

SITE DEVELOPMENT PLANS FOR 271 CANTON STREET

MAP 43 LOT 118
STOUGHTON, MASSACHUSETTS

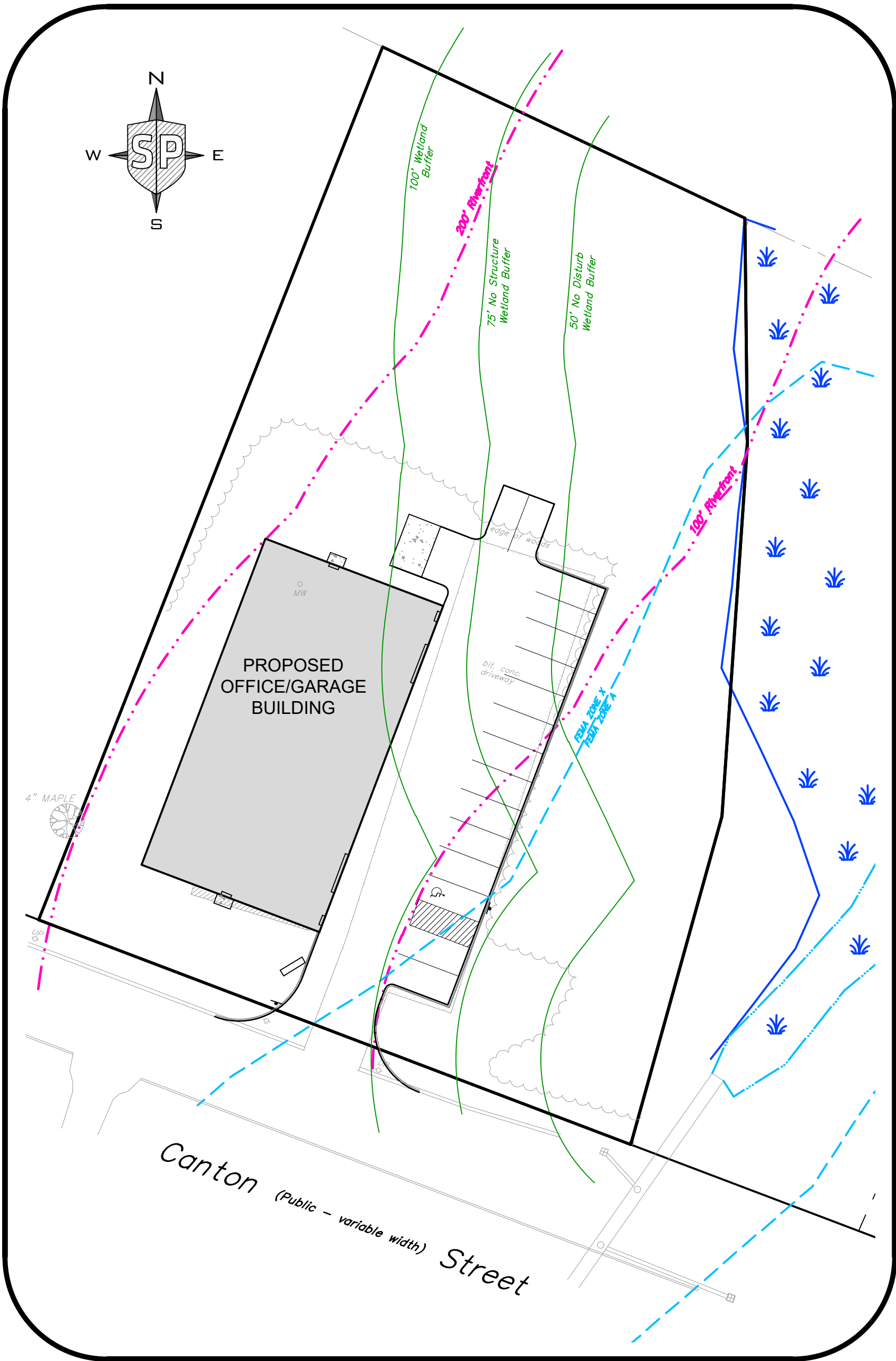
OWNER/APPLICANT:

SUBURBAN ELECTRIC CONTRACTING, INC
339 CANTON STREET
STOUGHTON, MA 02072

CIVIL ENGINEER :

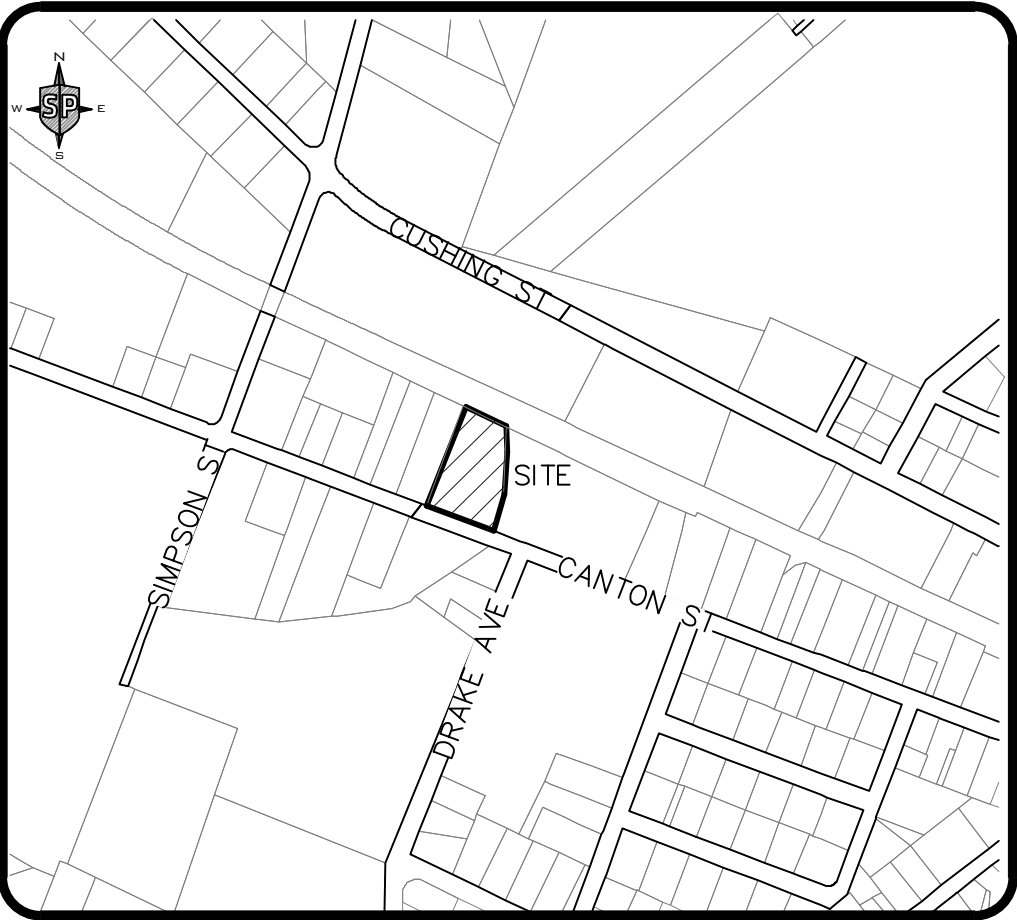


LAND SURVEYOR:

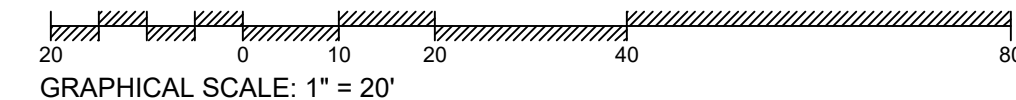
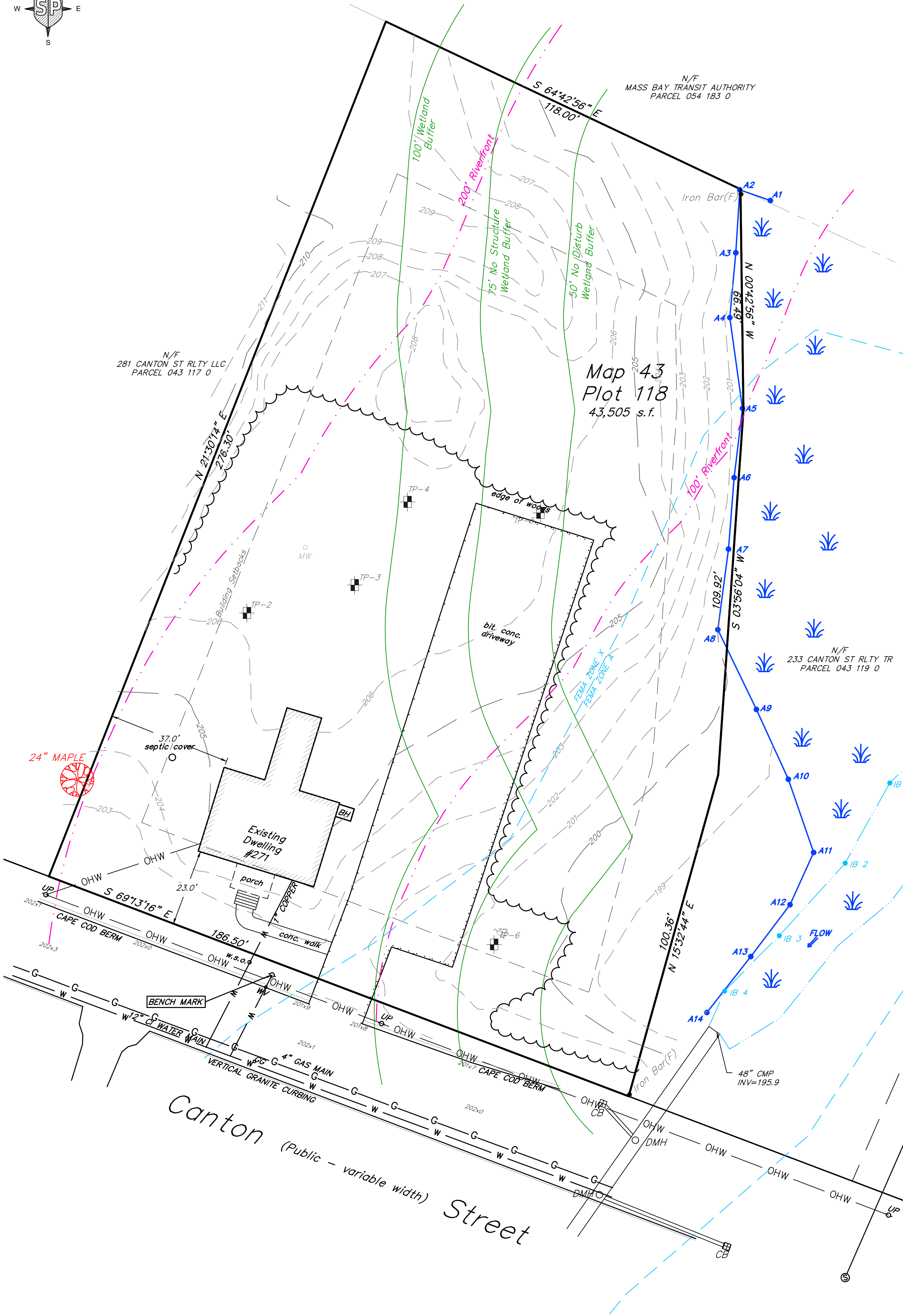
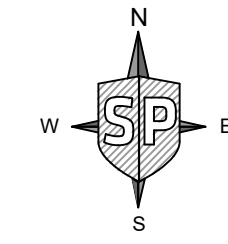


SHEET INDEX

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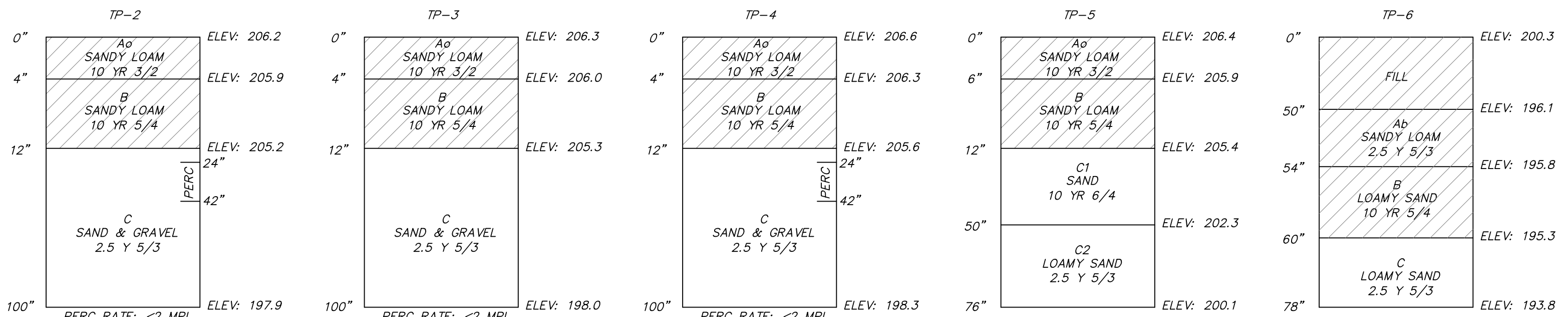


SITE LOCUS: 1"=500'



NOTES:

1. PROPERTY BOUNDARY FROM AN ON THE GROUND SURVEY BY KLIM LAND SURVEYING, INC.
2. WETLAND LINE SHOWN HERE DELINEATED IN APRIL 2023 BY ENVIRONMENTAL CONSULTING & RESTORATION, LLC AND LOCATED BY KLIM LAND SURVEYING, INC.
3. EXISTING TOPOGRAPHIC FEATURES ARE THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY KLIM LAND SURVEYING, INC. ALL ELEVATIONS REFERENCE NAVD88
4. A PORTION OF THE LOCUS LIES WITHIN A ZONE A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON FIRM PANEL NUMBER 25021C0213E DATED JULY 17, 2012.
5. A PORTION OF THE LOCUS IS LIES WITHIN THE TOWN OF STOUGHTON FLOOD HAZARD AREA ZONE.
6. THE LOCUS FALLS WITHIN THE INDUSTRIAL ZONING DISTRICT.
7. THE LOCUS IS NOT LOCATED WITH ANY KNOWN AQUIFER PROTECTION DISTRICTS.
8. SITE LOCUS DOES NOT FALL WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN.
9. THE LOCUS DOES NOT LIE IN AN ESTIMATED OR PRIORITY HABITAT OF RARE SPECIES AS SHOWN ON THE NATURAL HERITAGE AND ENDANGERED SPECIES (NHESP) ATLAS.
10. THERE ARE NO KNOWN IWPA'S, OR ZONE IIS IN LOCUS AREA OF THE SITE PER MOST RECENT MASS GIS DATA.
11. SOILS ON SITE ARE CLASSIFIED AS MERRIMAC FINE SANDY LOAM (254B). SOIL INFORMATION FROM THE NRCS SOIL SURVEY FOR NORFOLK AND SUFFOLK COUNTIES.
12. SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE AND TAKEN FROM THE BEST AVAILABLE RECORD DATA.
13. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS/AND OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON THE RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST ALSO CONTACT THE APPROPRIATE UTILITY COMPANY(IES) AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
14. ASSESSOR'S REFERENCE: MAP 43 LOT 118
OWNER: 339 & 353 CANTON STREET LLC
DEED REFERENCE: BOOK 41168 PAGE 532
15. BENCHMARK INFORMATION:
BENCH MARK: TOP HYD. SPINDLE ELEV.=204.30 N.A.V.D.88



NOTE: THERE WAS NO EVIDENCE OF GROUNDWATER ENCOUNTERED IN ANY TEST PIT SO GROUNDWATER IS ASSUMED TO BE AT THE BOTTOM OF EACH TEST PIT

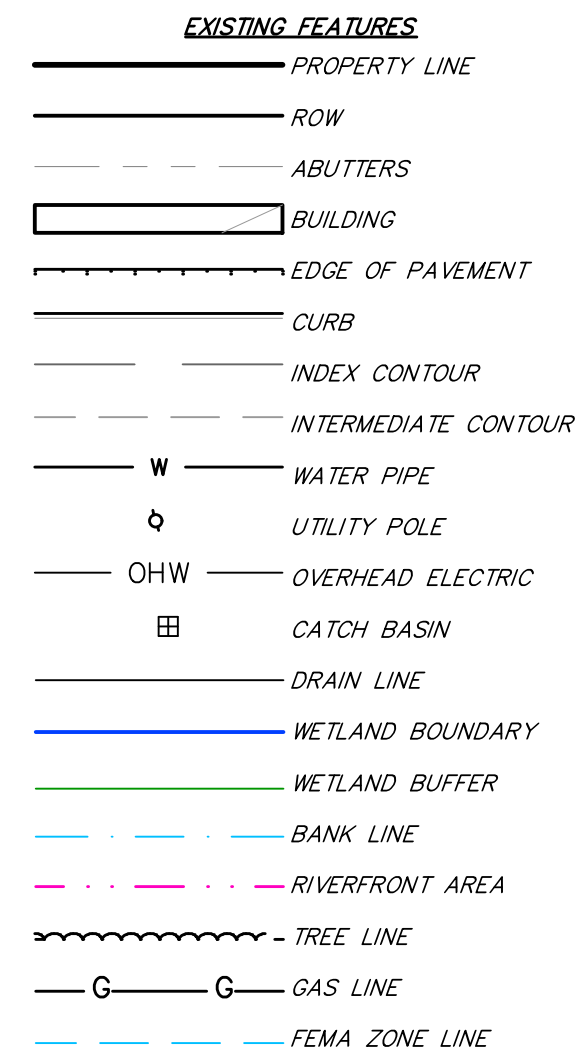
SOIL EVALUATION CONDUCTED ON 9/26/24 BY ERIC DIAS, P.E. SE#13496
EXAM DATE JUNE 2011

WITNESSED BY SEAN LAHEY, STOUGHTON BOARD OF HEALTH

☐ MIN. REMOVE & REPLACE

TEST PIT LOGS

NOT TO SCALE



PROFESSIONAL LAND SURVEYOR FOR
KLIM LAND SURVEYING, INC.



