

SITE DEVELOPMENT PLANS FOR EAGLE ROCK PASSIVE HOMES FLEXIBLE DEVELOPMENT

0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS
MAP 8 LOTS 16 & 17

APPLICANT:
EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02486

CIVIL ENGINEER :



ENVIRONMENTAL CONSULTANT

LEC ENVIRONMENTAL CONSULTANTS, INC.
380 LOWELL STREET, SUITE 101
WAKEFIELD, MA 01880

ARCHITECT

RODE ARCHITECTS, INC.
535 ALBANY STREET, SUITE 39
BOSTON, MA 02118

LANDSCAPE ARCHITECT

M D L A
840 SUMMER STREET, SUITE 201A
BOSTON, MA 02127



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C-5B	PLAN & PROFILE	--	06/06/25
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PB-1	PLANNING BOARD DECISION	--	08/27/25

TOWN OF STOUGHTON ZONING BY-LAW WAIVERS GRANTED

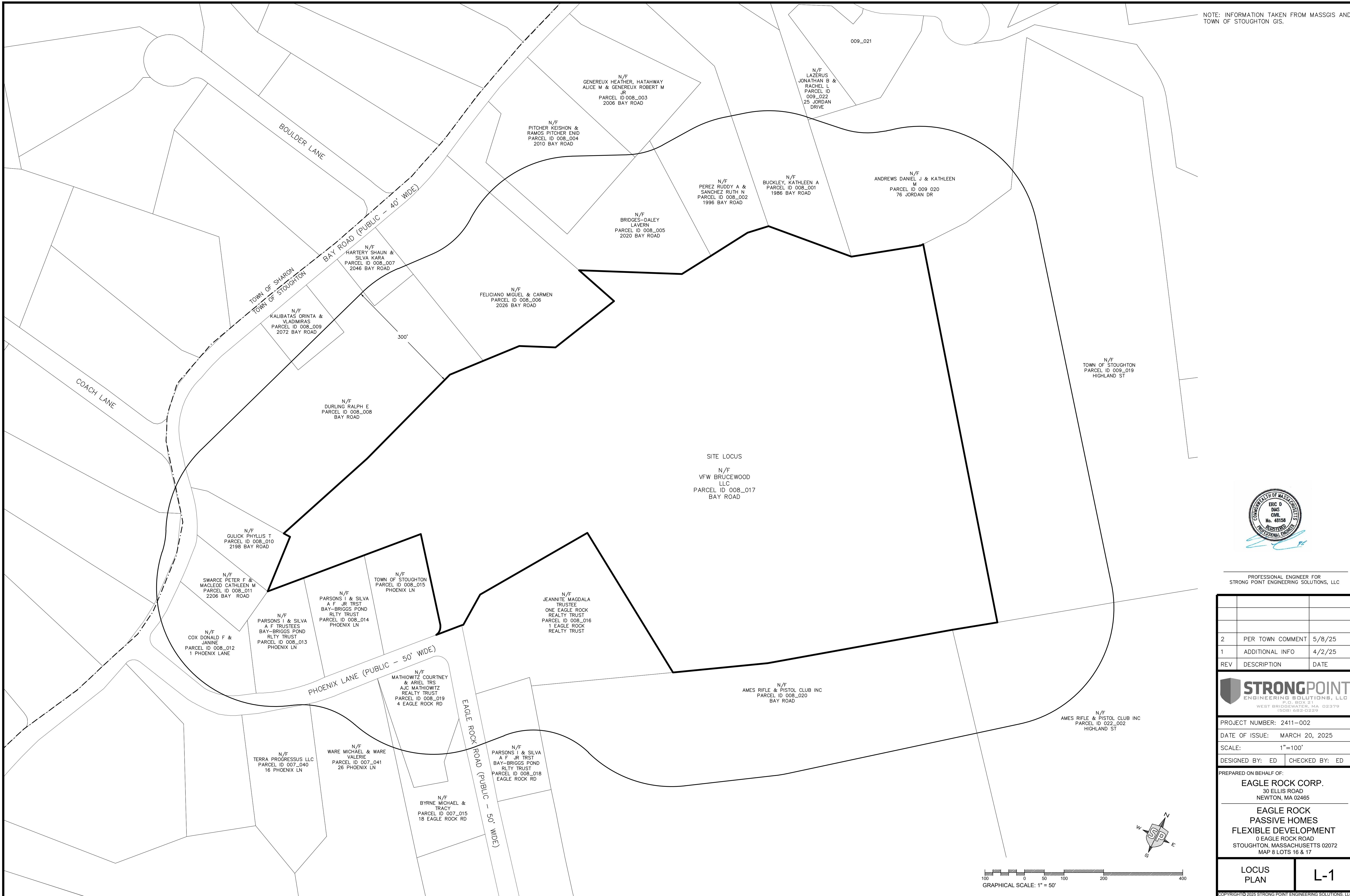
THE FOLLOWING WAIVERS FROM CERTAIN SECTIONS OF THE TOWN OF STOUGHTON ZONING BY-LAWS ARE GRANTED BY THE TOWN OF STOUGHTON PLANNING BOARD TO SUPPORT THE PROPOSED DEVELOPMENT SHOWN:

SECTION	WAIVER REQUESTED
10.6.9.9.	WAIVER TO DEFINE THE OPEN SPACE DESIGNATION BY METES AND BOUNDS AS A CONDITION OF APPROVAL.
10.6.9.11.	WAIVER TO SET SITE BENCHMARKS PRIOR TO CONSTRUCTION AND INCLUDE ON FINAL SITE AS-BUILT PLAN.
10.6.9.20.	WAIVER TO PROVIDE ELEVATION AND FAÇADE TREATMENTS FOR INDIVIDUAL UNITS. A TYPICAL EXAMPLE HAS BEEN PROVIDED.

ISSUED FOR REVIEW: MARCH 20, 2025

REVISED: AUGUST 27, 2025

PERMIT SET NOT FOR CONSTRUCTION



TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION
CONTROL LAW

DATE:

APPROVED, SUBJECT TO
CONDITIONS SET FORTH IN THE
CERTIFICATE OF ACTION FILED WITH THE
TOWN CLERK ON _____

APPROVED, SUBJECT TO A
COVENANT EXECUTED BY
DATE _____ AND TO BE (RECORDED)
(REGISTERED) HEREWITHE



OFF-SITE WETLANDS
LOCATION FROM
MEASURED DISTANCES
FROM LOT LINE STAKES

BAY ROAD
PARCEL ID: 008 008 0
N/F
RALPH E. DURLING

566 N 9°33'34"E
557.05 (CALC-HELD)
(PLAN)

280

BEAN POLE
SET

280

NOTES:

