conditions</p> <ol style="list-style-type: none"> <li>1. This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.</li> <li>2. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.</li> <li>3. The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.</li> <li>4. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.</li> <li>5. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.</li> <li>6. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.</li> <li>7. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.</li> </ol> <p>Case #: SP25-006 – Site Plan- 271 Canton Street – Suburban Electric Contracting, Inc.</p>	<p>Bk 42612 Pg459 #59652</p> <p>8. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.</p> <p>9. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first, in accordance with the fee schedule dated March 23, 2017.</p> <p>10. The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.</p> <p>11. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first.</p> <p>12. Electronic copies of the approved site plans in PDF and AutoCAD format, shall be submitted to the Engineering Department prior to the issuance of a Building Permit.</p> <p>13. A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.</p> <p>14. All construction shall be in strict conformance with the approved plans as follows:</p> <ol style="list-style-type: none"> <li>a. Site Plan entitled "Site Development Plans – 271 Canton Street" prepared by Strongpoint Engineering, dated February 11, 2025 and revised July 10, 2025.</li> <li>b. Architectural floor plans and colored elevations prepared by AD Architects dated February 26, 2025 and revised July 10, 2025.</li> </ol> <p>15. The applicant shall record the Site Operation &amp; Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit.</p> <p>16. The applicant shall clean the entire drainage system at the end of construction.</p> <p>17. A Final As-built Plan shall be submitted for review by the Engineering Department prior to the issuance of a Certificate of Occupancy.</p> <p>18. The Planning Board requires a cash bond in the amount to cover 50% of the replacement cost of all landscaping prior to the issuance of a Certificate of Occupancy. The bond will be held by the Planning Board for one full growing season after the landscaping is installed.</p> <p>Case #: SP25-006 – Site Plan- 271 Canton Street – Suburban Electric Contracting, Inc.</p>	<p>Bk 42612 Pg460 #59652</p> <p>B) Special Conditions</p> <ol style="list-style-type: none"> <li>1. None</li> </ol> <p><b>VIII) Record of Vote</b> The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Stormwater Management Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.</p> <p>On this day of July 17, 2025.</p> <p><i>Daniel Kelly, Chairman</i> Daniel Kelly, Chairman</p> <p><i>Paul Demus</i> Paul Demus, Vice Chairman</p> <p><i>Paul Deliveau</i> Paul Deliveau</p> <p><i>Richard Terry</i> Richard Terry</p> <p><i>Peter Murphy</i> Peter Murphy</p> <p>cc: Town Clerk Applicant Interested Parties</p> <p><b>CERTIFICATION:</b> The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on <u>July 18, 2025</u>.</p> <p><b>FOR THE PLANNING BOARD</b></p> <p><i>Daniel Kelly, Chairman</i> Daniel Kelly, Chairman</p> <p>Case #: SP25-006 – Site Plan- 271 Canton Street – Suburban Electric Contracting, Inc.</p>



PROFESSIONAL ENGINEER FOR  
STRONG POINT ENGINEERING SOLUTIONS, LLC



3	PB ENDORSEMENT	8/27/25
2	TOWN COMMENTS	7/10/25
1	TOWN COMMENTS	5/27/25
REV	DESCRIPTION	DATE

**STRONGPOINT**  
ENGINEERING SOLUTIONS, LLC  
PO BOX 200  
WEST BRIDGEWATER, MA 02379  
(508) 662-0229

PROJECT NUMBER: 2305-001  
DATE OF ISSUE: 02/11/25  
SCALE: 1"=20'  
DESIGNED BY: ED CHECKED BY: SH

PREPARED ON BEHALF OF:  
**SUBURBAN ELECTRIC  
CONTRACTING, INC.**  
339 CANTON STREET  
STOUGHTON, MASSACHUSETTS

**SITE DEVELOPMENT PLANS  
FOR  
271 CANTON STREET  
STOUGHTON, MA 02072  
MAP 43 PLOT 118**

PLANNING  
BOARD  
DECISION

PB-1

ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION

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