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC



LOCUS SCALE: 1"=600'

| REV | DESCRIPTION | DATE |
|-----|---------------|---------|
| 2 | TOWN COMMENTS | 7/10/25 |
| 1 | TOWN COMMENTS | 5/27/25 |



PROJECT NUMBER: 2305-001

DATE OF ISSUE: 02/11/25

SCALE: 1"=20'

DESIGNED BY: ED CHECKED BY: SH

PREPARED ON BEHALF OF:

**SUBURBAN ELECTRIC
CONTRACTING, INC.**
339 CANTON STREET
STOUGHTON, MASSACHUSETTS

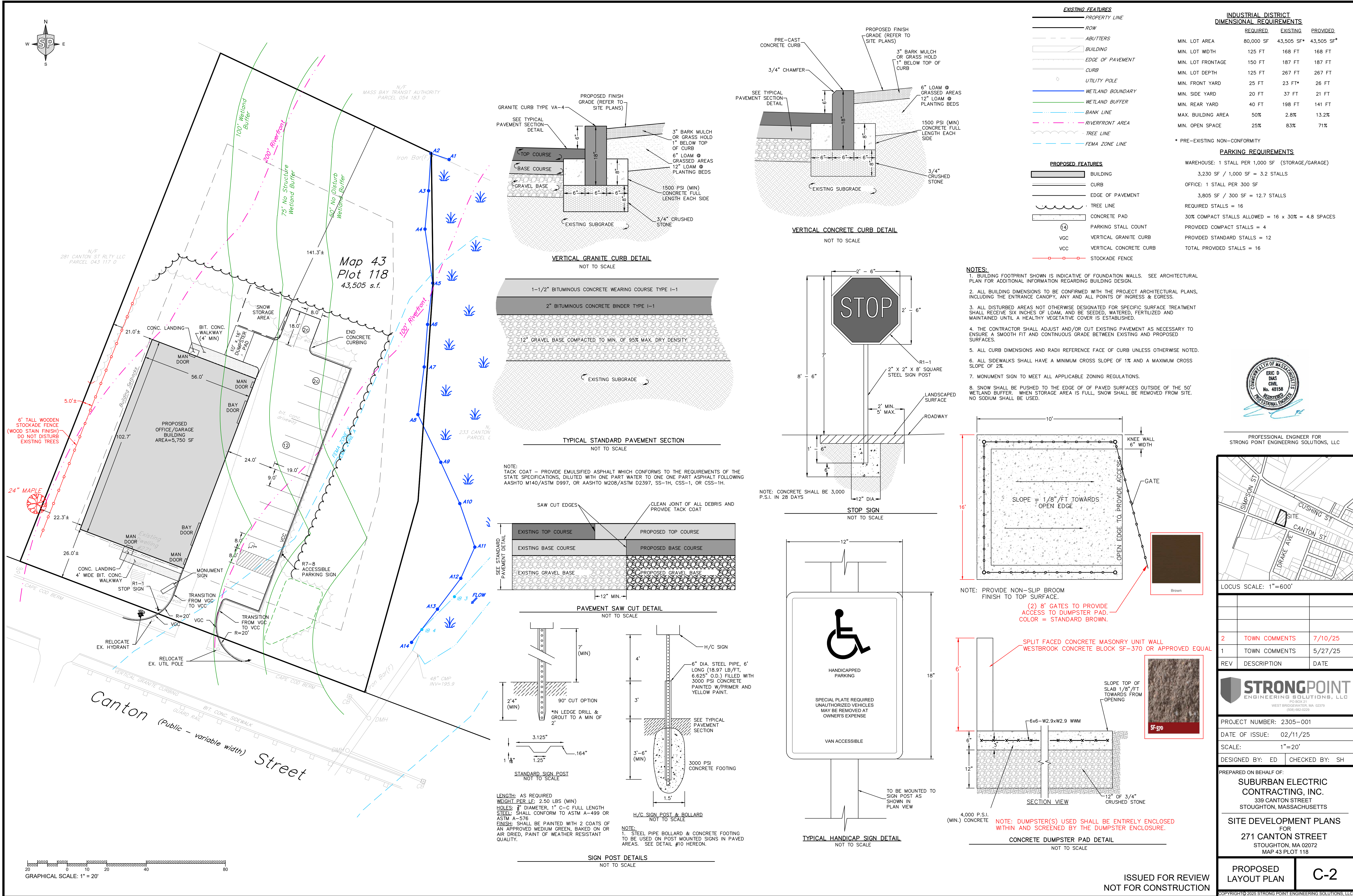
SITE DEVELOPMENT PLANS
FOR
271 CANTON STREET
STOUGHTON, MA 02072
MAP 43 PLOT 118

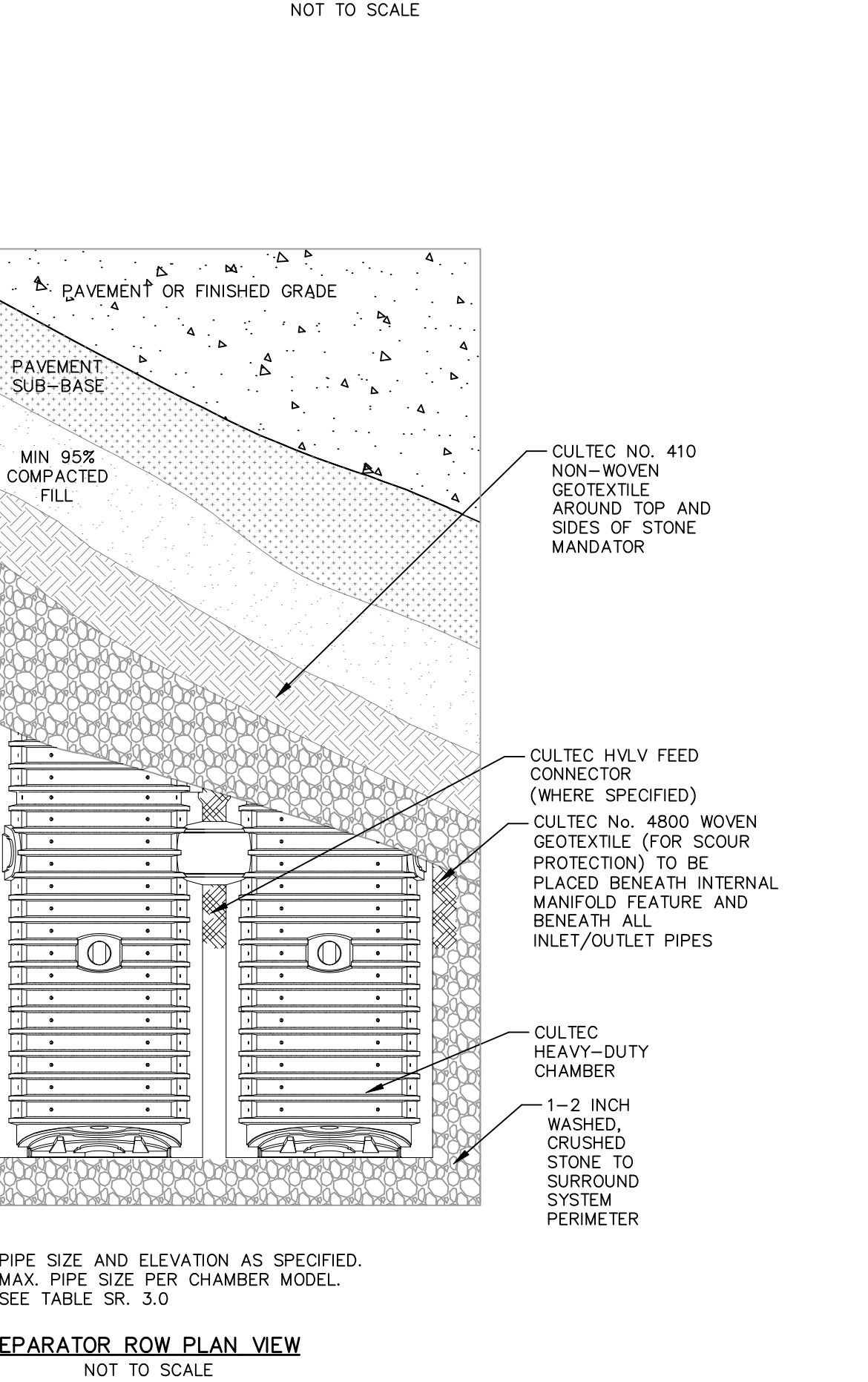
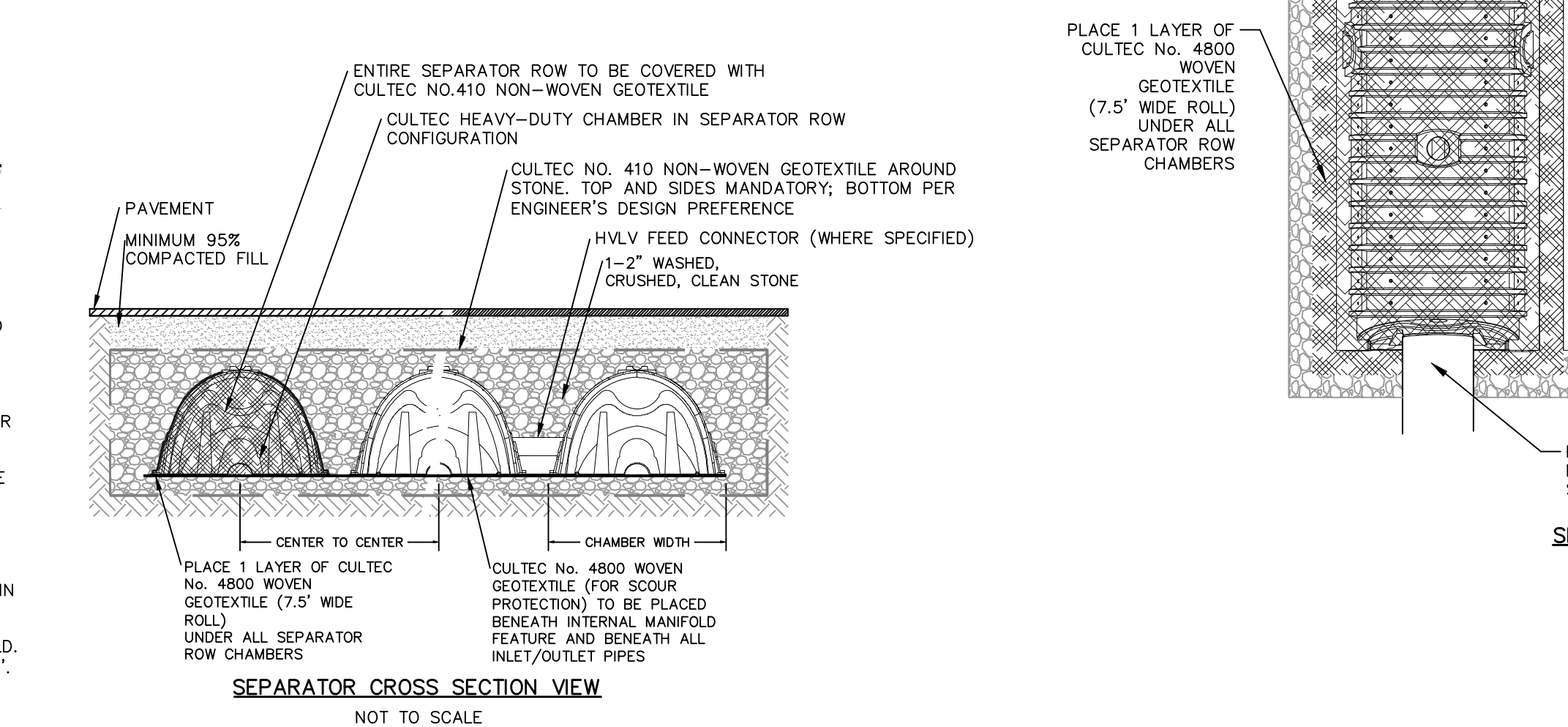
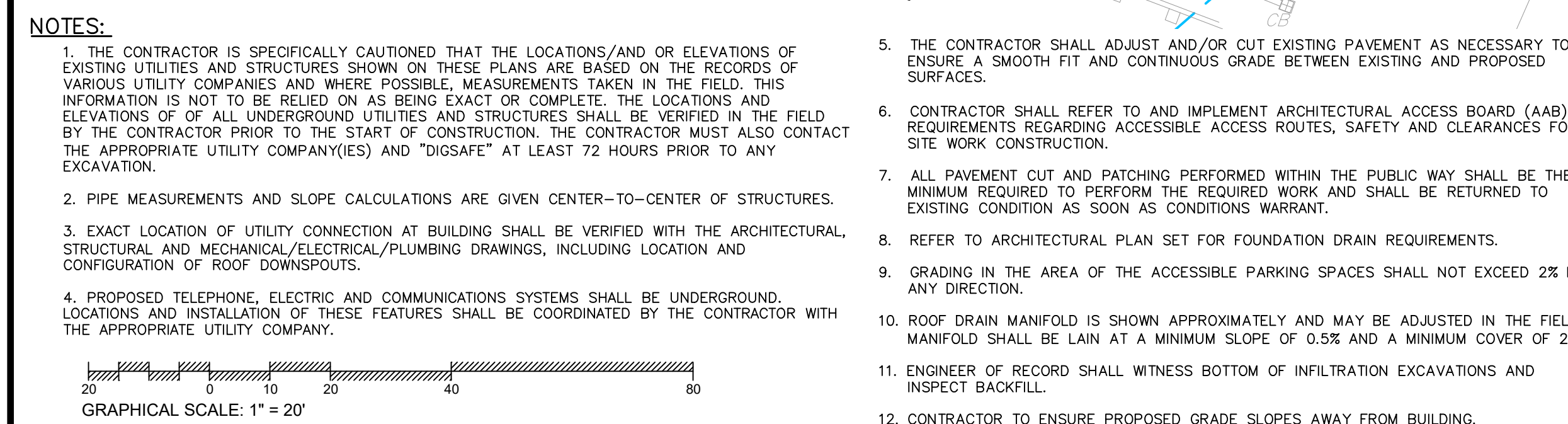
**EXISTING
CONDITIONS
PLAN**


C-1

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

COPYRIGHT © 2025 STRONG POINT ENGINEERING SOLUTIONS, LLC








LOCUS SCALE: 1"=600'

| | | |
|-----|---------------|---------|
| | | |
| | | |
| | | |
| | | |
| 1 | TOWN COMMENTS | 5/27/25 |
| REV | DESCRIPTION | DATE |



STRONGPOINT

ENGINEERING SOLUTIONS, LLC

PO BOX 21
WEST BRIDGEWATER, MA 02379
(508) 682-0229

| | |
|--------------------------|----------------|
| PROJECT NUMBER: 2305-001 | |
| DATE OF ISSUE: 02/11/25 | |
| SCALE: 1"=250' | |
| DESIGNED BY: ED | CHECKED BY: SH |

PREPARED ON BEHALF OF:

SUBURBAN ELECTRIC

CONTRACTING, INC.