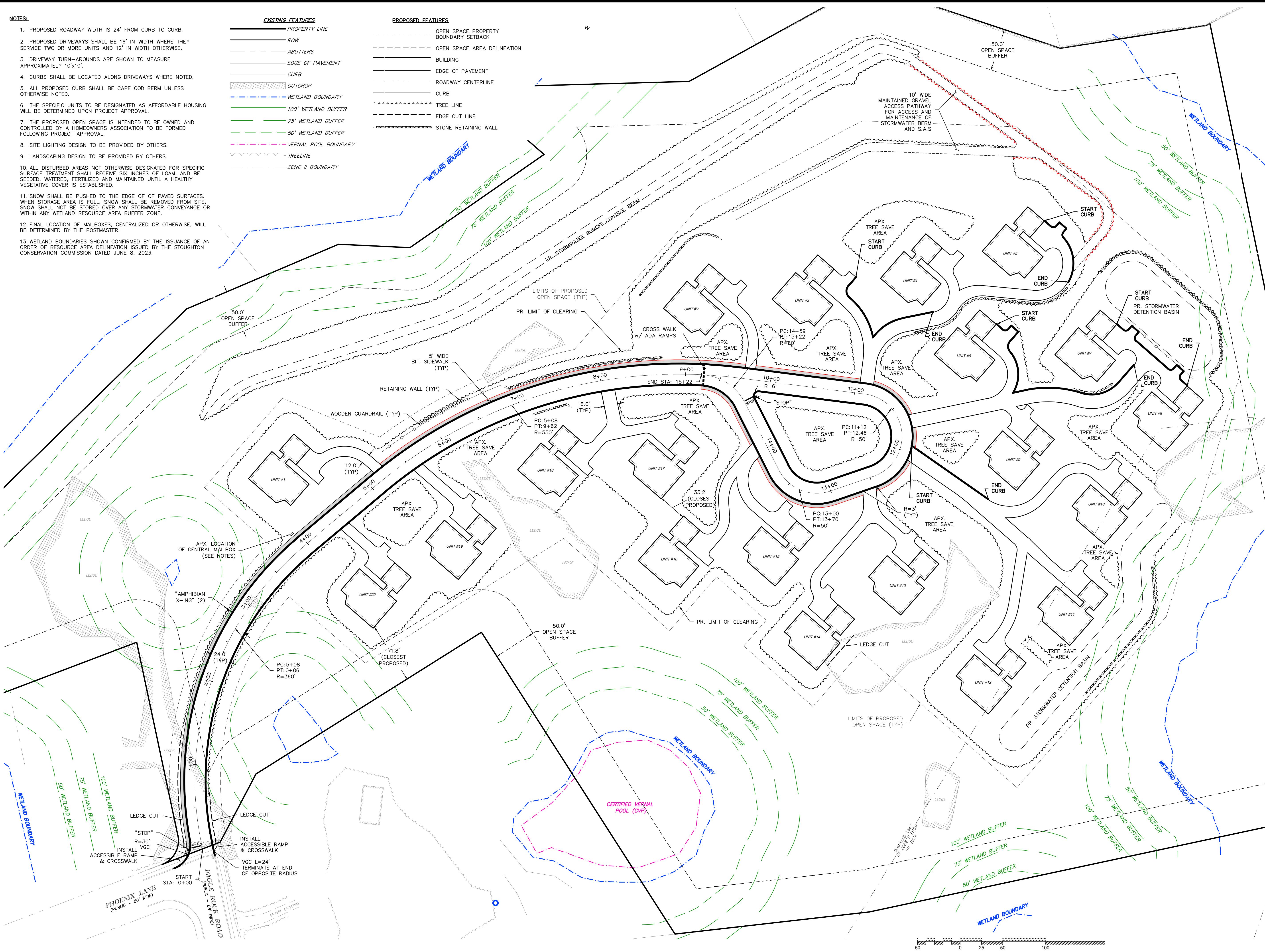
1. PROPOSED ROADWAY WIDTH IS 24' FROM CURB TO CURB.
2. PROPOSED DRIVEWAYS SHALL BE 16' IN WIDTH WHERE THEY SERVICE TWO OR MORE UNITS AND 12' IN WIDTH OTHERWISE.
3. DRIVEWAY TURN-AROUNDS ARE SHOWN TO MEASURE APPROXIMATELY 10'x10'.
4. CURBS SHALL BE LOCATED ALONG DRIVEWAYS WHERE NOTED.
5. ALL PROPOSED CURB SHALL BE CAPE COD BERM UNLESS OTHERWISE NOTED.
6. THE SPECIFIC UNITS TO BE DESIGNATED AS AFFORDABLE HOUSING WILL BE DETERMINED UPON PROJECT APPROVAL.
7. THE PROPOSED OPEN SPACE IS INTENDED TO BE OWNED AND CONTROLLED BY A HOMEOWNERS ASSOCIATION TO BE FORMED FOLLOWING PROJECT APPROVAL.
8. SITE LIGHTING DESIGN TO BE PROVIDED BY OTHERS.
9. LANDSCAPING DESIGN TO BE PROVIDED BY OTHERS.
10. ALL DISTURBED AREAS NOT OTHERWISE DESIGNATED FOR SPECIFIC SURFACE TREATMENT SHALL RECEIVE SIX INCHES OF LOAM, AND BE SEEDED, WATERED, FERTILIZED AND MAINTAINED UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
11. SNOW SHALL BE PUSHED TO THE EDGE OF PAVED SURFACES. WHEN STORAGE AREA IS FULL, SNOW SHALL BE REMOVED FROM SITE. SNOW SHALL NOT BE STORED OVER ANY STORMWATER CONVEYANCE OR WITHIN ANY WETLAND RESOURCE AREA BUFFER ZONE.
12. FINAL LOCATION OF MAILBOXES, CENTRALIZED OR OTHERWISE, WILL BE DETERMINED BY THE POSTMASTER.
13. WETLAND BOUNDARIES SHOWN CONFIRMED BY THE ISSUANCE OF AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE STOUGHTON CONSERVATION COMMISSION DATED JUNE 8, 2023.

EXISTING FEATURES

- PROPERTY LINE
- ROW
- ABUTTERS
- EDGE OF PAVEMENT
- CURB
- OUTCROP
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- 75' WETLAND BUFFER
- 50' WETLAND BUFFER
- VERNAL POOL BOUNDARY
- TREELINE
- ZONE II BOUNDARY

PROPOSED FEATURES

- OPEN SPACE PROPERTY BOUNDARY SETBACK
- OPEN SPACE AREA DELINEATION
- BUILDING
- EDGE OF PAVEMENT
- ROADWAY CENTERLINE
- CURB
- EDGECUT LINE
- STONE RETAINING WALL



RESIDENTIAL A	DIMENSIONAL REQUIREMENTS		
	REQUIRED	EXISTING	
MIN. LOT AREA	55,000 SF	1,213,188 SF	
MIN. LOT WIDTH	150 FT	87 FT*	
MIN. LOT FRONTAGE	150 FT	73 FT*	
MIN. LOT DEPTH	180 FT	518 FT	
MIN. FRONT YARD	40 FT	--	
MIN. SIDE YARD	20 FT	--	
MIN. REAR YARD	50 FT	--	
MAX. BUILDING AREA	20%	--	
MIN. OPEN SPACE	50%	100%	
*PRE-EXISTING NON-COMFORMING			

FLEXIBLE DEVELOPMENT OPEN SPACE CALCULATIONS

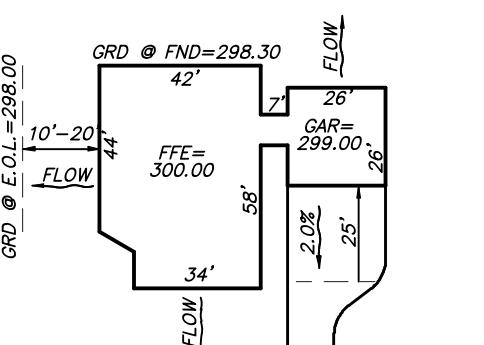
TOTAL LOT AREA = 1,213,188 SF (27.9 Ac.)

OPEN SPACE AREA = 682,298 SF (15.7 Ac.)

% OPEN SPACE = 56%

% WETLAND OF PROPERTY = 7.6% (91,860 SF)

% WETLAND OF OPEN SPACE = 13.4% (91,860 SF)



NOTES:

1. DIMENSIONS AND GRADE PATTERNS SHOWN ARE APPROXIMATE AND INTENDED AS A GUIDE ONLY. PROPOSED DIMENSIONS AND GRADES OF EACH PROPOSED UNIT WILL BE DETAILED UPON ISSUANCE OF BUILDING PERMIT PLANS, IN KEEPING WITH THE INTENT SHOWN HERE.
2. TYPICAL UNITS ARE INTENDED TO CONTAIN A FOUR BEDROOMS.
3. TOTAL APPROXIMATE FOOTPRINT AREA OF EACH UNIT IS 3,035 SF.
4. ALL PROPOSED UNITS ARE A MINIMUM OF 30 FEET APART AND A MINIMUM OF 70 FEET FROM THE PROPERTY BOUNDARY.

TYPICAL UNIT DIMENSIONS AND GRADING PATTERN
NOT TO SCALE



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

5	PER TOWN COMMENT	7/10/25
4	PER TOWN COMMENT	6/19/25
3	PER TOWN COMMENT	6/6/25
2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25
REV	DESCRIPTION	DATE

STRONGPOINT
ENGINEERING SOLUTIONS, LLC
P.O. BOX 31
WEST BRIDGEWATER, MA 02379
(508) 662-0229

PROJECT NUMBER: 2411-002

DATE OF ISSUE: MARCH 20, 2025

SCALE: 1"=50'

DESIGNED BY: ED CHECKED BY: ED

PREPARED ON BEHALF OF:

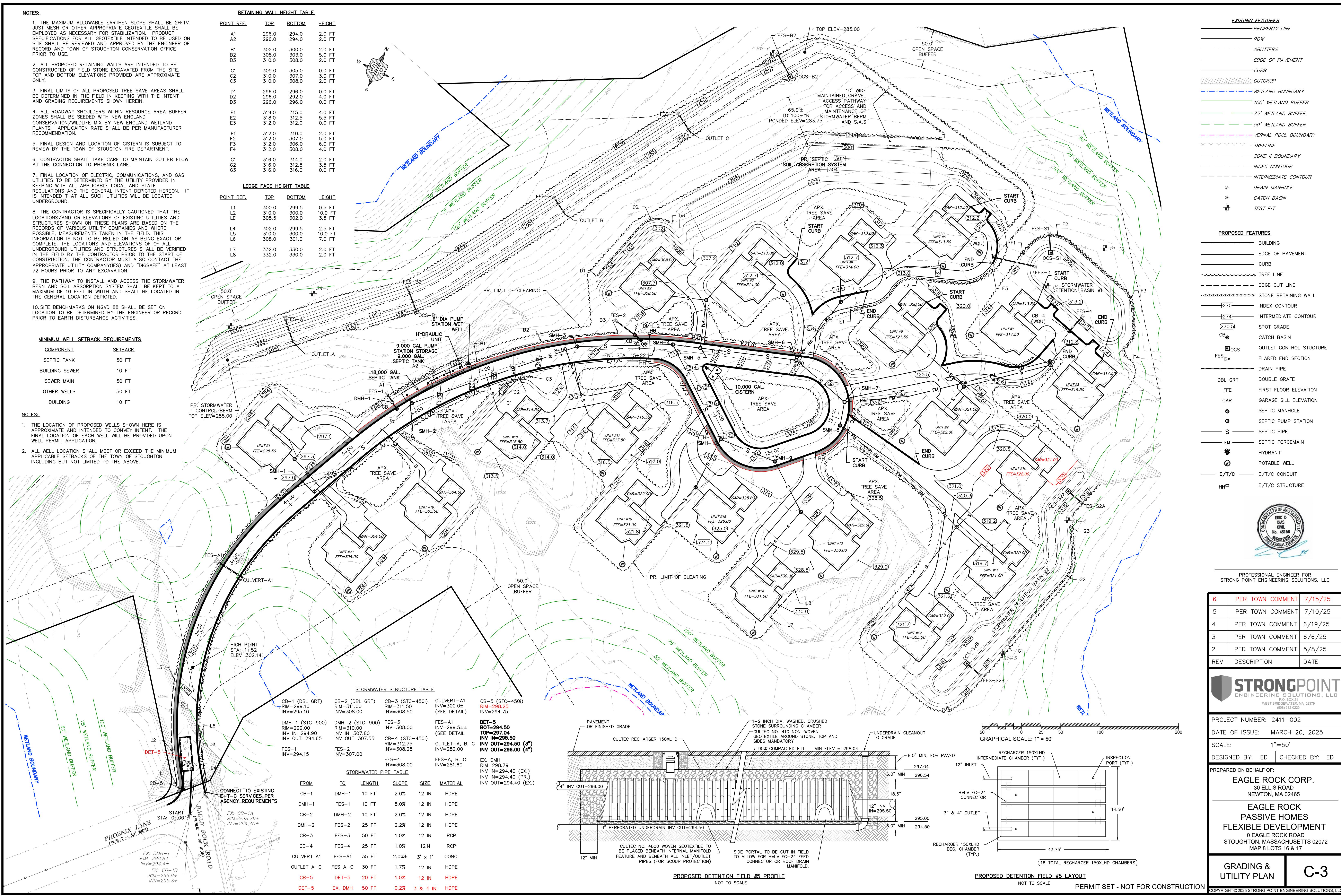
EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465