339 CANTON STREET

STOUGHTON, MASSACHUSETTS

SITE DEVELOPMENT PLANS

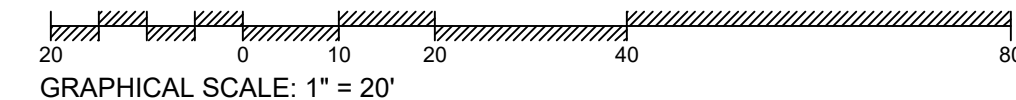
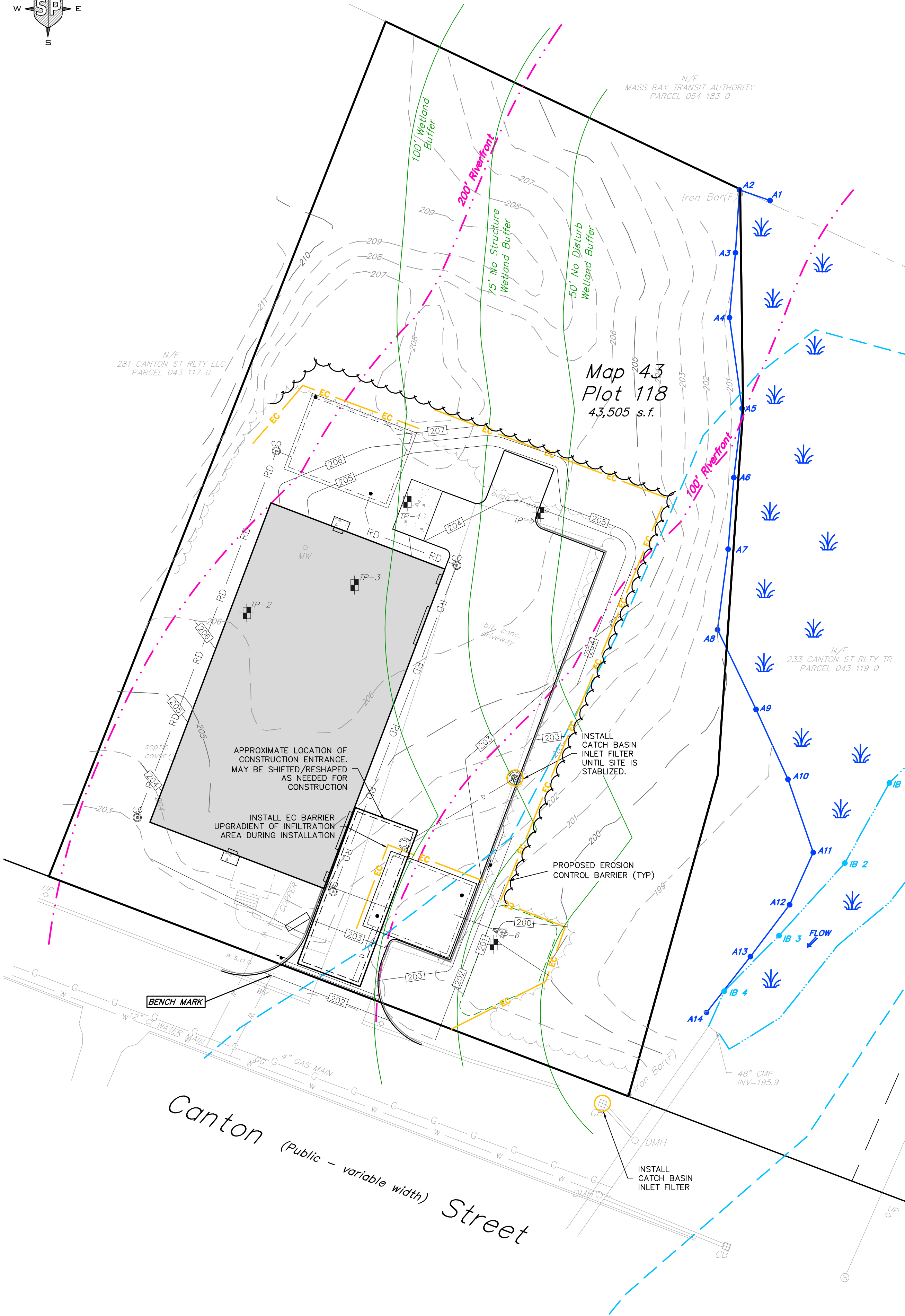
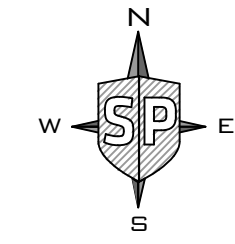
FOR

271 CANTON STREET

STOUGHTON, MA 02072

MAP 43 PLOT 118

| | |
|---|---|
| <p>PROPOSED</p> <p>GRADING &</p> <p>UTILITY PLAN</p> | <p style="font-size: 2em; font-weight: bold;">C-3</p> |
|---|---|



GENERAL NOTES

1. EROSION CONTROLS DEPICTED ON THIS PLAN ARE INTENDED TO PROVIDE A REASONABLE GUIDE TO THE MINIMUM EROSION AND SEDIMENT CONTROL REQUIREMENTS FOR THE PROPOSED SITE WORK CONSTRUCTION. THE CONTROLS DEPICTED ARE MINIMUM REQUIREMENTS TO BE EMPLOYED IN A GENERAL SENSE. ADDITIONAL CONTROLS SHALL BE IMPLEMENTED AS DEEMED NECESSARY BY THE APPLICANT, STORMWATER CONSULTANT, AND/OR TOWN OF STOUGHTON REPRESENTATIVE.
2. LOCATIONS OF CONTROLS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FIELD CONDITIONS AND SITE WORK REQUIREMENTS.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSACHUSETTS (DEP) EROSION AND SEDIMENTATION CONTROL GUIDELINES, AUGUST 1983; THE U.S.D.A. S.C.S. EROSION AND SEDIMENT CONTROL IN SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983 AND ALL LOCAL MUNICIPAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE DOCUMENTS.
4. CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO ENSURE THAT NO SEDIMENT OR UNCLEAN STORMWATER RUNOFF OR OTHER DISCHARGE IS DIRECTED TO ANY STORMWATER CONVEYANCE, ADJACENT PROPERTY OR WETLAND RESOURCE AREAS. THESE AREAS SHALL BE CONSIDERED CRITICAL AND SHALL BE PROTECTED TO THE MAXIMUM EXTENT PRACTICABLE. ANY SEDIMENT DISCHARGED TO THESE AREAS SHALL BE REMOVED WITHIN 24 HOURS IN ITS ENTIRETY BY APPROPRIATE MEANS.
5. THE LIMIT OF WORK SHALL BE CONSISTENT WITH THE MINIMUM AREA REQUIRED TO BE DISTURBED TO PERFORM THE PROPOSED WORK AS GENERALLY INDICATED BY THE PERIMETER EROSION CONTROL BARRIER DEPICTED.
6. ALL EXCAVATIONS SHOULD BE PERFORMED AND BACKFILLED APPROPRIATELY IN AS EXPEDITIOUSLY A MANNER AS POSSIBLE. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO ANTICIPATE INCLEMENT WEATHER CONDITIONS AND ANY OTHER FACTORS THAT MAY INFLUENCE EROSION AND SEDIMENTATION CONTROL RELATIVE TO THIS WORK AND TO RESPOND ACCORDINGLY.
7. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO KEEP VEHICULAR TRAVELED WAYS CLEAN AND SHALL SWEEP AND REMOVE ALL DEBRIS DAILY AT A MINIMUM. ANY LARGE STONES (2" DIA OR GREATER) OR DEBRIS SHALL BE REMOVED FROM THE ROADWAY IMMEDIATELY.
8. CONTRACTOR SHALL ESTABLISH CONVENIENT STOCKPILE AND STAGING AREAS WITHIN THE DESIGNATED WORK AREA ONLY. CONTRACTOR SHALL MAKE EVERY EFFORT TO COMBINE THESE AREAS AND MITIGATE THE NEED FOR RELOCATION DURING THE CONSTRUCTION PERIOD TO THE MAXIMUM EXTENT PRACTICABLE.
9. ALL SOIL STOCKPILES SHALL BE STABILIZED WITH PERIMETER EROSION CONTROLS ALONG THE DOWN GRADIENT SIDE IN ACCORD WITH THE DETAIL PROVIDED.
9. TOTAL PROPOSED AREA OF DISTURBANCE = 22,930 SF ±
10. JUTE MESH, OR APPROVED EQUIVALENT, SHALL BE EMPLOYED FOR SLOPE STABILIZATION ON AN AS NEEDED BASIS AS DETERMINED BY THE ENGINEER OR RECORD.
11. A PORTABLE SANITARY FACILITY SHALL BE MAINTAINED ON SITE, OUTSIDE OF THE 100 WETLAND BUFFER.

CONSTRUCTION SEQUENCING NOTES:

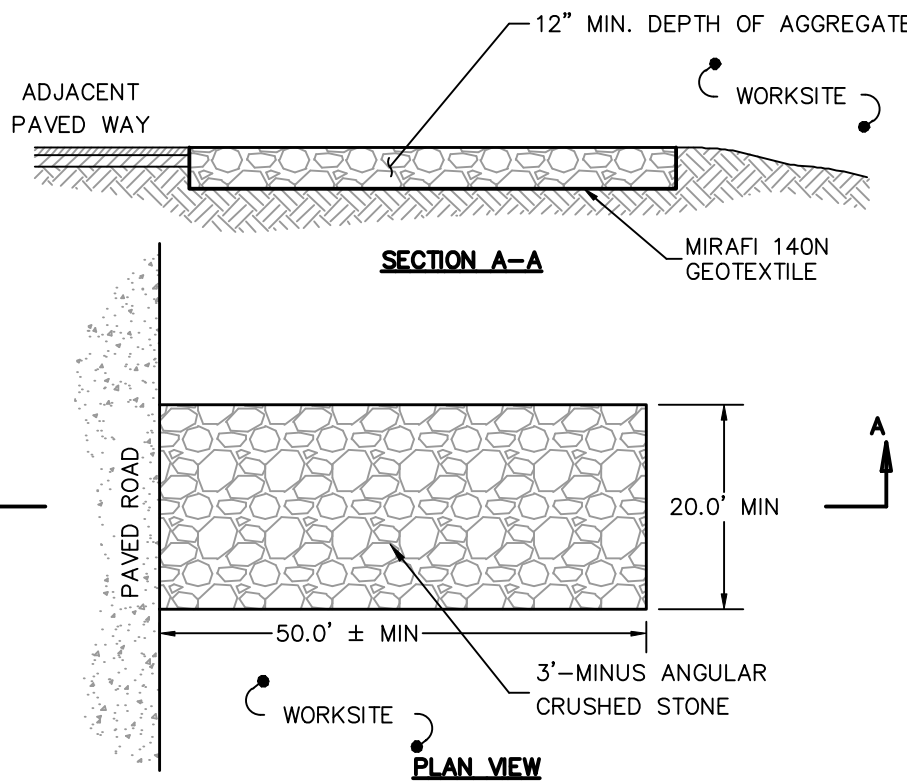
THE FOLLOWING PROVIDES A GENERAL PROTOCOL FOR MINIMUM EROSION CONTROL SEQUENCING AND REQUIREMENTS RELATIVE TO THE PROPOSED SITE WORK. THE DETAILS PROVIDED ARE A MINIMUM GUIDE ONLY. ADDITIONAL CONTROLS MAY BE IMPLEMENTED OR SEQUENCING ADJUSTED AS APPROPRIATE IN KEEPING WITH THE INTENT OF THE PROTOCOL GIVEN.

1. STAKE THE LIMITS OF CLEARING.
2. PERFORM TREE CUTTING WITHIN LIMITS OF WORK AS NECESSARY.
3. INSTALL EROSION CONTROL BARRIERS AT LIMIT OF WORK AS DEPICTED AND PREPARE DESIGNATED STOCKPILE AREAS. ALL STRAPPING, TWINE, PACKAGING FROM STRAW BALES, SOCKS AND STAKES SHALL BE REMOVED AND PROPERLY DISPOSED OF AT THE TIME OF INSTALLATION.
4. DEMO ALL EXISTING STRUCTURES AND PAVED FEATURES ON SITE.
5. PERFORM CLEARING AND GRUBBING NECESSARY FOR LOT CONSTRUCTION.
6. STRIP AND STOCKPILE LOAM.
7. PERFORM EARTHWORK CUTS AND FILLS FOR ROUGH GRADE.
8. STOCKPILE AND SCREEN CUT MATERIAL AS APPROPRIATE.
9. INSTALL SLAB AND REQUIRED UTILITIES.
10. FINISH GRADING LOT.
11. INSTALL PAVEMENT AND OTHER HARDSCAPE FEATURES AS APPROPRIATE.
12. IOAM AND SEED DISTURBED AREAS.
13. REMOVE REMAINING EROSION CONTROL DEVICES UPON COMPLETE STABILIZATION.

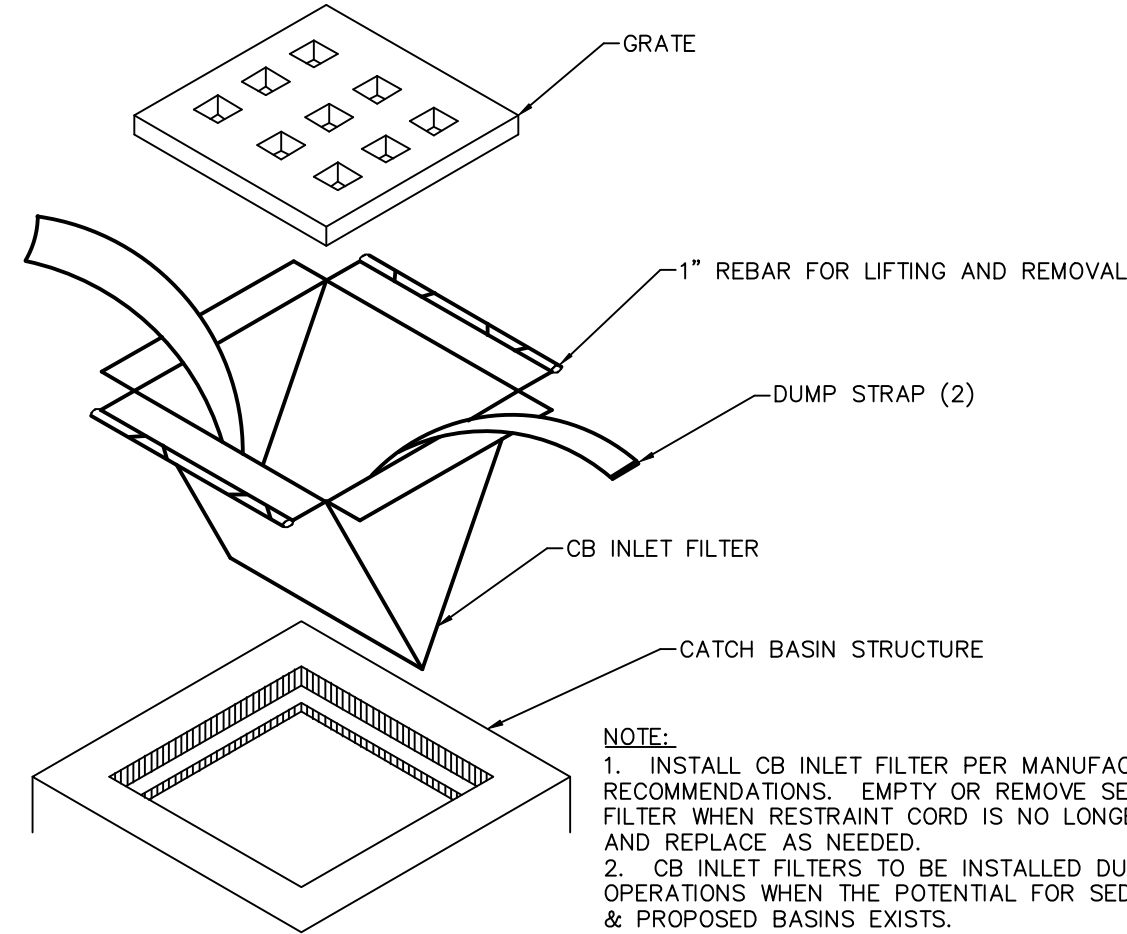
MINIMUM DEWATERING REQUIREMENTS:

THE FOLLOWING REPRESENTS MINIMUM REQUIREMENTS FOR DEWATERING ASSOCIATED WITH THE PROPOSED PROJECT AS APPLICABLE. ADDITIONAL REQUIREMENTS OR CONDITIONS ARE ALLOWABLE BY THE ENGINEERING OF RECORD BASED UPON CONDITIONS ENCOUNTERED IN THE FIELD.

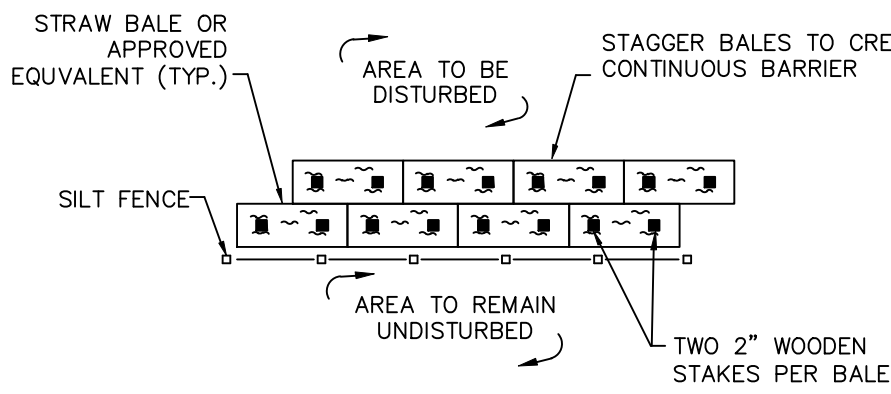
1. IF DEWATERING IS REQUIRED AT ANY TIME DURING CONSTRUCTION ASSOCIATED WITH THE PROPOSED WORK, IT SHALL BE PERFORMED BY MECHANICAL MEANS AND ALL DISCHARGES SHALL BE UPSLOPE OF THE WETLAND RESOURCE AREAS, AS FAR FROM THE RESOURCE AREA BOUNDARY AS IS PRACTICAL.
2. CONTRACTOR SHALL MAKE EVERY EFFORT TO ENSURE THAT EFFLUENT FROM THE DEWATERING SOURCE IS DISSIPATED OVERLAND RATHER THAN CONCENTRATED AS A POINT SOURCE DISCHARGE. POINT SOURCE DISCHARGES ARE STRICTLY PROHIBITED.
3. EFFLUENT SHALL BE ALLOWED TO FLOW OVERLAND TOWARD THE BVW PROVIDED THAT PROPER FILTRATION IS PROVIDED TO REMOVE ANY SUSPENDED SEDIMENTS TO THE MAXIMUM EXTENT POSSIBLE PRIOR TO REACHING THE BVW.
4. PROPER FILTRATION WILL BE CONSIDERED, AT MINIMUM, TO INCLUDE THE USE OF A SUMP PIT AT THE DEWATERING SOURCE AND FILTRATION CONTROLS AT THE DISCHARGE SOURCE.
5. AT MINIMUM, SUMP PITS SHALL CONSIST OF A 12 IN. DIAMETER PERFORATED VERTICAL STANDPIPE BACKFILLED WITH WASHED CRUSHED STONE POSITIONED ON A 2 IN. WASHED CRUSHED STONE BASE. A SUBMERSIBLE PUMP OR SUCTION LINE SHALL BE LOCATED WITHIN THE STANDPIPE AND SHALL PUMP FILTERED WATER TO THE FILTRATION CONTROLS AT THE DISCHARGE SOURCE.
6. MINIMUM FILTRATION CONTROLS AT THE DISCHARGE SOURCE SHALL CONSIST OF EROSION CONTROL MATERIALS FORMED IN A U-SHAPE AROUND THE DISCHARGE POINT WITH A MINIMUM DIAMETER OF 6 FT. THE DISCHARGE POINT SHALL BE POSITIONED MIDWAY BETWEEN THE ENDS OF THE FILTRATION CONTROLS IN A STRAIGHT LINE TO ALLOW FOR ADEQUATE DISBURSEMENT OF EFFLUENT.
7. DISCHARGE SHALL BE LOCATED SUCH THAT EFFLUENT IS NOT DIRECTED OVER AREAS THAT ARE UNSTABLE DUE TO THE REQUIRED WORK.
8. ALL DISCHARGES SHALL BE MONITORED FOR TURBIDITY. ADJUSTMENTS FOR SETTLING SHALL BE MADE AND SECONDARY CONTROLS SHALL BE ADDED AS NECESSARY.
9. ANY ACCUMULATED SEDIMENT RESULTING FROM DEWATERING FILTRATION SHALL BE REMOVED PRIOR TO REUSE OF THE PRACTICE.



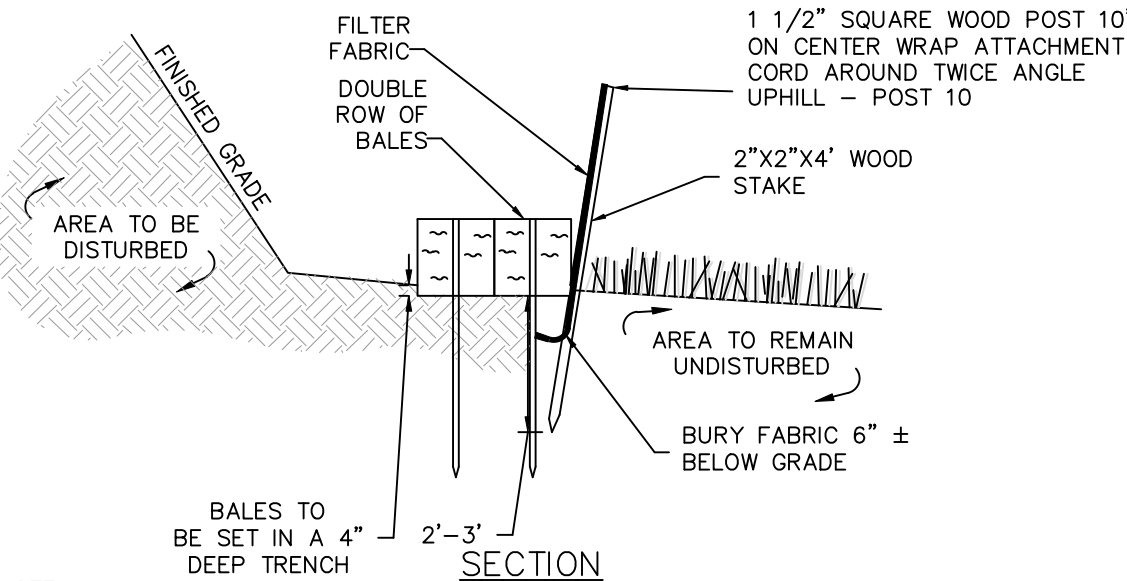
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



CB INLET FILTER DETAIL
NOT TO SCALE

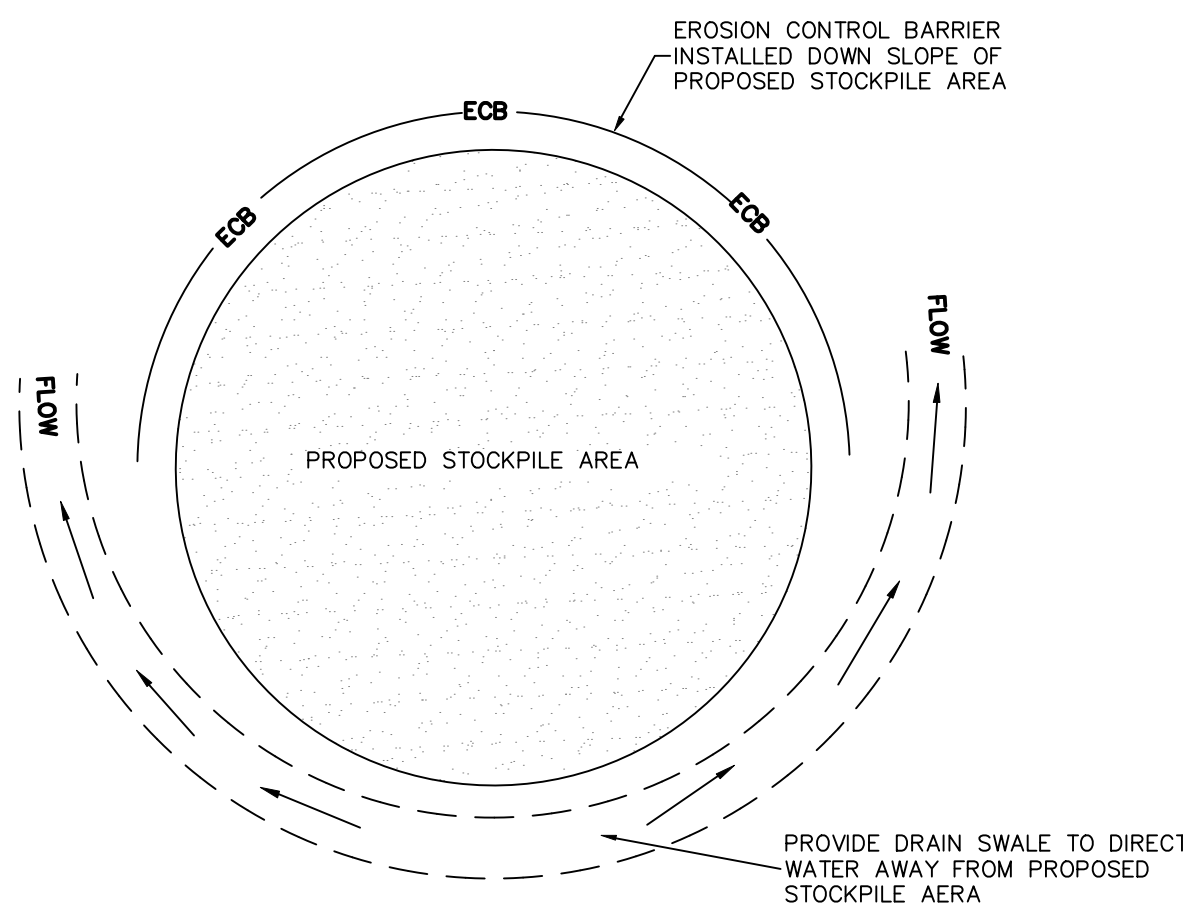


PLAN VIEW



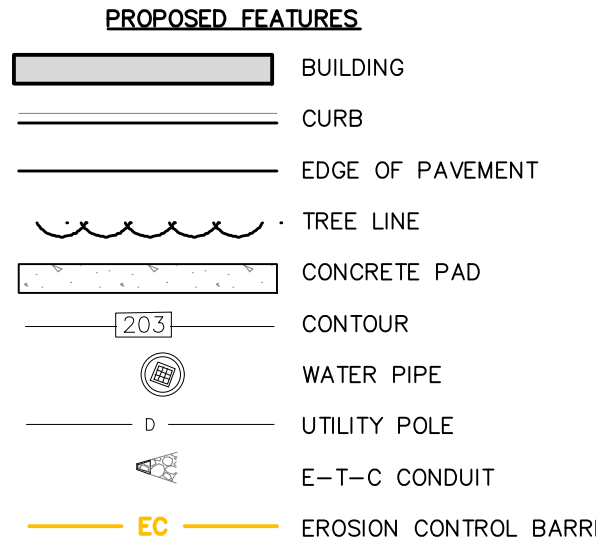
NOTE:
1. DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.
2. EROSION CONTROL BARRIER SHALL COMPLY WITH ALL APPLICABLE TOWN OF STOUGHTON REQUIREMENTS.

STANDARD PERIMETER EROSION CONTROL DETAIL
NOT TO SCALE

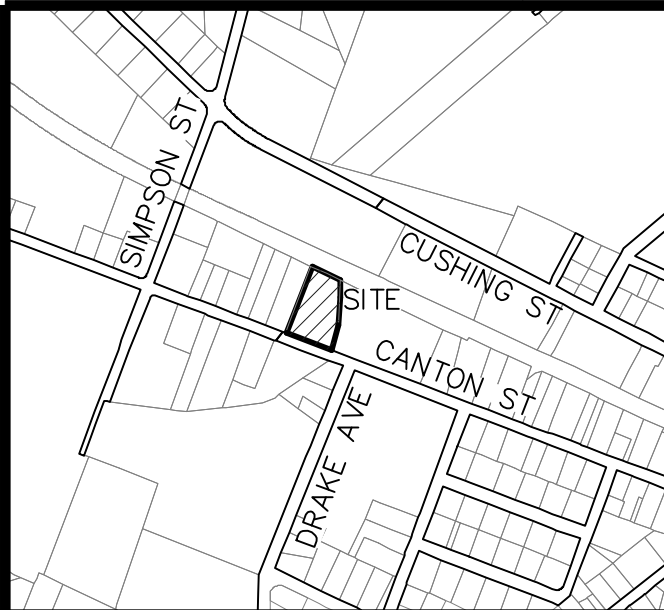


NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION DETAIL
NOT TO SCALE



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC



LOCUS SCALE: 1"=600'

| REV | DESCRIPTION | DATE |
|-----|---------------|---------|
| 1 | TOWN COMMENTS | 5/27/25 |



PROJECT NUMBER: 2305-001

DATE OF ISSUE: 02/11/25

SCALE: 1"=20'

DESIGNED BY: ED CHECKED BY: SH

PREPARED ON BEHALF OF:

SUBURBAN ELECTRIC
CONTRACTING, INC.
339 CANTON STREET
STOUGHTON, MASSACHUSETTS

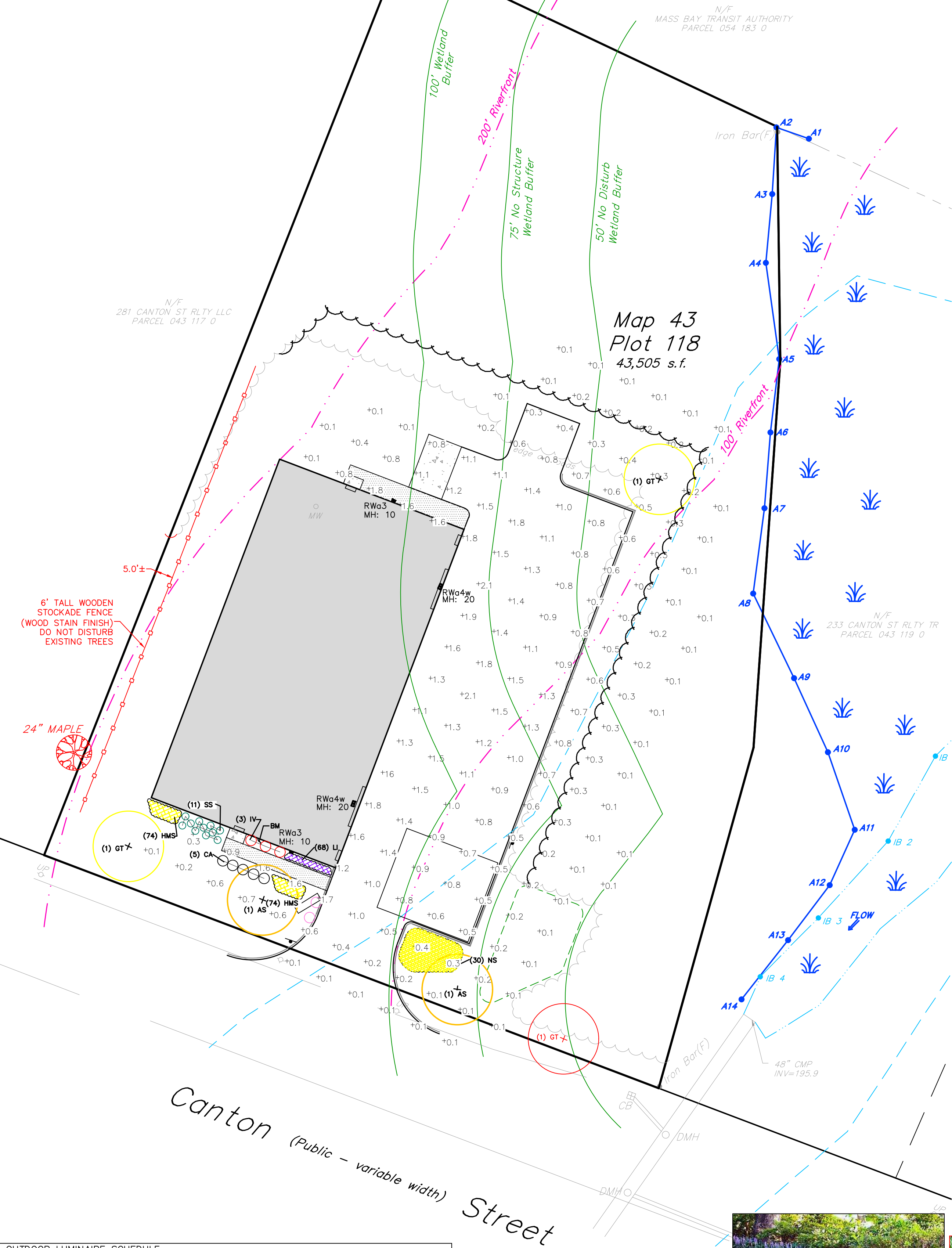
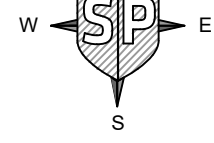
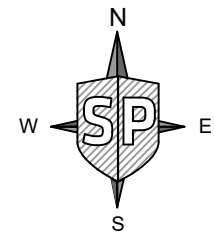
SITE DEVELOPMENT PLANS
FOR
271 CANTON STREET
STOUGHTON, MA 02072
MAP 43 PLOT 118

EROSION
CONTROL
PLAN

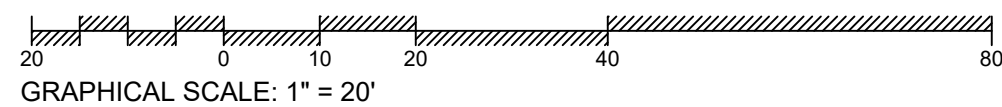
C-4

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

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| OUTDOOR LUMINAIRE SCHEDULE | | | | | |
|----------------------------|-----|-------|----------------------|-------------|-------|
| SYMBOL | QTY | LABEL | DESCRIPTION | LUM. LUMENS | LLF |
| | 4 | RWA3 | RWL1-48L-10-4K7-3-U | 1355 | 0.900 |
| | 2 | RWA4W | RWL1-48L-45-4K7-4W-U | 5704 | 0.900 |



HUBBELL®
Outdoor Lighting

RATIO Wall
RWL1RWL2 LED WALLPACK

FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, WiScape and 7.9m with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 3500K and 5000K configurations at 4000K

CONTROL TECHNOLOGY

SiterLogic™ **NX DISTRIBUTED INTELLIGENCE** **wISCAPE**

SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating

OPTICS

- Entry optical aperture illuminates to create a larger luminous surface area resulting in a glare free appearance without sacrificing optical performance
- 48 or 50 mid-power LEDs
- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
- Zero light distributions
- LED optics provide IES Type I, II and U distributions. Type I only available in RWL2 configurations

INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct (down) mount
- Integral back box contains 1/2" conduit hub
- Integral back box standard with Dual Driver, Dual Power Feed, 1A, Voltage and Battery versions (battery versions for RWL 1 only)

ELECTRICAL

- 350V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all voltages above 350V

ELECTRICAL (CONTINUED)

- Ambient operating temperature: -40°C to 40°C
- Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion
- Drive: 800mA and 1000mA
- Field replaceable surge protection device provides 20kV protection meeting ANSI EEE C82.4.2 Category C High and Surge Protection Category C3. Automatically takes future off-line for protection when device is compromised
- Dimming drivers are standard and dimming leads are extended out of the luminaire
- Direct control options require connection to the dimming leads. Must specify if using leads are to be greater than 6' standard

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Battery photocell is suitable for 120-277V operation
- Type ASD C36-60-2003 photoresistor (receptacle option available for rural lock photoresistor or wireless control module; control accessories sold separately)
- NX Distributed Intelligence™ available with in future wireless control module, features dimming and occupancy sensor
- vISCAPE™ available with in future wireless control module, features dimming and occupancy sensor
- Integral Battery Backup provides emergency lighting for the required 90-minute path of egress
- Battery Backup suitable for operating temperatures -35°C to 40°C. RWL1 battery is 12.5VH RWL2 battery is 20V

CONTROLS (CONTINUED)

- Dual Driver and Dual Driver Feed option creates product configuration with 2 internal drivers for code compliance
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application

CERTIFICATIONS

- Listed to UL2596 and CSA22.2 282500-24 for wet locations
- IP65 rated housing
- This product qualifies as a "designated quantity construction material" per 904 52.225-1; Buy American Construction Material under Trade Agreements effective 04/23/2020. See Buy American Solutions
- DLC® (DesignLights Consortium Qualified) with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org