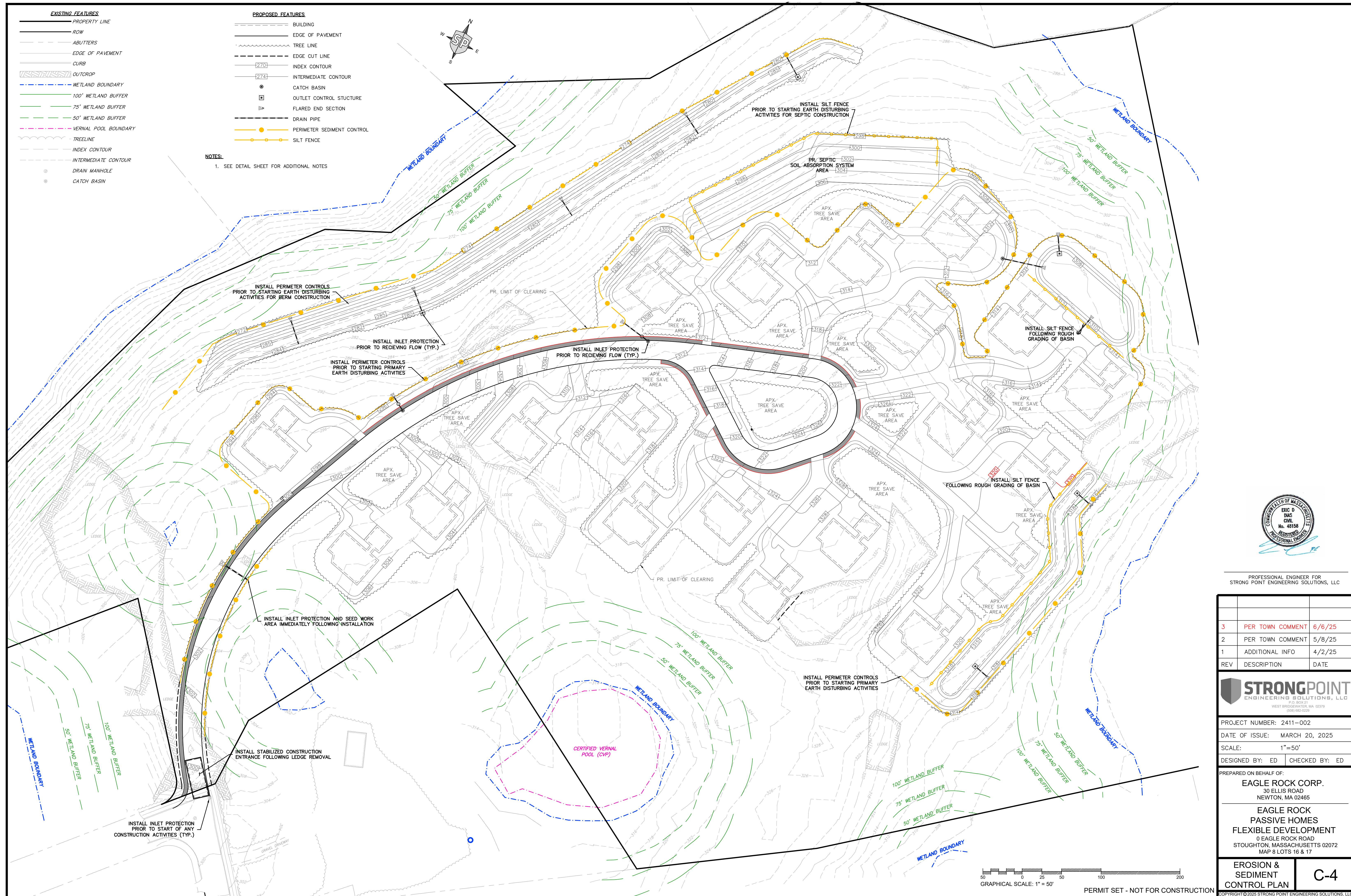
EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