WARRANTY

- 5 year limited warranty
- See UL Standard Warranty for additional information

KEY DATA

| | |
|-------------------------------|-------------------|
| Lumen Range | 1,000-18,000 |
| Voltage Range | 120-155 |
| Efficiency Range (LPW) | 130-148 |
| Future Projected Life (Hours) | 170K-60K |
| Weights (lbs. /kg) | 6.5/3.0 (2.9/1.3) |

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RWL1/RWL2 SPEC

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100 International Blvd • Greenville, SC 29607 | Tel: 864.676.0000 | Website: www.hubbelloutdoor.com

HUBBELL®
Lighting

LIGHTING NOTES:

1. PLAN IS FOR CONCEPTUAL USE ONLY AND IS NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.
2. ALL LIGHTING IS DARK SKY COMPLIANT

PLANT SCHEDULE

| SYMBOL | QTY. | SCIENTIFIC NAME | COMMON NAME | SIZE | COMMENTS |
|-----------------|------|-----------------------------------|---------------------------|---------------------|-------------|
| DECIDUOUS TREES | | | | | |
| AS | 2 | ACER SACCHARUM 'FALL FIESTA' | SUGAR MAPLE 'FALL FIESTA' | 2.5-3" CAL. | FALL HAZARD |
| GT | 3 | GLEDTISIA TRICANTHOS 'INERMIS' | THORNLESS HONEYLOCUST | 2.5-3" CAL. | |
| SHRUBS | | | | | |
| CA | 5 | CLETHRA ALNIFOLIA 'HUMMINGBIRD' | SUMMERSWEET | 36" HT. | 48" O.C. |
| IV | 3 | ILEX VERTICILLATA 'BERRY POPPINS' | WINTERBERRY | 3 GAL. | 36" O.C. |
| PERENNIALS | | | | | |
| HMS | 148 | HEMEROCALLIS 'STELLA DE ORO' | STELLA DE ORO DAYLILY | 1 GAL. | 24" O.C. |
| SS | 11 | SCHIZACHYRIUM SCOPARIUM | LITTLE BLUE STEM | 1 GAL. | 24" O.C. |
| PLUGS | | | | | |
| LI | 42 | LIRIOPE | LILYTURF | 2" PLUG | 8" O.C. |
| BULBS | | | | | |
| NS | 30 | NARCISSUS 'KING ALFRED' | KING ALFRED DAFFODIL | BULB | 9" O.C. |
| OTHER | | | | | |
| BM | | | BLACK BARK MULCH | 2 CF BAGS AS NEEDED | |

PLANTING NOTES:

1. PLANTS MAY BE SUBSTITUTED WITH APPROVED EQUALS BASED ON AVAILABILITY AT THE TIME OF INSTALLATION.
2. PLANTS SHALL CONFORM TO MOST RECENT STANDARDS OF THE AMERICAN NURSERYMEN ASSOCIATION.
3. PROVIDE 6" TOPSOIL, FINE GRADE, AND SEED ALL AREAS NOT OTHERWISE NOTED.



LILYTURF



LITTLE BLUE STEM



WINTERBERRY



STELLA DE ORO DAYLILY



SUMMERSWEET



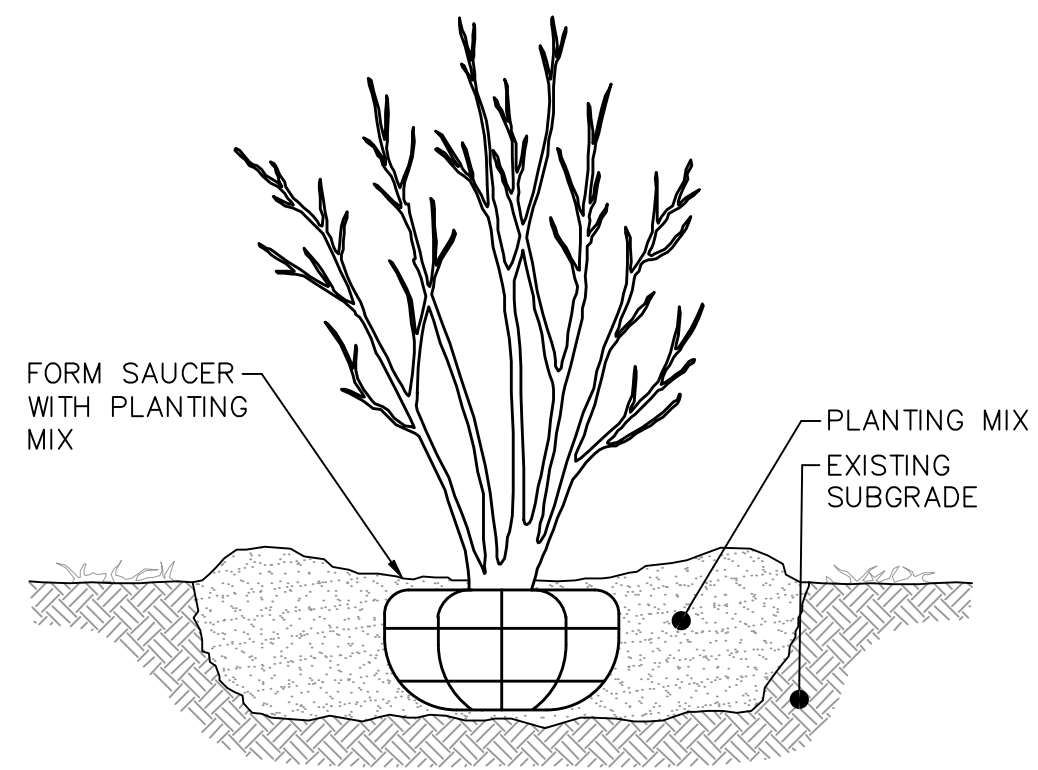
KING ALFRED DAFFODIL



THORNLESS HONEYLOCUST



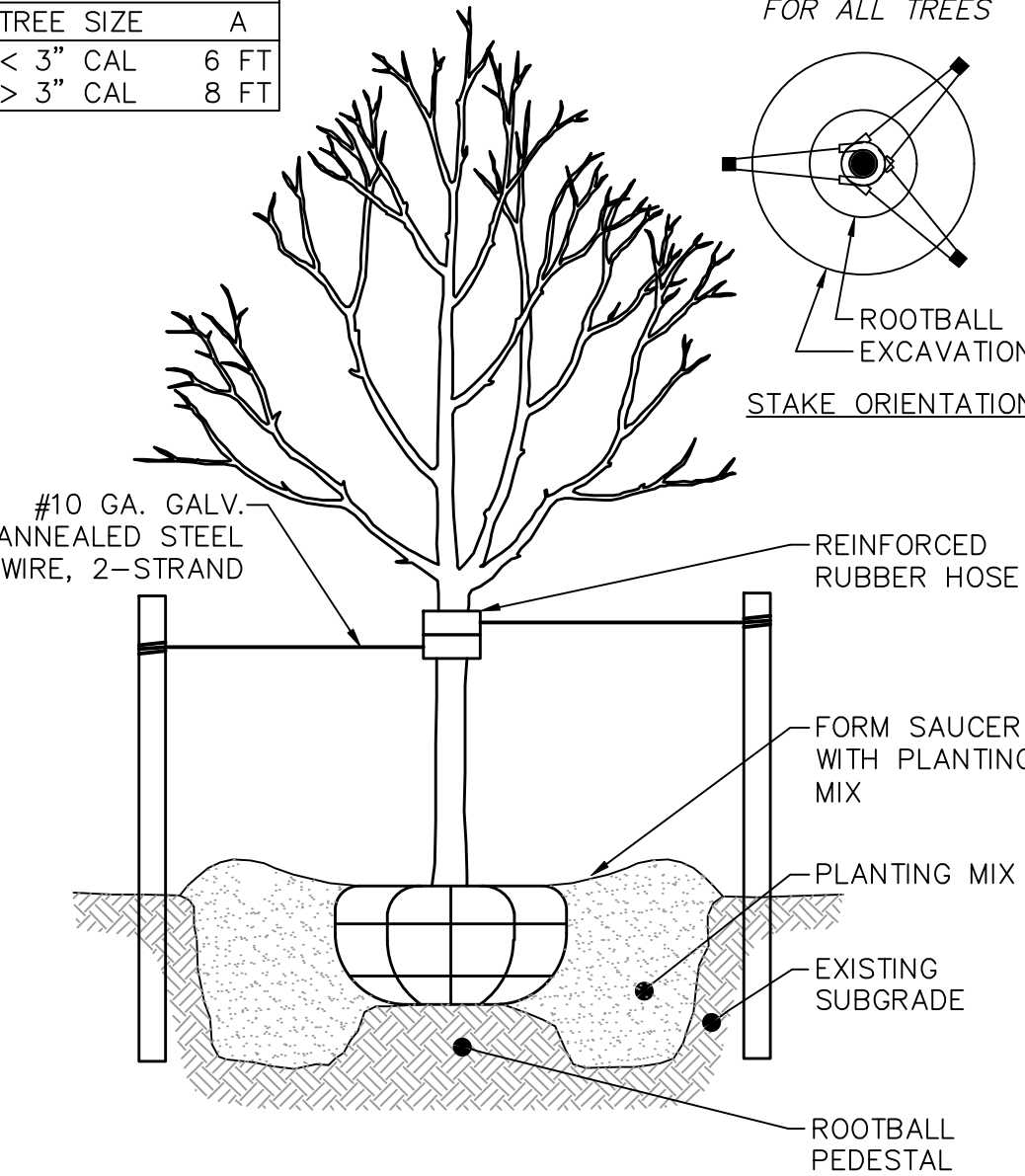
SUGAR MAPLE 'FALL FIESTA'
ISSUED FOR REVIEW
NOT FOR CONSTRUCTION



SHRUB PLANTING

| DIMENSION "A" | |
|---------------|------|
| TREE SIZE | A |
| < 3" CAL | 6 FT |
| > 3" CAL | 8 FT |

NOTE: USE 3 2" STAKES FOR ALL TREES

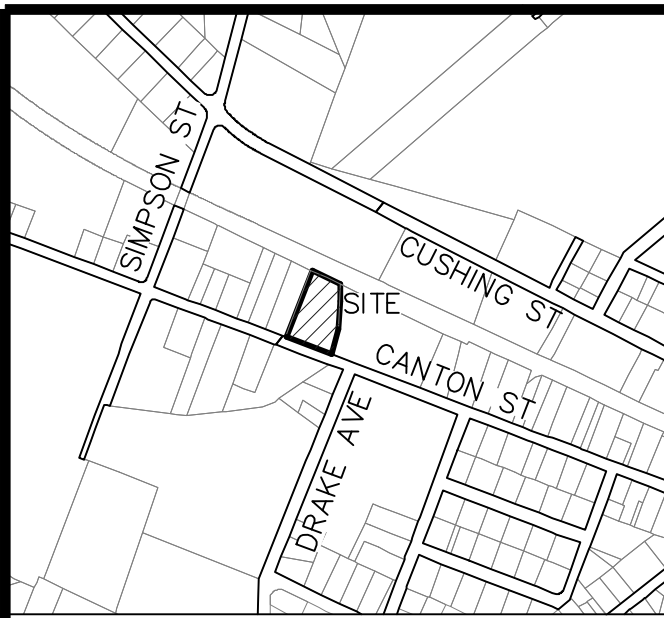


TREE PLANTING

TREE AND SHRUB PLANTING NOT TO SCALE



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC



LOCUS SCALE: 1"=600'

| REV | DESCRIPTION | DATE |
|-----|---------------|---------|
| 2 | TOWN COMMENTS | 7/10/25 |
| 1 | TOWN COMMENTS | 5/27/25 |



PROJECT NUMBER: 2305-001

DATE OF ISSUE: 02/11/25

SCALE: 1"=20'

DESIGNED BY: ED CHECKED BY: SH

PREPARED ON BEHALF OF:

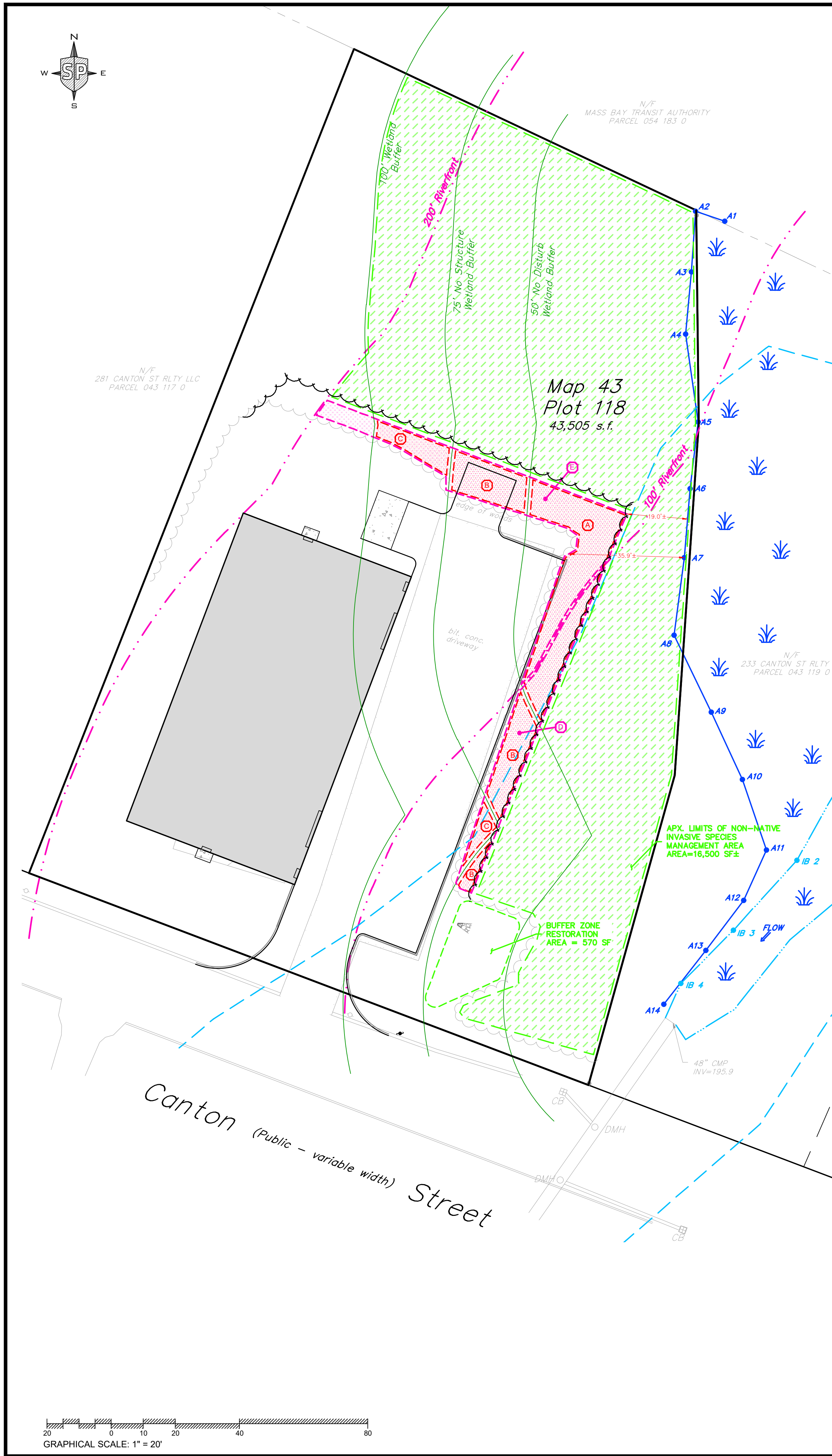
**SUBURBAN ELECTRIC
CONTRACTING, INC.**
339 CANTON STREET
STOUGHTON, MASSACHUSETTS

**SITE DEVELOPMENT PLANS
FOR
271 CANTON STREET
STOUGHTON, MA 02072
MAP 43 PLOT 118**

**LIGHTING AND
LANDSCAPING
PLAN**

C-5

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SUMMARY OF RESOURCE AREA DISTURBANCES (BY RESOURCE AREA)

0-50 FT NO-DISTURBANCE BVW BUFFER (BY-LAW) (C)

| EXISTING | PROPOSED | DELTA | DESCRIPTION |
|------------------------------|--------------------------------|------------------------------|-------------------------|
| IMP = 220 SF PER = 215 SF | IMP = 350 SF PER = 1,200 SF | IMP = 130 SF PER = 985 SF | PARKING AREA GRADING |
| TOT = 435 SF | TOT = 1,550 SF | TOT = 1,115 SF | |

50-75 FT NO-STRUCTURE BVW BUFFER (BY-LAW) (D)

| EXISTING | PROPOSED | DELTA | DESCRIPTION |
|----------------------------------|----------------------------------|------------------------------|-------------------------|
| IMP = 1,580 SF PER = 1,130 SF | IMP = 1,980 SF PER = 1,525 SF | IMP = 400 SF PER = 395 SF | PARKING AREA GRADING |
| TOT = 2,710 SF | TOT = 3,505 SF | TOT = 795 SF | |

75-100 FT JURISDICTIONAL BVW BUFFER (C)

| EXISTING | PROPOSED | DELTA | DESCRIPTION |
|---|---|--|-------------------------------------|
| IMP = 2,385 SF BLDG = 0 SF PER = 1,975 SF | IMP = 2,915 SF BLDG = 440 SF PER = 1,360 SF | IMP = 530 SF BLDG = 440 SF PER = -585 SF | PARKING AREA -- GRADING, LAWN |
| TOT = 4,330 SF | TOT = 4,715 SF | TOT = 385 SF | |

0-100 FT RIVERFRONT AREA (D)

| EXISTING | PROPOSED | DELTA | DESCRIPTION |
|----------------------------------|----------------------------------|------------------------------|-------------------------|
| IMP = 1,245 SF PER = 1,720 SF | IMP = 1,220 SF PER = 2,660 SF | IMP = -25 SF PER = 940 SF | PARKING AREA GRADING |
| TOT = 2,965 SF | TOT = 3,880 SF | TOT = 915 SF | |

100-200 FT RIVERFRONT AREA (E)

| EXISTING | PROPOSED | DELTA | DESCRIPTION |
|--|---|--|-------------------------------------|
| IMP = 3,970 SF BLDG = 1,225 SF PER = 10,900 SF | IMP = 5,660 SF BLDG = 5,750 SF PER = 6,230 SF | IMP = 1,690 SF BLDG = 4,525 SF PER = -4,670 SF | PARKING AREA -- GRADING, LAWN |
| TOT = 16,095 SF | TOT = 17,640 SF | TOT = 1,545 SF | |

TOTAL RIVERFRONT AREA BY %

| | EXISTING | PROPOSED | DELTA |
|--------------|-----------|-----------|----------|
| 0 - 100 FT | 2,965 SF | 3,880 SF | 915 SF |
| 100 - 200 FT | 16,095 SF | 17,640 SF | 1,545 SF |
| TOTAL AREA | 19,060 SF | 21,520 SF | 2,460 SF |
| TOTAL BY % | 51.2% | 57.8% | 6.6% |

BORDERING LAND SUBJECT TO FLOODING (ZONE A) BY VOLUME

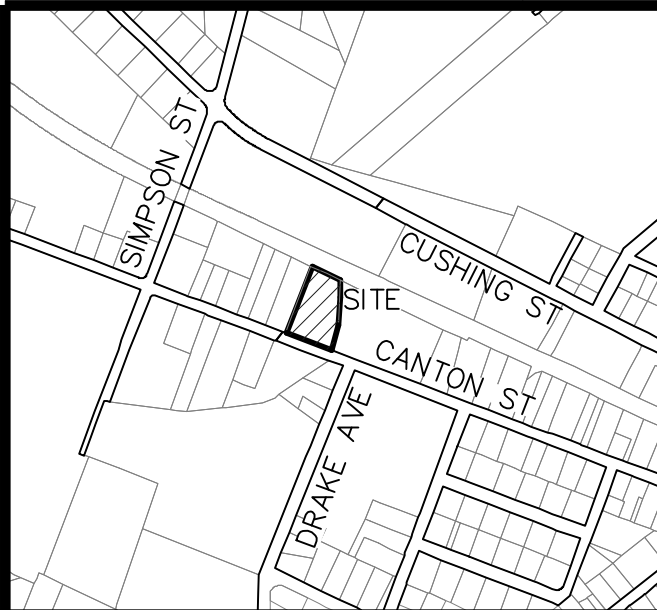
| ELEVATION | AREA | EXISTING VOLUME | CUM. VOL. | PROPOSED VOLUME | CUM. VOL. | CUM. DELTA CUM. VOL. |
|-----------|-----------|--------------------|-----------|--------------------|-----------|-------------------------|
| 200 | 2,495 SF | 3,903 CF | 3,903 CF | 2,703 SF | 3,932 CF | 29 CF |
| 201 | 5,310 SF | 7,048 CF | 10,950 CF | 5,160 SF | 6,528 CF | -491 CF |
| 202 | 8,785 SF | 10,693 CF | 21,643 CF | 7,895 SF | 10,723 CF | -461 CF |
| 203 | 12,600 SF | | | | | |

| EXISTING FEATURES |
|-------------------|
| PROPERTY LINE |
| ROW |
| ABUTTERS |
| BUILDING |
| EDGE OF PAVEMENT |
| CURB |
| WETLAND BOUNDARY |
| WETLAND BUFFER |
| BANK LINE |
| RIVERFRONT AREA |
| TREE LINE |
| FEMA ZONE LINE |

| PROPOSED FEATURES |
|----------------------------------|
| BUILDING |
| VERTICAL GRANITE CURB |
| EDGE OF PAVEMENT |
| TREE LINE |
| CONCRETE PAD |
| NEW BUFFER ZONE DISTURBANCE AREA |
| NEW RIVERFRONT DISTURBANCE AREA |
| BUFFER ZONE RESTORATION AREA |
| INVASIVE SPECIES MANAGEMENT AREA |



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC



LOCUS SCALE: 1"=600'

| REV | DESCRIPTION | DATE |
|-----|---------------|---------|
| 1 | TOWN COMMENTS | 5/27/25 |
| REV | DESCRIPTION | DATE |



| |
|--------------------------------|
| PROJECT NUMBER: 2305-001 |
| DATE OF ISSUE: 02/11/25 |
| SCALE: 1"=20' |
| DESIGNED BY: ED CHECKED BY: SH |

PREPARED ON BEHALF OF:
SUBURBAN ELECTRIC
CONTRACTING, INC.
339 CANTON STREET
STOUGHTON, MASSACHUSETTS

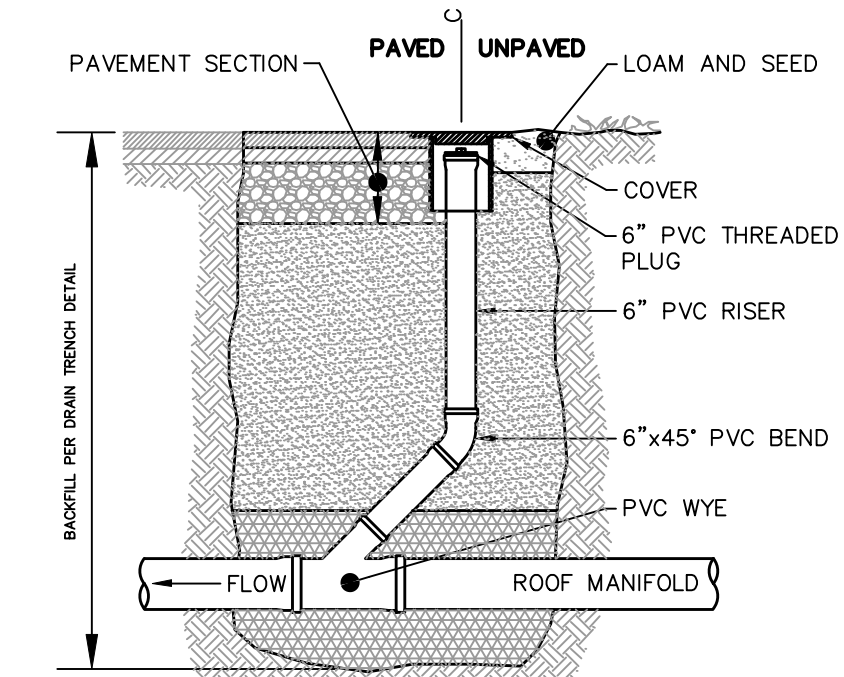
SITE DEVELOPMENT PLANS
FOR
271 CANTON STREET
STOUGHTON, MA 02072
MAP 43 PLOT 118

PROPOSED
RESOURCE AREA
DISTURBANCE AND
MITIGATION PLAN

NOI-1

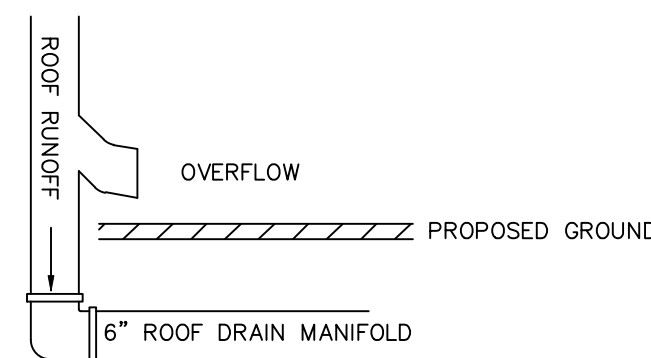
ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

COPYRIGHT © 2025 STRONG POINT ENGINEERING SOLUTIONS, LLC

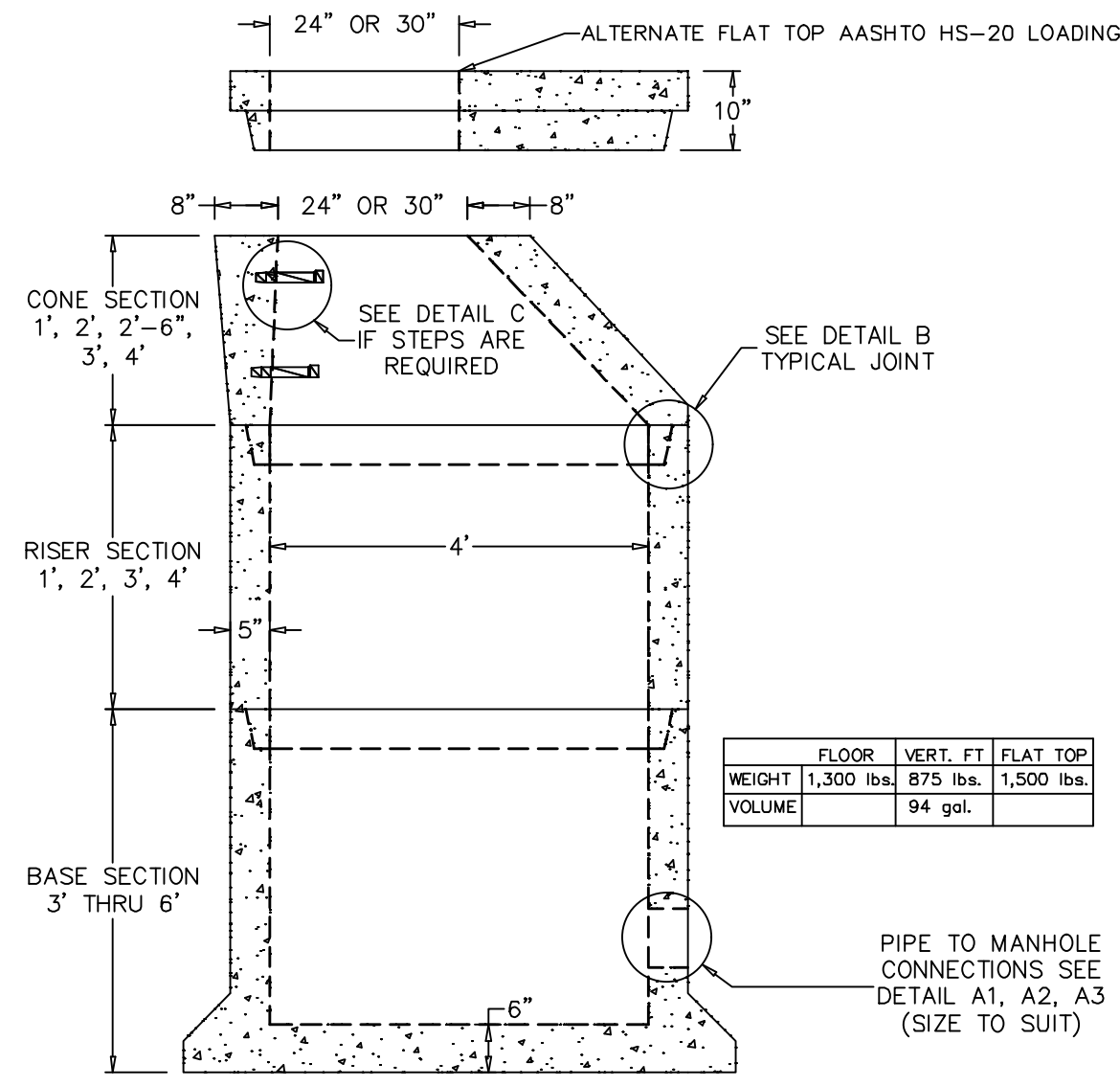


- NOTES:
1. CLEANOUT COVER SHALL BE PVC IF LOCATED IN LAWN OR LANDSCAPED AREA.
 2. COVER SHALL BE CAST IRON IF LOCATED IN SIDEWALK, PARKING LOT OR DRIVEWAY. CAST IRON COVER SHALL BE RATED BY THE MANUFACTURER TO WITHSTAND H-20 LOADING CONDITIONS.

ROOFTOP MANIFOLD CLEAN OUT
NOT TO SCALE

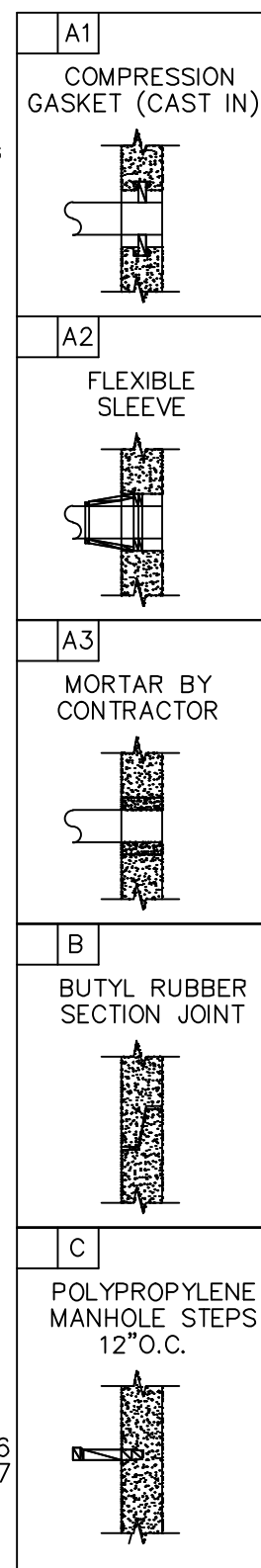


ROOFTOP DRAINAGE CONNECTION DETAIL
NOT TO SCALE

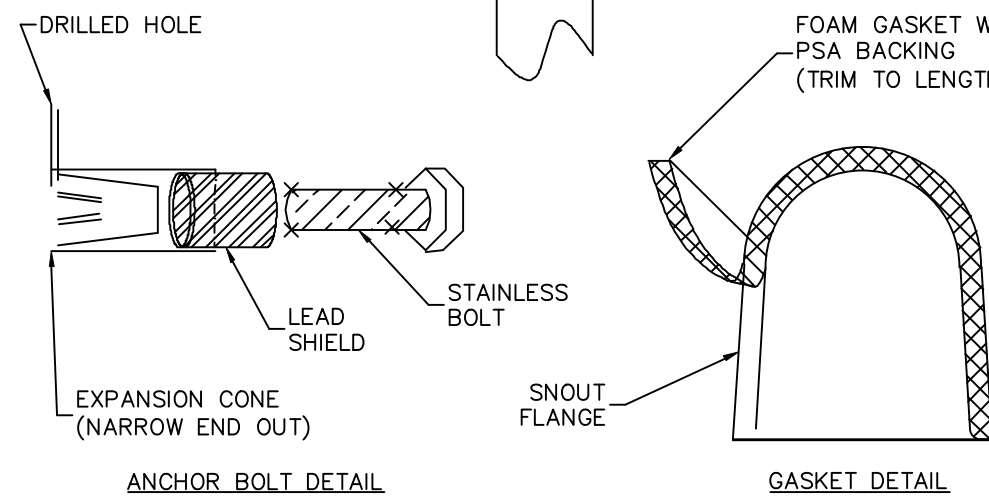


- DESIGN NOTES:
1. MANUFACTURED TO MEET OR EXCEED: ASTM C-478 & AASHTO M 199 SPECS.
 2. CONCRETE = 4,000 PSI. MINIMUM CEMENT PER ASTM C-478 (6.1)
 3. REINFORCED STEEL CONFORMS TO LATEST ASTM A 185 SPECIFICATIONS. 0.12 SQ. IN. / LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM
 4. STEEL REINFORCEMENT TO MEET OR EXCEED AASHTO HS-20 LOADING
 5. MANHOLE STEPS MEET LATEST OSHA REGULATION 29 CFR1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497
 6. BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & AASHTO M-198
 7. WATER PROOFING PER CONTRACT SPECS. AS REQUIRED