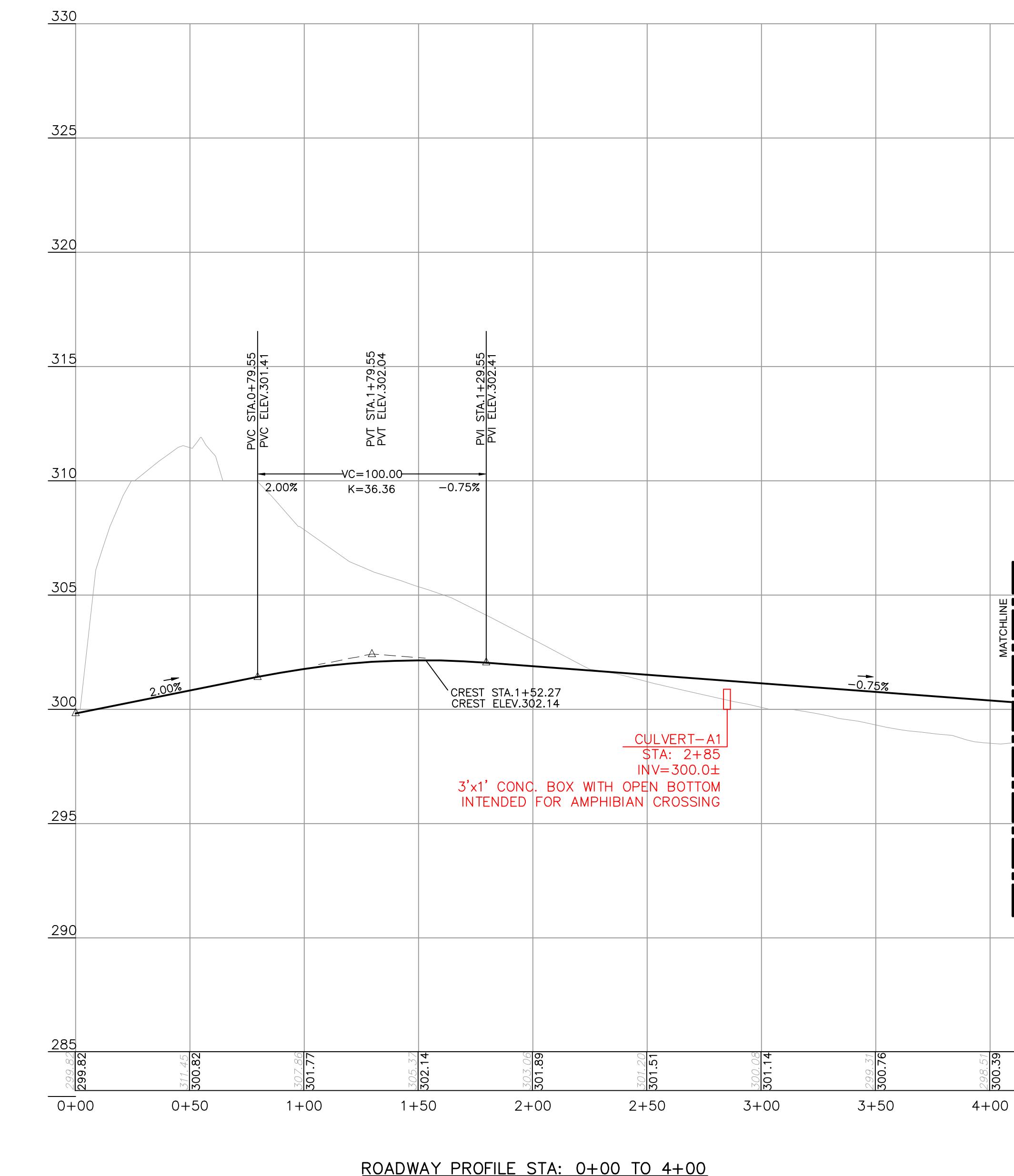
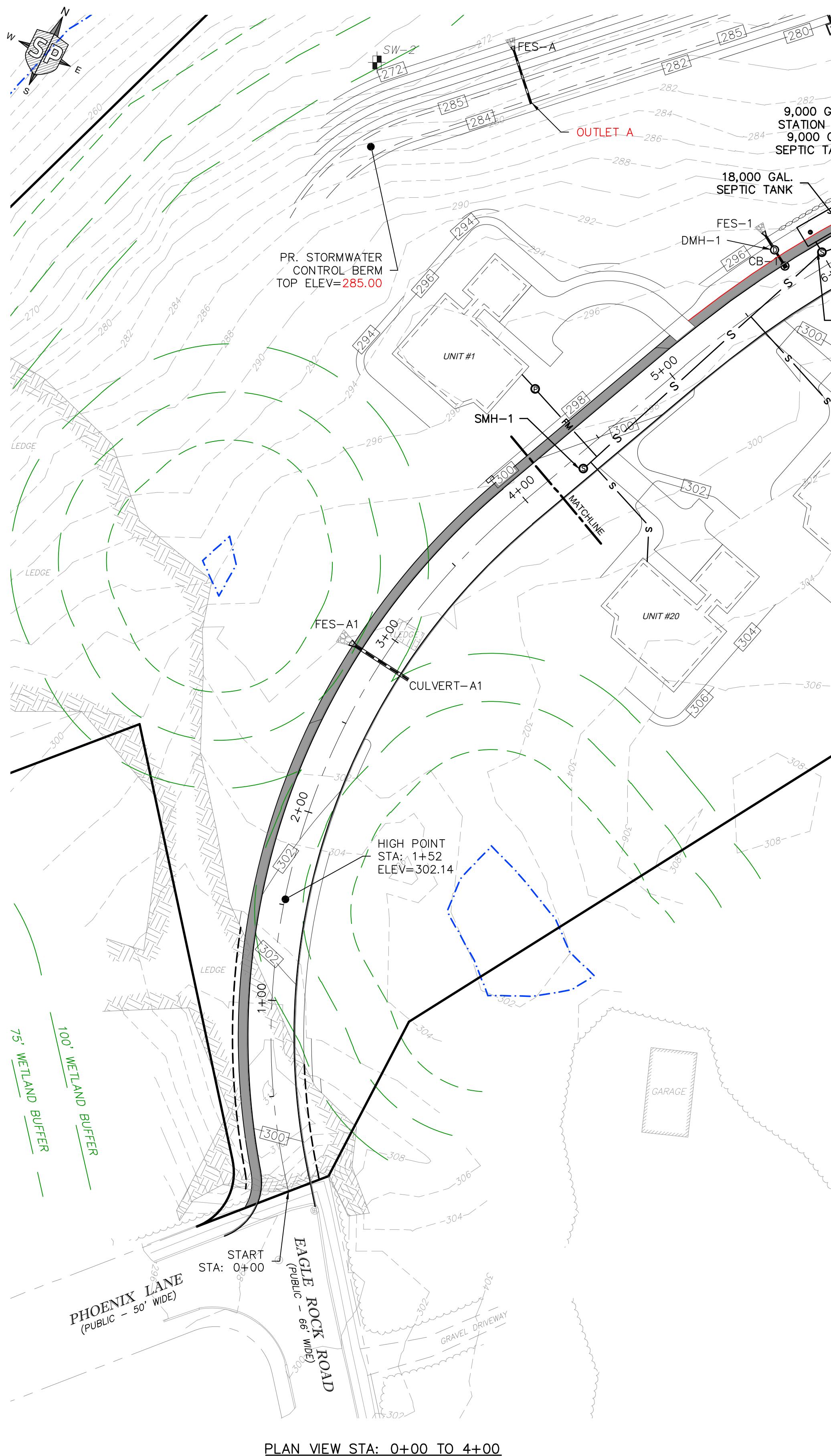
SITE LAYOUT PLAN C-2

PERMIT SET - NOT FOR CONSTRUCTION

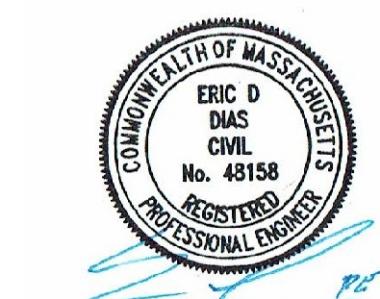
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PERMIT SET - NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

3	PER TOWN COMMENT	6/6/25
2	PER TOWN COMMENT	5/8/25
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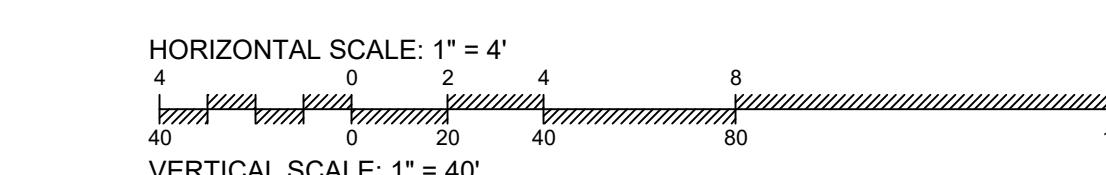
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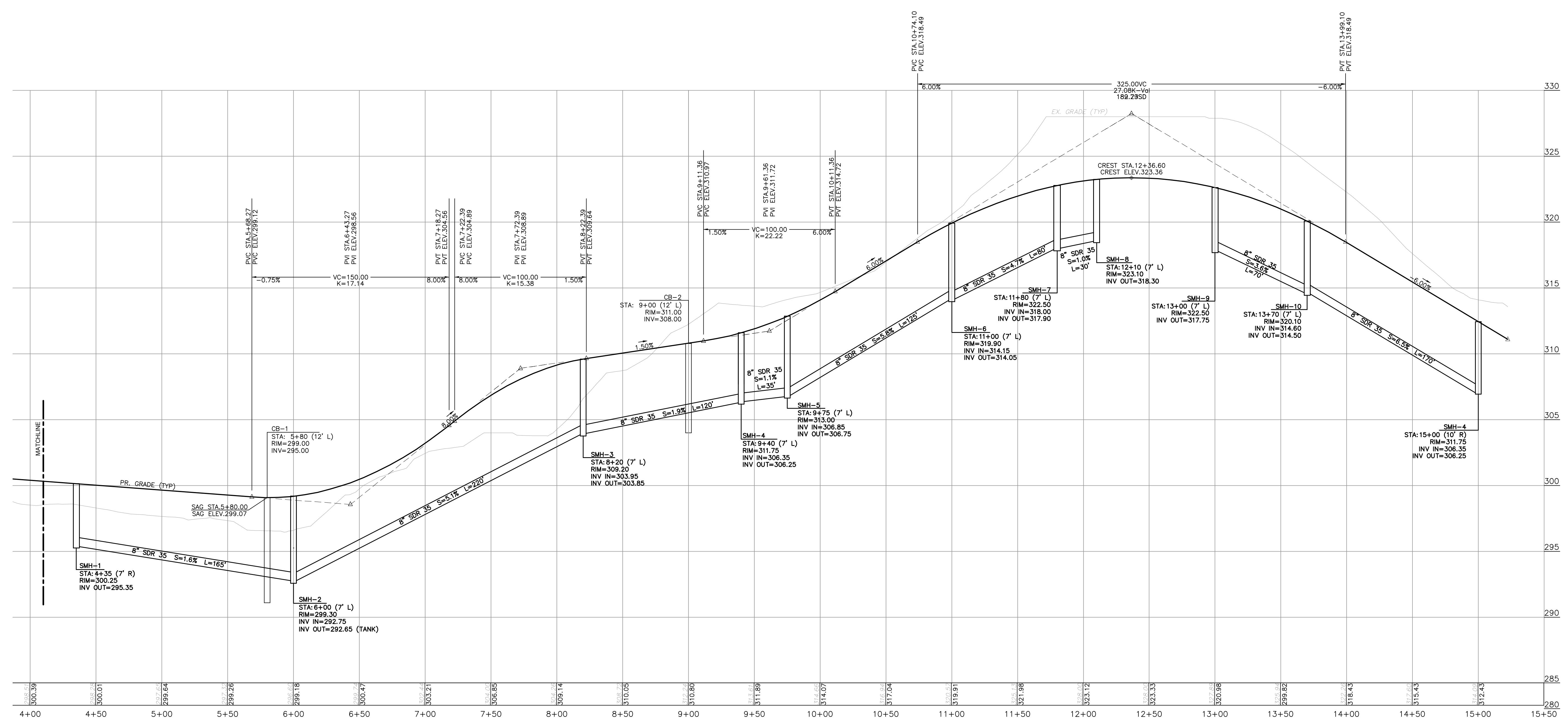
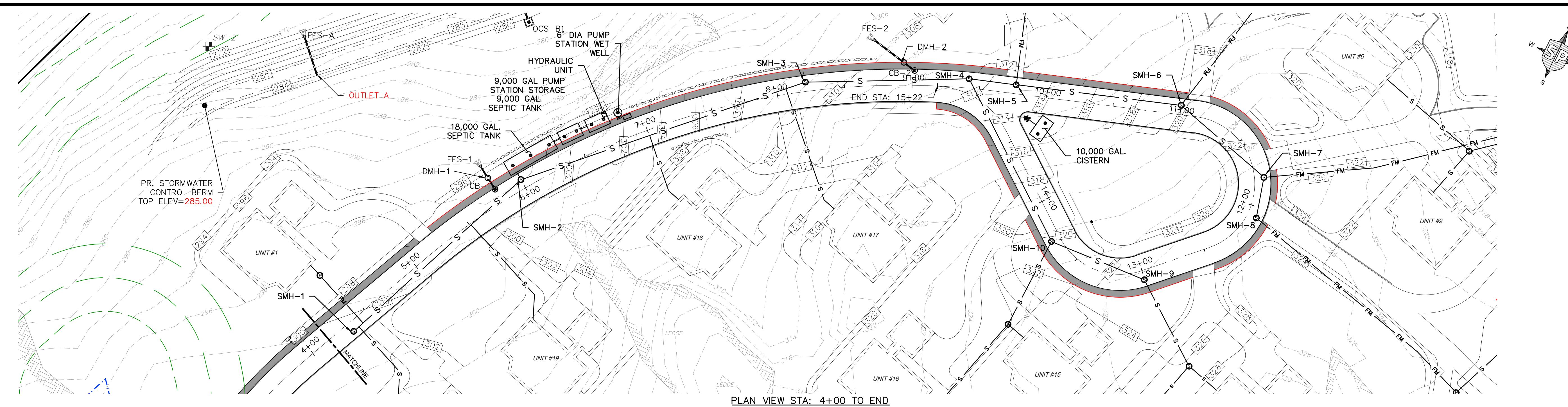
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EAGLE ROCK
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FLEXIBLE DEVELOPMENT
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MAP 8 LOTS 16 & 17