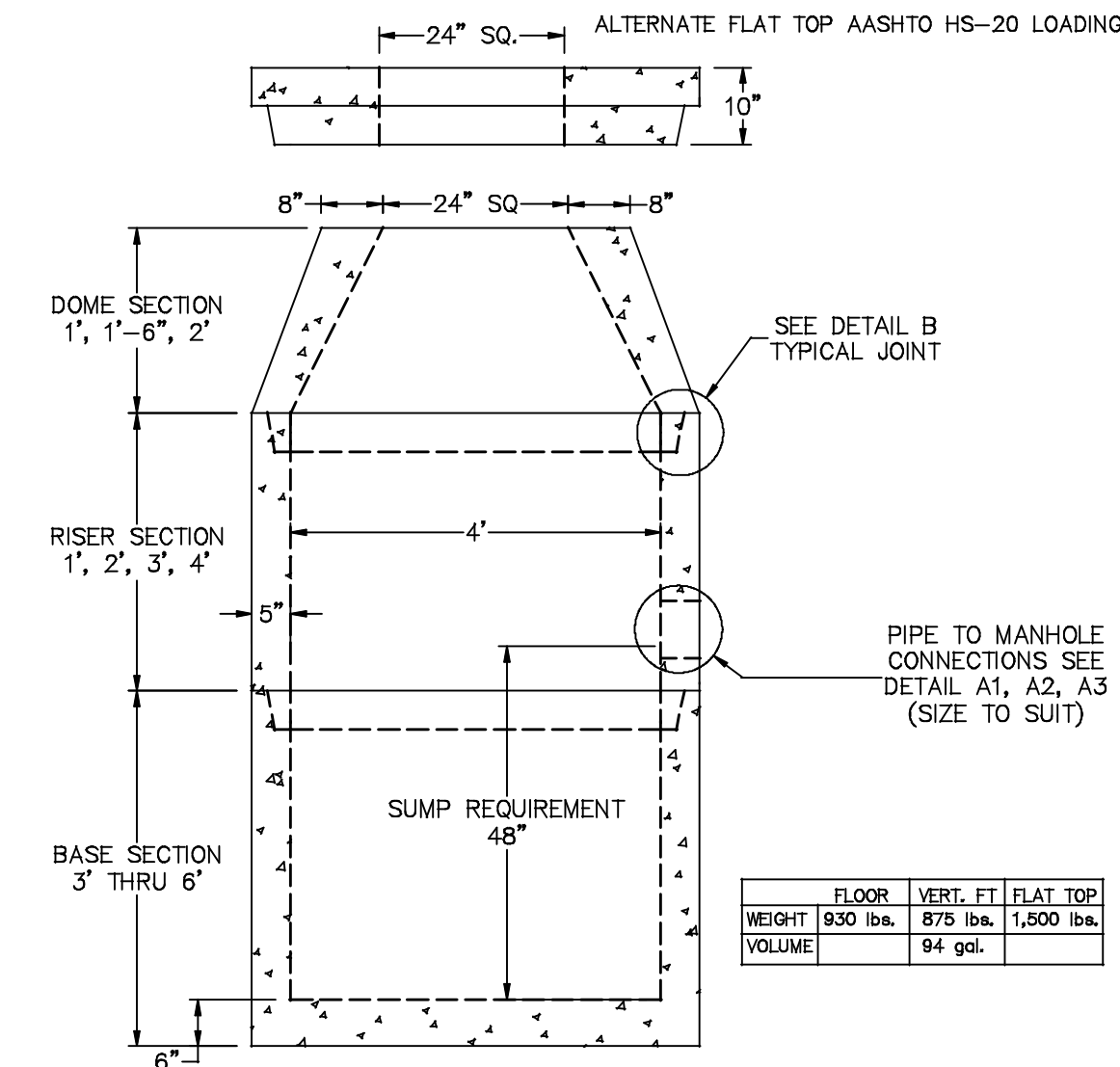
DRAIN MANHOLE WITH FLAT TOP
NOT TO SCALE



- NOTES:
1. POSITION HOOD SO THAT BOTTOM FLANGE OF SNOOT IS 1/2 THE PIPE DIAMETER BELOW THE BOTTOM OF THE PIPE FOR PIPES >12" ID. FOR PIPES < 10" ID PLACE SNOOT 6" (MIN.) BELOW BOTTOM OF PIPE
 2. CATCH BASIN HOOD AND ANCHOR BOLTS SHALL BE E1 5915-10 OR APPROVED EQUAL.

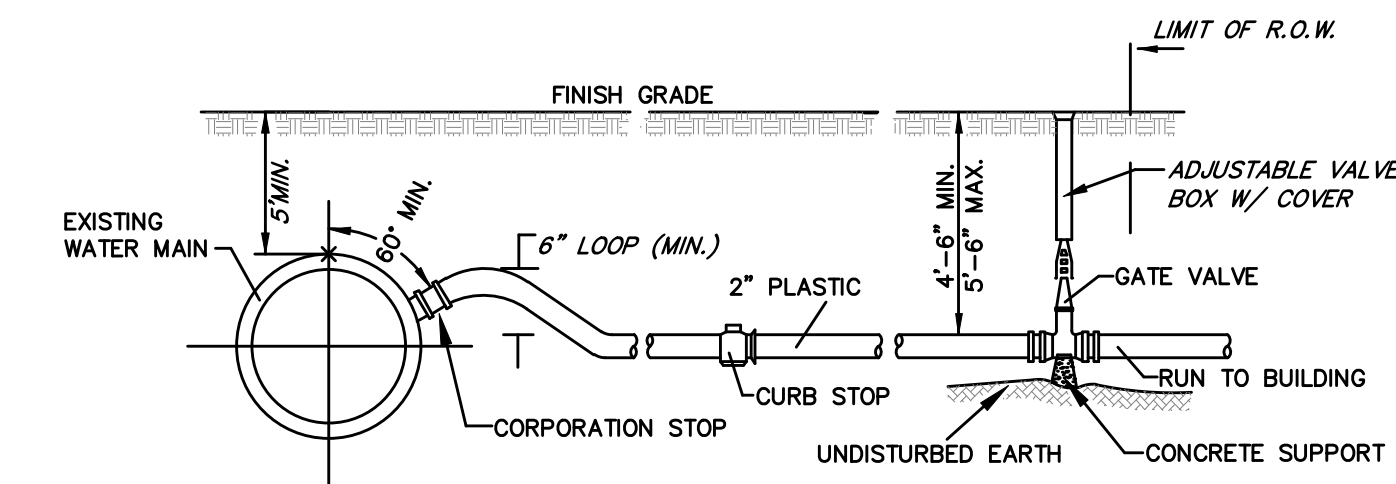
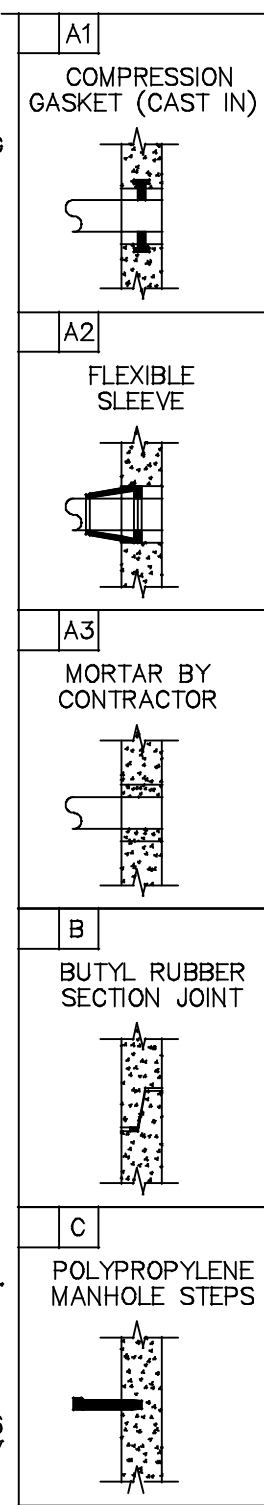


CATCH BASIN HOOD
NOT TO SCALE



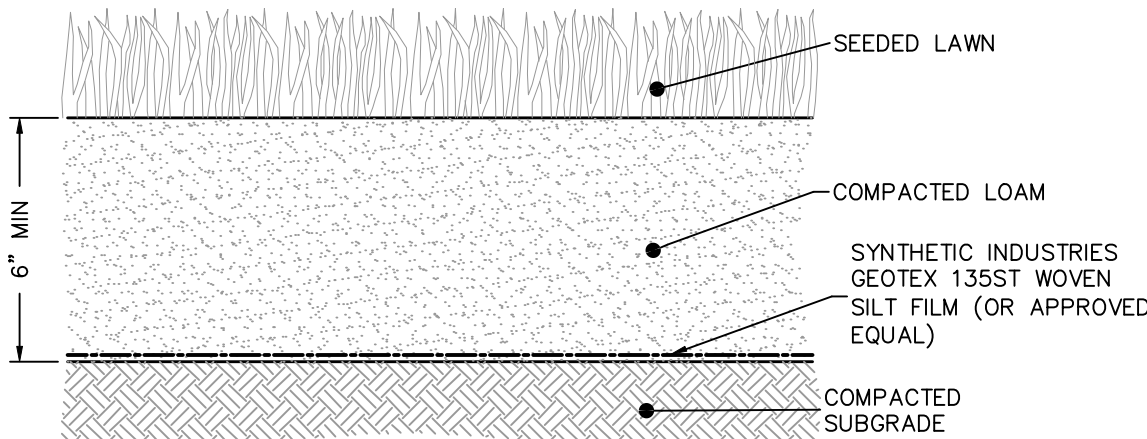
- DESIGN NOTES:
1. MANUFACTURED TO MEET OR EXCEED: ASTM C-478 & AASHTO M 199 SPECS.
 2. CONCRETE = 4,000 PSI. MINIMUM CEMENT PER ASTM C-478 (6.1)
 3. REINFORCED STEEL CONFORMS TO LATEST ASTM A 185 SPECIFICATIONS. 0.12 SQ. IN. / LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM
 4. STEEL REINFORCEMENT TO MEET OR EXCEED AASHTO HS-20 LOADING
 5. MANHOLE STEPS MEET LATEST OSHA REGULATION 29 CFR1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497
 6. BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & AASHTO M-198

FLAT TOP PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



- NOTE: SADDLES ARE REQUIRED FOR TAPS LARGER THAN 1 INCH.
1. WATER SERVICE SHALL MINIMUM OF 4.5 FEET OF COVER, BEDDED ON 6 INCHES OF SAND AND BACKFILLED WITH 12 INCHES OF SAND.
 2. CONTRACTOR TO PROVIDE AND ATTACH 12 GAGE TRACER WIRE TO THE WATER SERVICE PIPE AND TERMINATE THE WIRE AT THE BALL VALVE BEFORE THE METER AND UP INTO THE TOP OF THE CURB BOX. DO NOT GROUND ELECTRIC PANEL TO THE PLASTIC WATER PIPE
 3. CONTRACTOR TO PROVIDE LOCATOR TAPE ON TOP OF THE SAND FOR THE FULL LENGTH OF THE TRENCH.
 4. PLUMBER SHALL PROVIDE 3/4-TURN BALL VALVES BEFORE AND AFTER THE WATER METER.
 5. WATER SHUT-OFF SHALL BE ERIE-STYLE WITH STAINLESS STEEL CENTERING ROD.
 6. CONTRACTOR SHALL NOTIFY THE DPW WATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILL

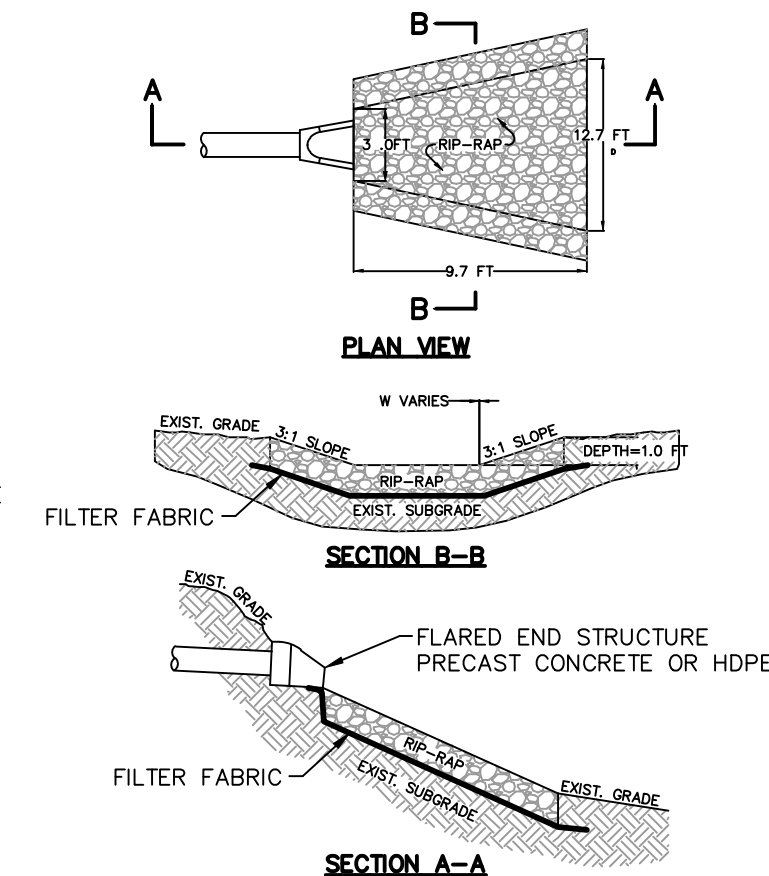
WATER SERVICE CONNECTION
NOT TO SCALE



- NOTES:
1. **LOAM SPECIFICATION:**
 - LOAM SHALL BE FERTILE, NATURAL TOPSOIL TYPICAL OF THE LOCALITY AND SHALL BE CAPABLE OF SUPPORTING PLANT GROWTH.
 - LOAM SHALL CONTAIN NOT LESS THAN 5.5% NOR MORE THAN 7.5% ORGANIC MATERIAL AND SHALL CONTAIN NO STONE LARGER THAN 1" IN ANY DIMENSION.
 - LOAM SHALL BE FREE FROM ADMIXTURE OF SUBGRADE SOIL, FOREIGN MATTER, STUMPS, ROOTS, WEEDS, STIFF CLAY, ANY MATERIAL LARGER THAN 1" IN ANY DIMENSION, NOR ANY MATERIAL HARMFUL TO PLANT GROWTH.
 2. **SEED SPECIFICATION:**
 - ALL SEED SHALL BE FRESH, CLEAN NEW CROP SEED.
 - SEED MIX A SHALL BE USED IN LAWN AREAS TO BE MAINTAINED REGULARLY.
 - SEED MIX B SHALL BE USED IN AREAS OF THE SITE WITH A 3:1 OR GREATER SLOPE THAT AN NOT TO BE REGULARLY MAINTAINED AND TO CONTROL EROSION.
 - SEED MIXES SHALL BE COMPOSTED OF THE FOLLOWING VARIETIES, WHICH SHALL BE MIXED IN PROPORTIONS AND SHALL TEST TO THE MINIMUM PERCENTAGES, PURITY AND GERMINATION SPECIFIED.

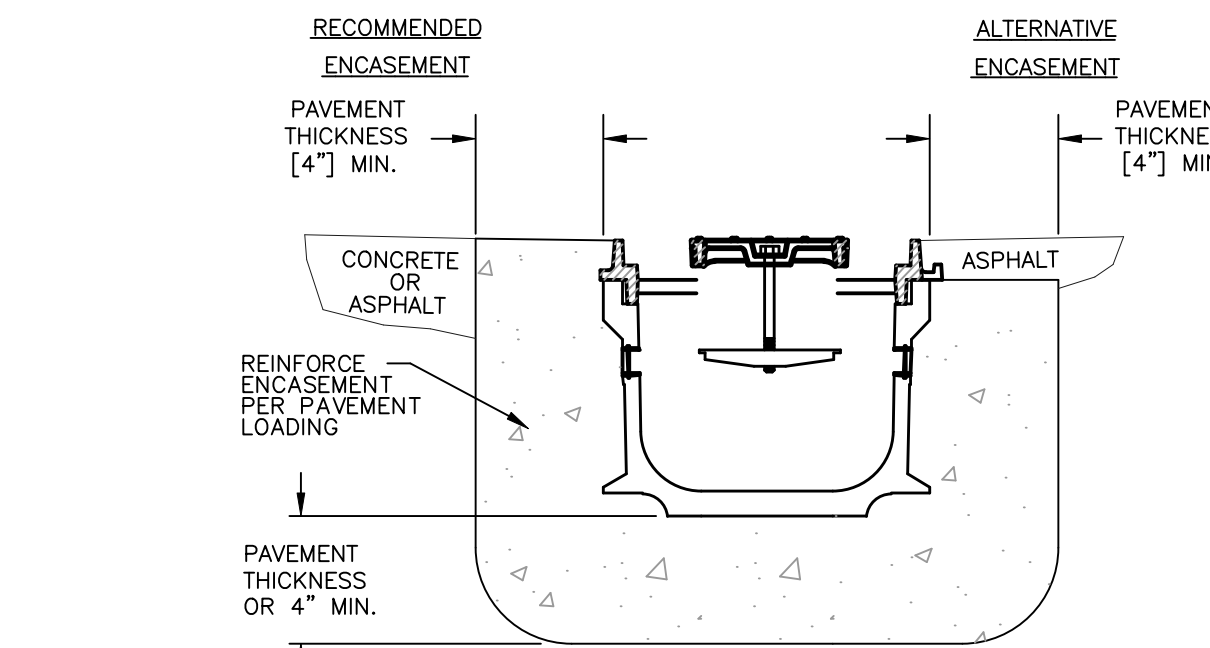
| SEED MIX TYPE A | | | | SEED MIX TYPE B | | | |
|---------------------|--------|-----|-----|-----------------|--------|-----|-----|
| COMMON NAME | WEIGHT | P% | G% | COMMON NAME | WEIGHT | P% | G% |
| KENTUCKY BLUEGRASS | 20% | 98% | 85% | ANNUAL RYE | 20% | 98% | 85% |
| CHEWINGS FESCUE | 10% | 87% | 85% | RED TOP FESCUE | 15% | 87% | 85% |
| PERENNIAL RYEGRASS | 20% | 98% | 90% | WHITE CLOVER | 10% | 98% | 90% |
| CREeping RED FESCUE | 20% | 98% | 90% | LADINO CLOVER | 5% | 90% | 90% |
| ANNUAL RYE OR OTHER | 20% | 98% | 90% | CROWN VETCH | 5% | 85% | 85% |

LOAM AND SEED
NOT TO SCALE

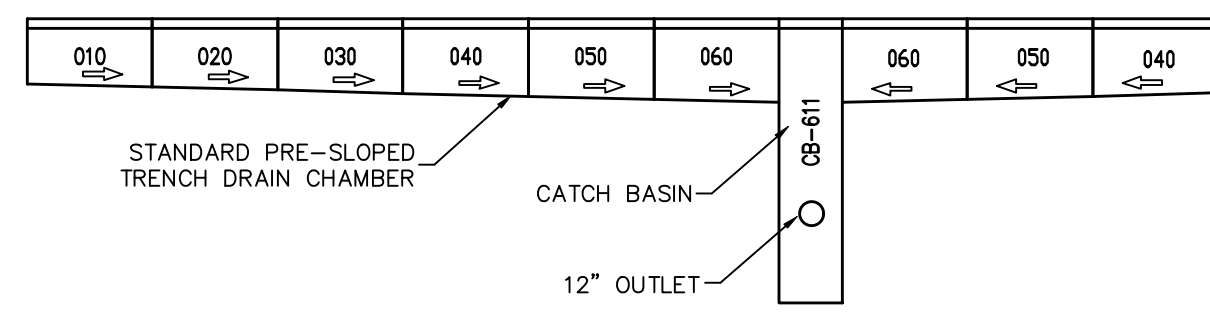


- RI RAP OUTLET PROTECTION NOTES:
1. STONE SIZE: D₅₀=12", 50 LB.
 2. STONE SIZE SHALL BE EVENLY GRADED BETWEEN 3" AND 18".
 3. FILTER FABRIC SHALL BE MIRAF 140N OR APPROVED EQUAL.