PLAN & PROFILE C-5A

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ROADWAY PROFILE STA: 4+00 TO END

HORIZONTAL SCALE: 1" = 4'

4 0 2 4 8 16

40 0 20 40 80 160

40 0 20 40 80 160

VERTICAL SCALE: 1" = 40'

PERMIT SET - NOT FOR CONSTRUCTION

PLAN & PROFILE

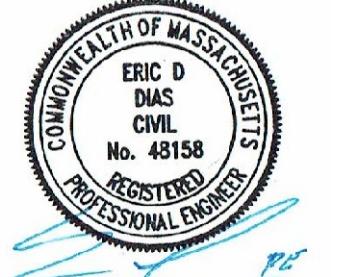
C-5B

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PLAN & PROFILE

PROFILE C-5B

LONG POINT ENGINEERING SOLUTIONS, LLC



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

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STRONG UNIT
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WEST BRIDGEWATER, MA 02379
(508) 682-0229

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PREPARED ON BEHALF OF:
EAGLE ROCK CORP

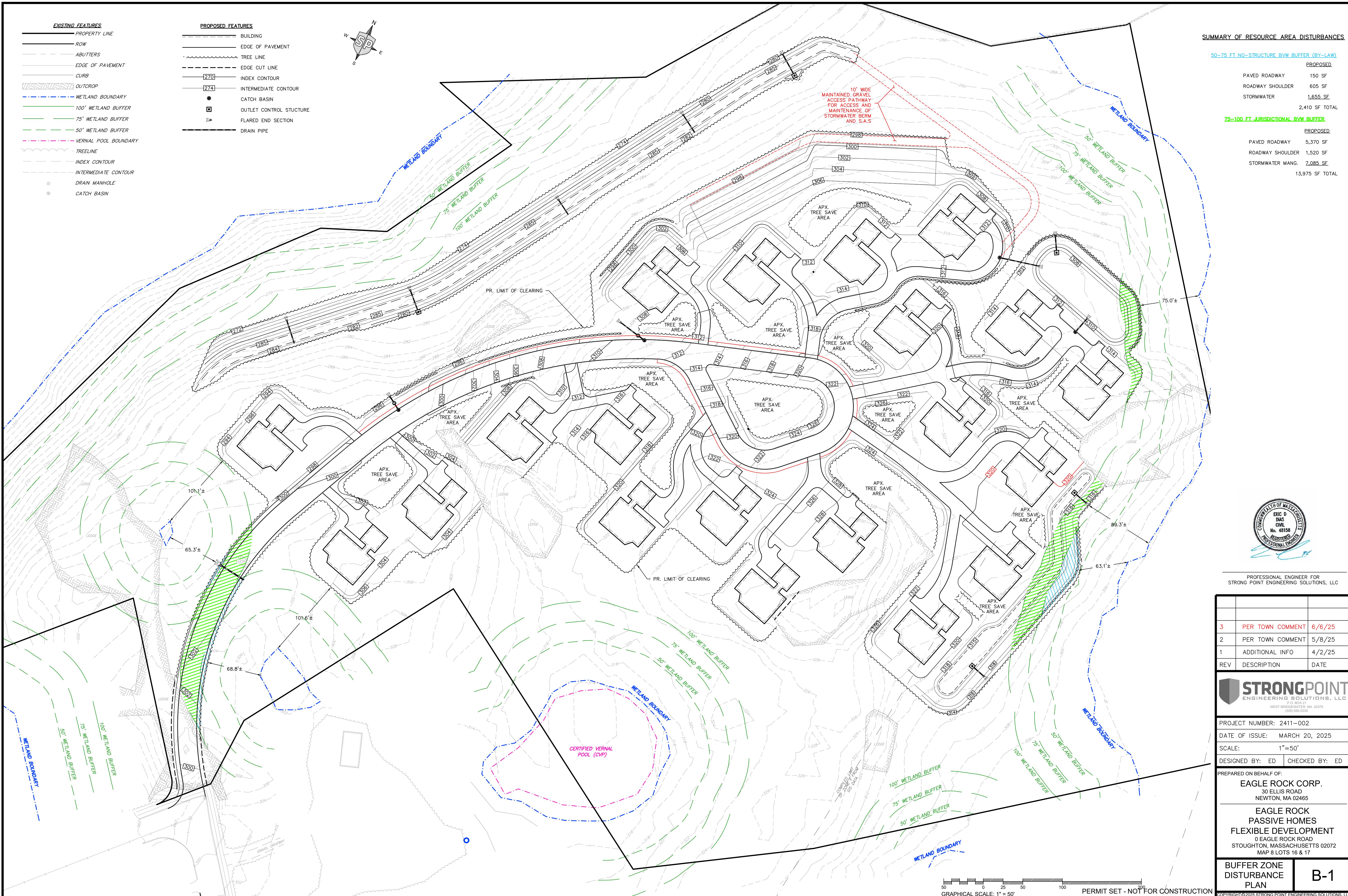
50 ELLIS ROAD
NEWTON, MA 02465

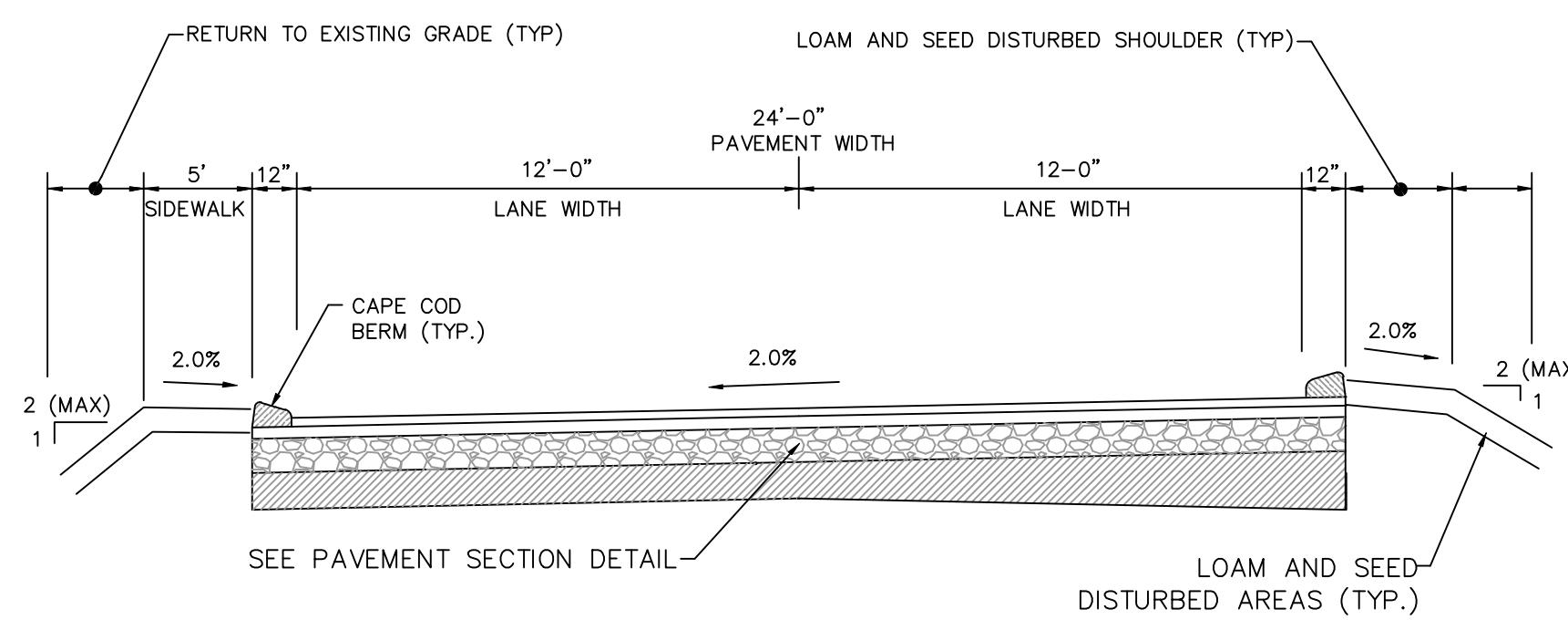
**EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT**

0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
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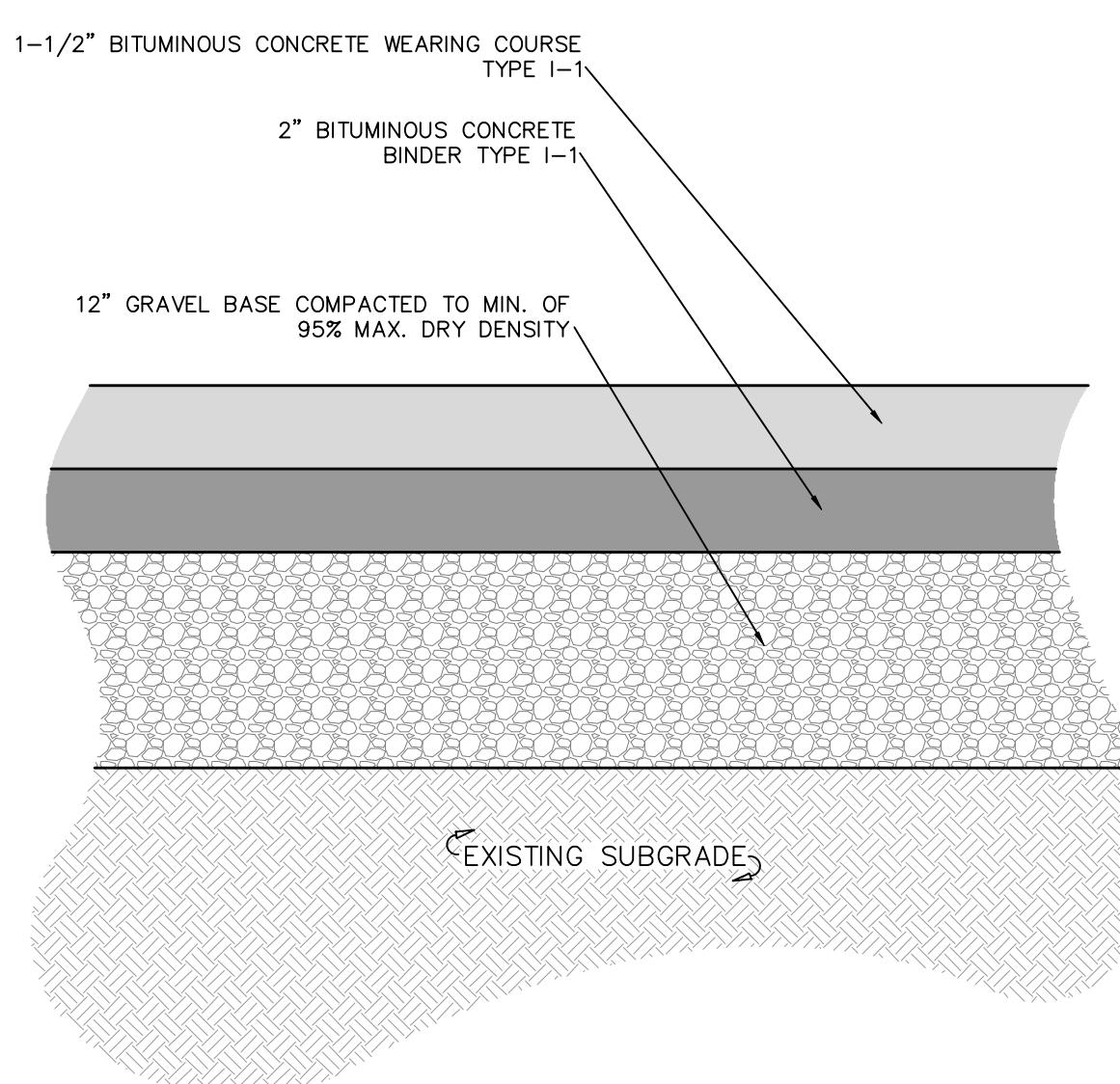
PLAN & PROFILE

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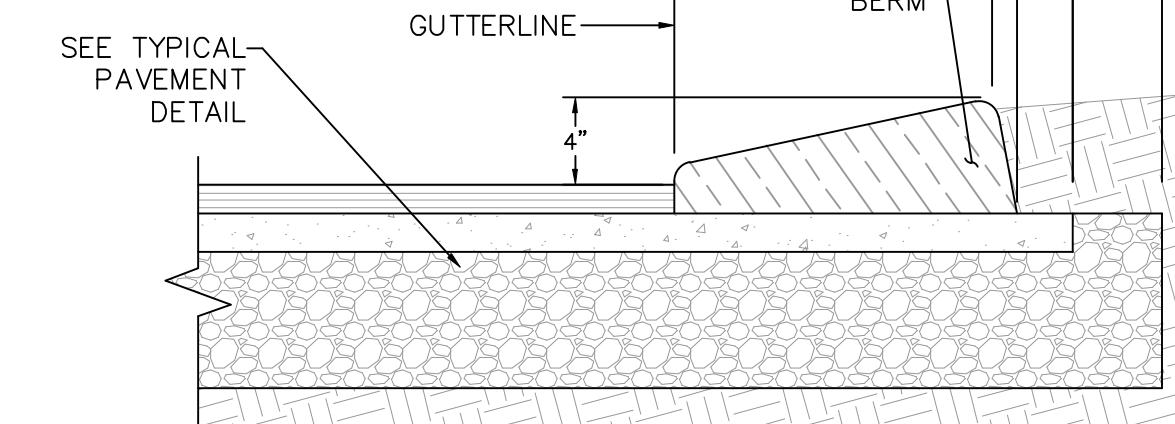




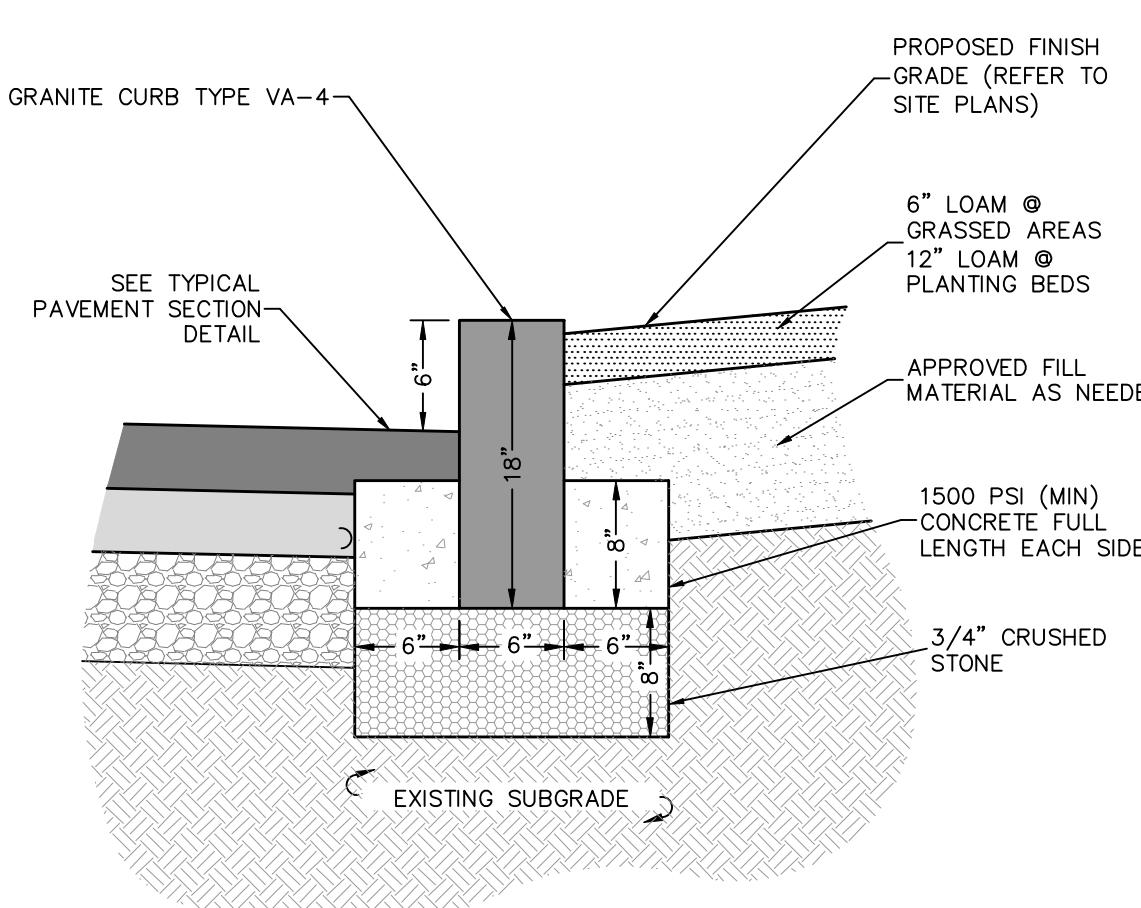
TYPICAL ROADWAY CROSS SECTION
NOT TO SCALE