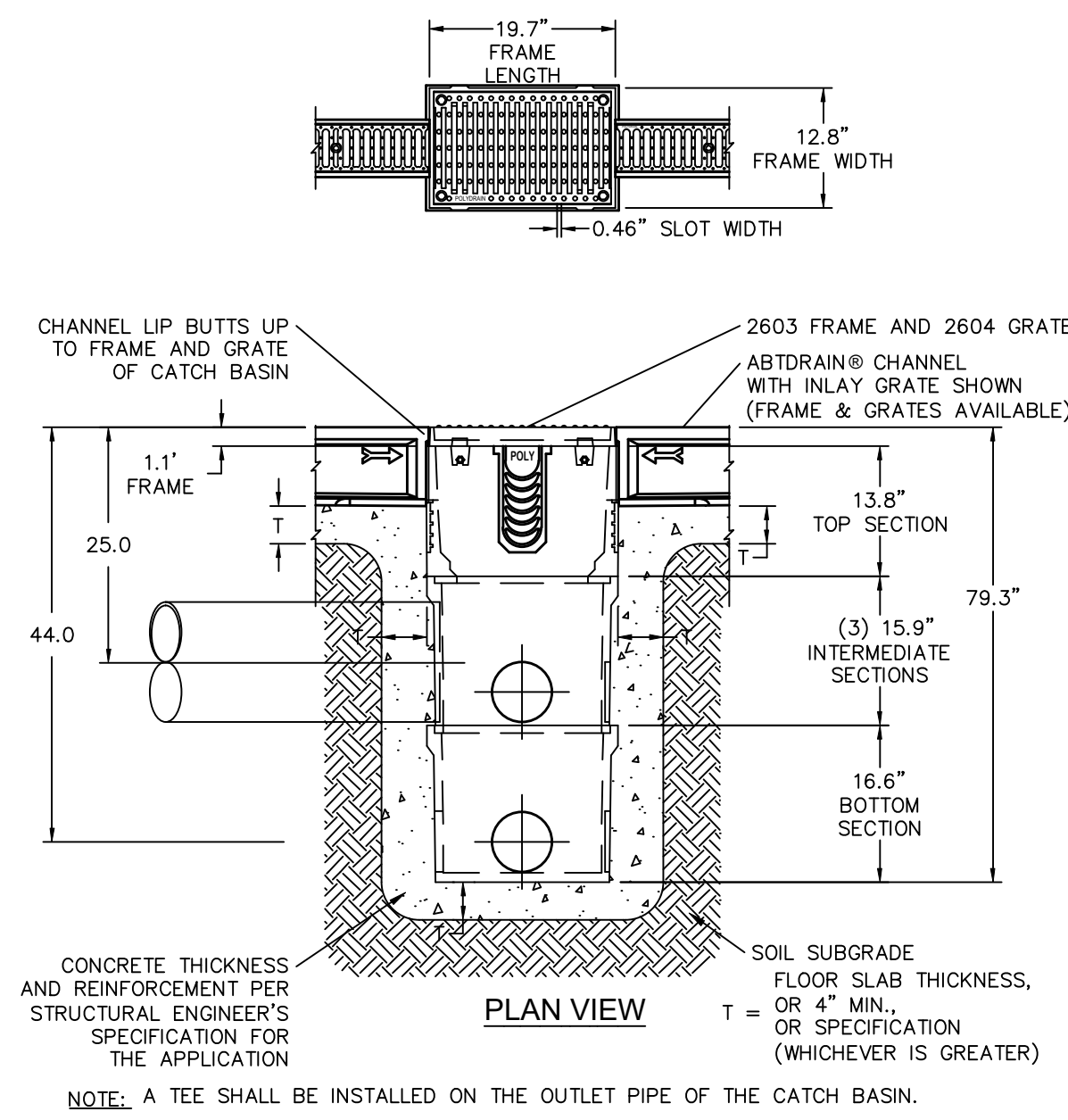
RI RAP OUTLET PROTECTION
NOT TO SCALE



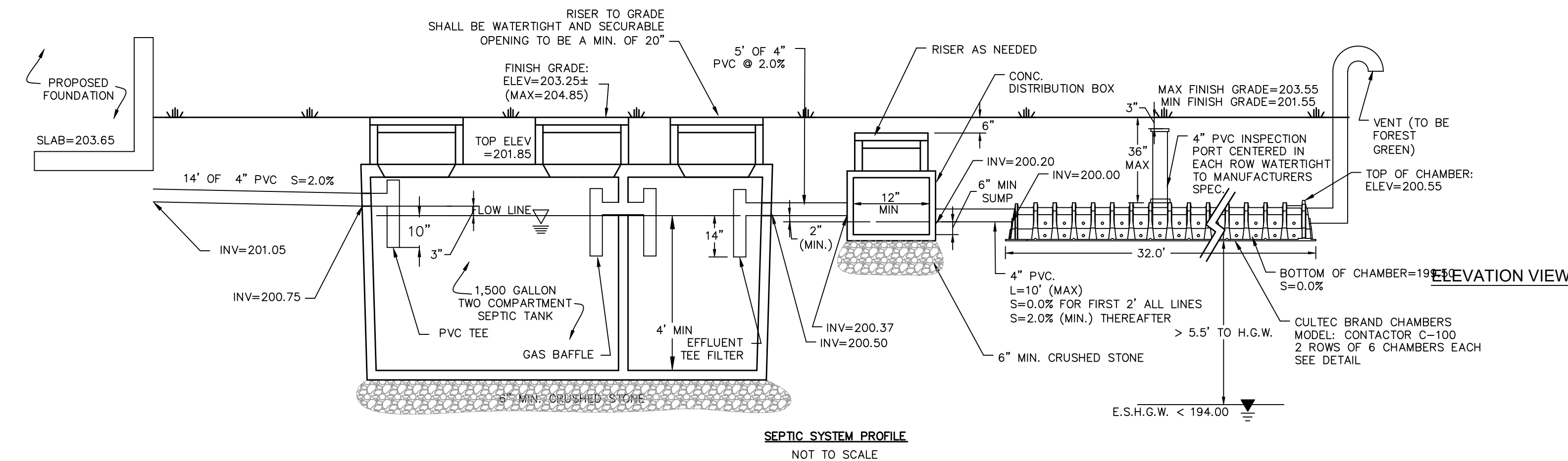
TRENCH DRAIN - SECTION VIEW
NOT TO SCALE



TRENCH DRAIN - COMPONENT VIEW
NOT TO SCALE



TRENCH DRAIN - CATCH BASIN
NOT TO SCALE



SEPTIC SYSTEM PROFILE
NOT TO SCALE



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC



LOCUS SCALE: 1"=600'

| REV | DESCRIPTION | DATE |
|-----|---------------|---------|
| 1 | TOWN COMMENTS | 5/27/25 |



PROJECT NUMBER: 2305-001
DATE OF ISSUE: 02/11/25
SCALE: 1"=20'

DESIGNED BY: ED CHECKED BY: SH
PREPARED ON BEHALF OF:
SUBURBAN ELECTRIC CONTRACTING, INC.
339 CANTON STREET
STOUGHTON, MASSACHUSETTS

SITE DEVELOPMENT PLANS
FOR
271 CANTON STREET
STOUGHTON, MA 02072
MAP 43 LOT 118

DETAIL SHEET
D-1

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION



TOWN OF STOUGHTON

Massachusetts
MA 02072

PLANNING BOARD

Site Plan Approval
Suburban Electric Contracting, Inc.
271 Canton Street

for
Case # SP25-006

Date: July 17, 2025

Applicant: Suburban Electric Contracting, Inc.
Attn: Richard Piazza
339 Canton Street
Stoughton MA, 02072

Owner: 339 & 353 Canton Street LLC
c/o: Richard Piazza
339 Canton Street
Stoughton MA, 02072

Representative: Eric Dias
Strongpoint Engineering, Inc.
340 Manley Street, Unit 2
West Bridgewater, MA 02379

Property: 271 Canton Street
Stoughton, MA 02072
Assessors Map 43; Lot 118
Book: 41168, Page: 532

I) Project Summary

On February 18, 2025, applicant, Richard Piazza, Suburban Electric Contracting, Inc. ("Applicant"), filed an application for Site Plan Approval under Section 10.6 of the Town of Stoughton's Zoning Bylaws. The Site Plan Review under Section 10.6 is to construct a 6,995 +/- SF industrial office/contractor bay building with 16 parking spaces, landscaping and stormwater drainage system ("Project"), at and upon land known and numbered as 271 Canton Street (Assessors Map 43; Lot 118 the "Property"). The applicant has requested waivers to Section 10.6.10 to not provide a traffic report, Visual Impacts Assessment, Environmental Assessment, Economic Impact Assessment, and Community Impact

Bk 42612 Pg455 #59652
08-27-2025 @ 10:06a

RECEIVED
TOWN OF STOUGHTON, MASS.

2025 JUL 18 AM 10:16

I hereby certify that no appeal has been filed with the Office of the Town Clerk within the twenty day appeal period.

Assistant
Town Clerk

Date 8/25/25

A True Copy
Attest:

Stoughton Town Clerk 02072

WILLIAM P. O'DONNELL, REGISTER
NORFOLK COUNTY REGISTRY OF DEEDS
RECEIVED & RECORDED ELECTRONICALLY

Case #: SP25-006 - Site Plan- 271 Canton Street - Suburban Electric Contracting, Inc.

Bk 42612 Pg458 #59652

VI) Site Plan Waivers

The applicant has requested waivers to Section 10.6.10 to not provide a traffic report, Visual Impacts Assessment, Environmental Assessment, Economic Impact Assessment and Community Impact Assessment.

The property was formerly a house, as where many of the lots along Canton Street, that have since been developed into smaller commercial businesses. Canton Street is fully constructed and of sufficient width and road surface. The proposed project is not of sufficient size to require a traffic Study, Economic Impact Assessment and Community Impact Assessment. The site has wetlands, has gone through the NOI process with the Conservation Commission, and an Order of conditions has been issued. Therefore, an Environmental Assessment is also not necessary.

The Planning Board after review of the application and public testimony, find that the requested waivers are reasonable and no substantial detriment would result. Therefore, the waiver requests are approved subject to the findings and conditions contained within this report.

VII) Conditions

A) General Conditions

- This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
- Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
- The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
- All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
- The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.

Case #: SP25-006 - Site Plan- 271 Canton Street - Suburban Electric Contracting, Inc.

4

Bk 42612 Pg456 #59652

Assessment. The land area is +/- 1 acre. The Project is located within the Industrial (I) Zoning District.

II) Procedural History

- A Site Plan Application was filed by the above referenced applicant with the Planning Board on February 18, 2025.
- The hearing was advertised on March 12, 2025 and March 19, 2025 in the Patriot- Ledger.
- Public hearings on the Site Plan were held on March 27, 2025, June 26, 2025, and July 17, 2025.
- On July 17, 2025, the public hearing was closed and on July 17, 2025, the Planning Board voted to approve the Site Plan and Waivers.

III) Application Submittals

- Site Plan Application submitted February 18, 2025.
- Site Plan entitled "Site Development Plans - 271 Canton Street" prepared by Strongpoint Engineering, dated February 11, 2025 and revised July 10, 2025.
- Site Plan Cover Letter, Narrative and Development Impact Report, prepared by Strongpoint Engineering, dated February 17, 2025.
- Stormwater Management Report prepared by Strongpoint Engineering, dated February 11, 2025 and revised May 27, 2025.
- Architectural floor plans and colored elevations prepared by AD Architects dated February 26, 2025 and revised July 10, 2025.
- Applicant response letter dated May 27, 2025 to the Town's First Technical Review memo.
- Applicant response letter dated July 10, 2025 to the Town's Second Technical Review memo.

IV) Related Documents

- Copy of the Legal Public Hearing notice from the edition of the Patriot- Ledger dated March 12, 2025 and March 19, 2025.
- Two Technical Engineering Review Letters dated March 24, 2025 and June 16, 2025 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner.

V) Findings and Determinations

After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 10.6.1 as well as 10.6.9 through 10.6.12 Specifically,

Case #: SP25-006 - Site Plan- 271 Canton Street - Suburban Electric Contracting, Inc.

2

Bk 42612 Pg459 #59652

- Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first, in accordance with the fee schedule dated March 23, 2017.
- The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
- Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first.
- Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
- A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.
- All construction shall be in strict conformance with the approved plans as follows:
 - Site Plan entitled "Site Development Plans - 271 Canton Street" prepared by Strongpoint Engineering, dated February 11, 2025 and revised July 10, 2025.
 - Architectural floor plans and colored elevations prepared by AD Architects dated February 26, 2025 and revised July 10, 2025.
- The applicant shall record the Site Operation & Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit.
- The applicant shall clean the entire drainage system at the end of construction.
- A Final As-built Plan shall be submitted for review by the Engineering Department prior to the issuance of a Certificate of Occupancy.
- The Planning Board requires a cash bond in the amount to cover 50% of the replacement cost of all landscaping prior to the issuance of a Certificate of Occupancy. The bond will be held by the Planning Board for one full growing season after the landscaping is installed.

Case #: SP25-006 - Site Plan- 271 Canton Street - Suburban Electric Contracting, Inc.

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Bk 42612 Pg457 #59652

the Board has examined each of the criteria set forth in Section 10.6.1 and finds as follows:

- The location of the parking area, uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.
- Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff, and glare of lights.
- Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection, and methods of solid waste disposal are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
- Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed, and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
- Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The property was previously developed.
- Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.
- After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department, and the Planning Department, the Planning Board analyzed all the comments, and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
- The Planning Board, in granting the Applicant's request for a Site Plan Approval and Stormwater Management Permit pursuant to the provisions of Section 10.6 "Site Plan Review" and Town Code Chapter 159 "Stormwater Management", found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.

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- B) Special Conditions
- None

VIII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Stormwater Management Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.

On this day of July 17, 2025.

Daniel Kelly, Chairman

Paul Demusz, Vice Chairman

Paul Deliveau

Richard Terry

Peter Murphy

cc: Town Clerk
Applicant
Interested Parties

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on JULY 18, 2025.

FOR THE PLANNING BOARD

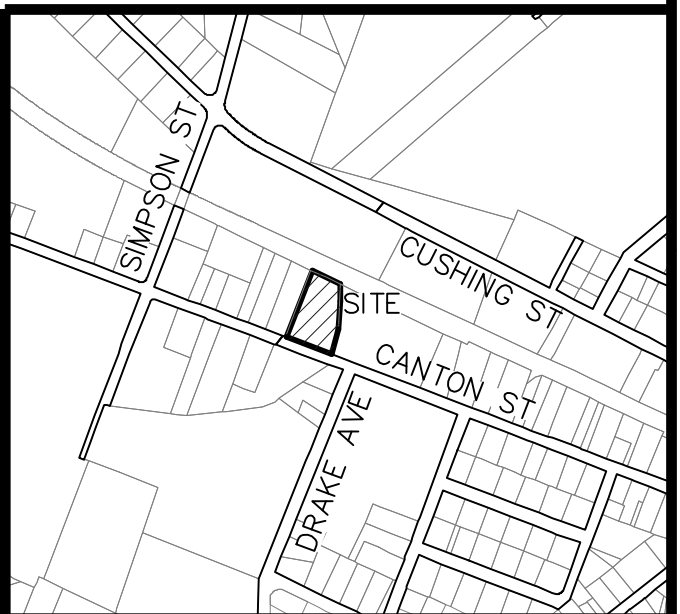
Daniel Kelly, Chairman

Case #: SP25-006 - Site Plan- 271 Canton Street - Suburban Electric Contracting, Inc.

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PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC



LOCUS SCALE: 1"=600'

| REV | DESCRIPTION | DATE |
|-----|----------------|---------|
| 3 | PB ENDORSEMENT | 8/27/25 |
| 2 | TOWN COMMENTS | 7/10/25 |
| 1 | TOWN COMMENTS | 5/27/25 |



| | |
|-----------------|----------|
| PROJECT NUMBER: | 2305-001 |
| DATE OF ISSUE: | 02/11/25 |
| SCALE: | 1"=20' |
| DESIGNED BY: | ED |
| CHECKED BY: | SH |

PREPARED ON BEHALF OF:
SUBURBAN ELECTRIC CONTRACTING, INC.
339 CANTON STREET
STOUGHTON, MASSACHUSETTS
SITE DEVELOPMENT PLANS
FOR
271 CANTON STREET
STOUGHTON, MA 02072
MAP 43 PLOT 118

PLANNING
BOARD
DECISION

PB-1

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

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