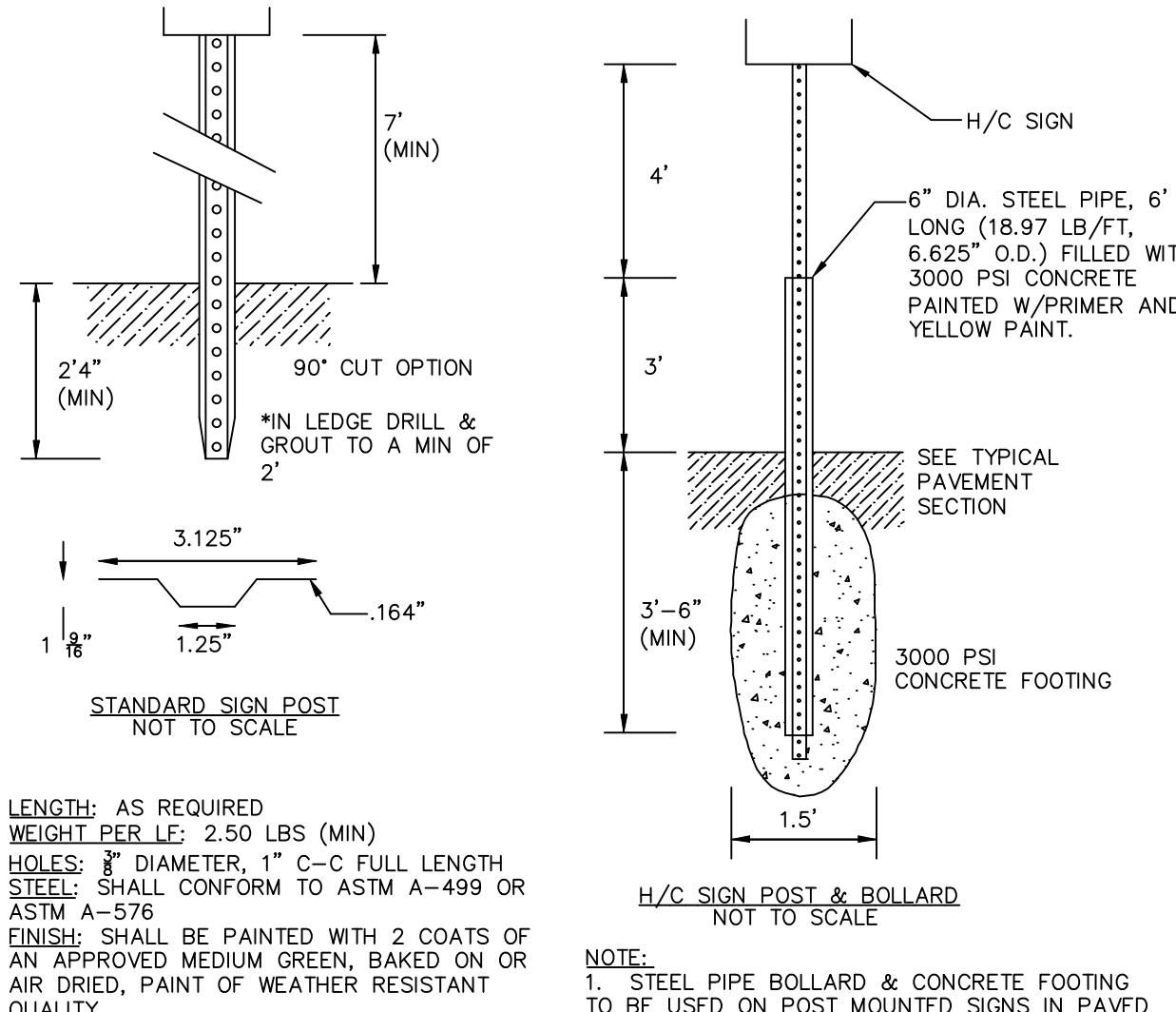
TYPICAL STANDARD PAVEMENT SECTION
NOT TO SCALE



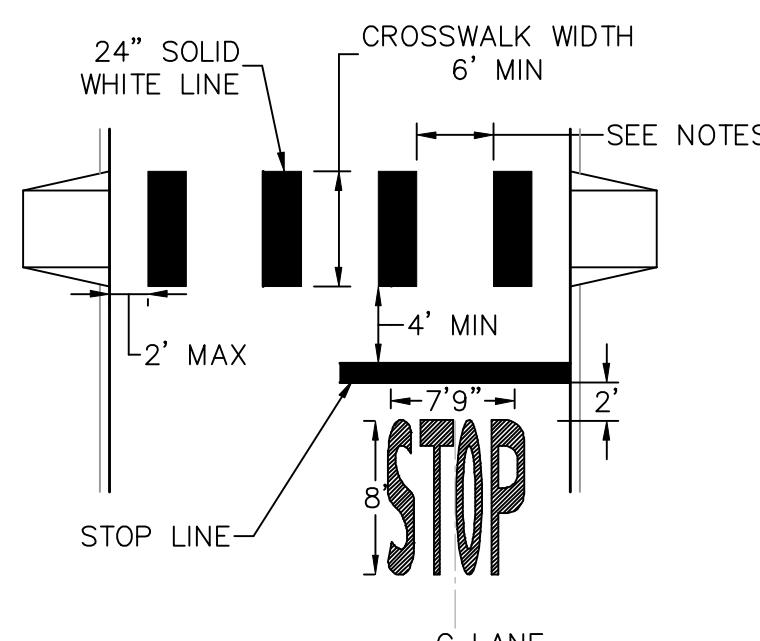
CAPE COD BERM DETAIL
NOT TO SCALE



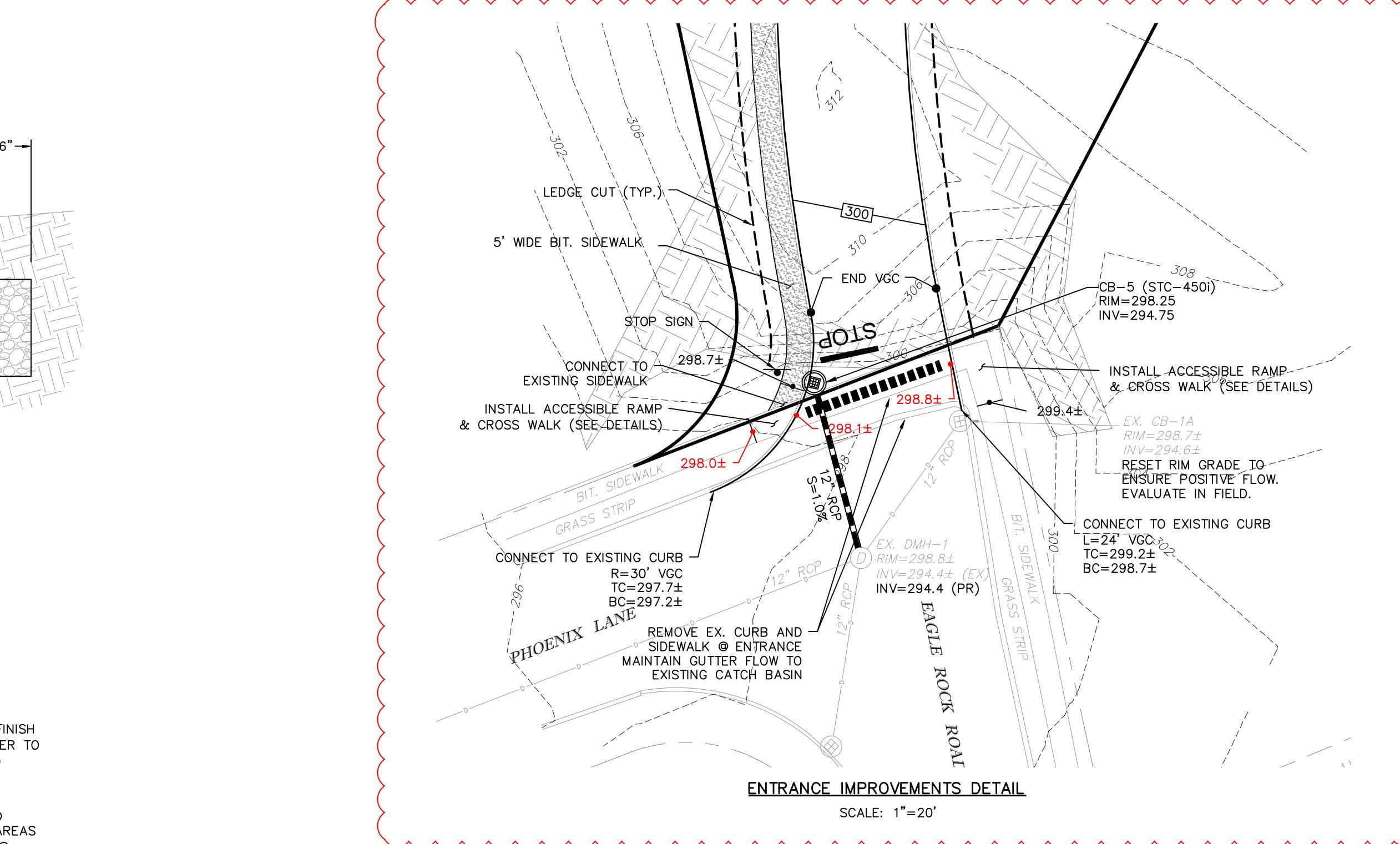
VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



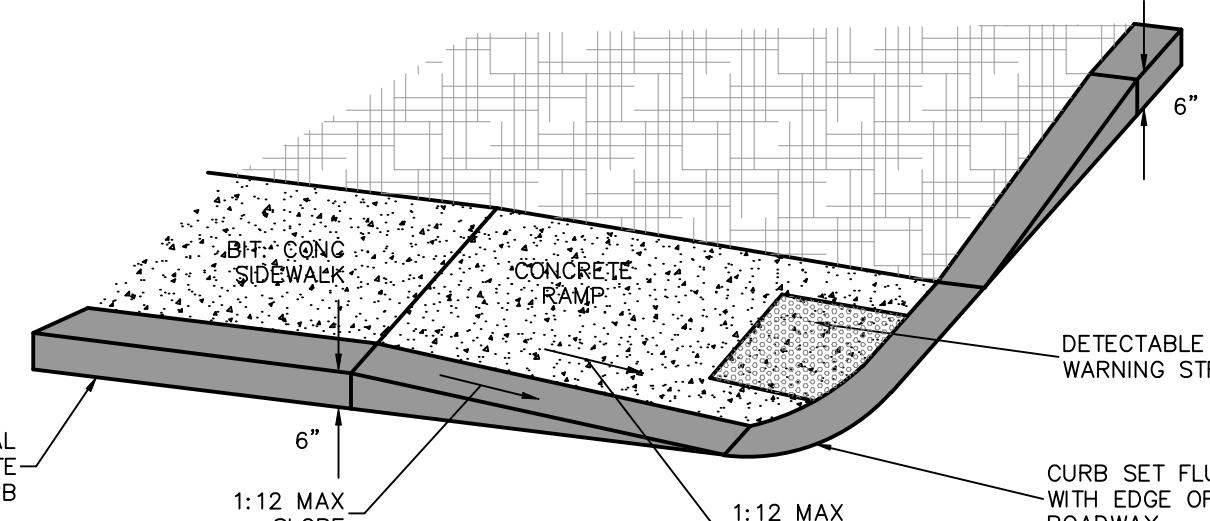
SIGN POST DETAILS
NOT TO SCALE



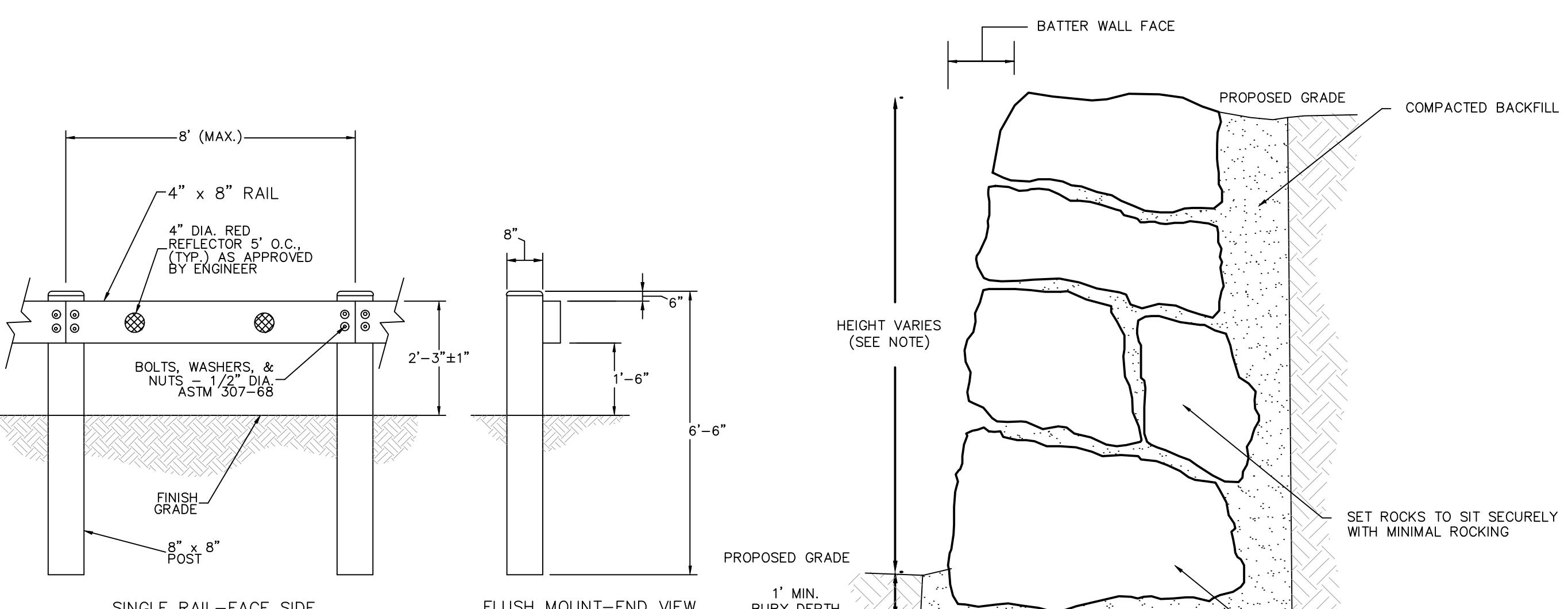
CONTINENTAL STYLE CROSSWALK WITH STOP LINE
NOT TO SCALE



ENTRANCE IMPROVEMENTS DETAIL



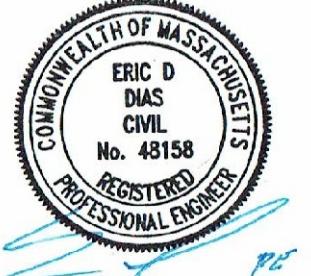
ADA ACCESSIBLE RAMP
NOT TO SCALE



WOODEN GUARDRAIL DETAIL
NOT TO SCALE



TYPICAL BOULDER WALL DETAIL
NOT TO SCALE



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

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PASSIVE HOMES
FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

LAYOUT DETAILS D-1

GENERAL EROSION & SEDIMENT CONTROL NOTES

1. THE PROJECT IS SUBJECT TO A CONSTRUCTION GENERAL PERMIT (CGP) UNDER THE EPA NPDES PROGRAM. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CGP AND THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

2. EROSION CONTROLS DEPICTED ON THIS PLAN ARE INTENDED TO PROVIDE A REASONABLE GUIDE TO THE MINIMUM EROSION AND SEDIMENT CONTROL REQUIREMENTS FOR THE PROPOSED SITE WORK CONSTRUCTION. EROSION CONTROLS DEPICTED ON THIS PLAN ARE NOT ENFORCED AS A GENERAL SENSE. ADDITIONAL CONTROLS SHALL BE IMPLEMENTED AS DEEMED NECESSARY BY THE APPLICANT, STORMWATER CONSULTANT, AND/OR TOWN OF STOUGHTON REPRESENTATIVE.

3. LOCATIONS OF CONTROLS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FIELD CONDITIONS AND SITE WORK REQUIREMENTS.

4. TREE SAVE AREAS ARE A VALUABLE COMPONENT OF THE PROPOSED PROJECT AND EXTREME CARE SHOULD BE TAKEN TO PROTECT TREES THAT ARE INTENDED TO REMAIN WITHIN THE DEVELOPMENT AREA.

5. REMOVAL OF LEDGE AT THE SITE ENTRANCE FROM EAGLE ROCK ROAD IS NECESSARY TO OBTAIN ACCESS TO THE SITE FOR CONSTRUCTION VEHICLES. ACCESS AND WORK AREA FOR THIS EFFORT WILL BE OFF OF EAGLE ROCK ROAD. THIS EFFORT SHALL BE COORDINATED WITH THE TOWN OF STOUGHTON AS APPROPRIATE.

6. STAGING/STOCKPILING OF MATERIALS IS ALLOWED WITHIN THE PROJECT DEVELOPMENT AREA ONLY. STOCKPILES SHALL BE ESTABLISHED AND RELOCATED AS NECESSARY TO PERFORM THE WORK IN KEEPING WITH THE REQUIREMENTS OF THE PROJECT DOCUMENTS.

7. PROPOSED STORMWATER BASINS SHALL INITIALLY BE ROUGH GRADED TO WITHIN APPROXIMATELY 6 INCHES OF THEIR INTENDED BOTTOM ELEVATION AND UTILIZED AS SEDIMENT BASINS DURING CONSTRUCTION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED UPON FINAL GRADING.

8. CLEARING AND TRENCHING SHALL BE KEPT TO THE MINIMUM NECESSARY TO ACCOMPLISH THE PROPOSED WORK.

9. ALL EXCAVATED MATERIAL SHALL BE STOCKPILED AS FAR AWAY FROM THE WETLAND RESOURCE BOUNDARY AS POSSIBLE.

10. ALL EXCAVATED SPOILS SHALL BE REMOVED FROM THE SITE AS APPROPRIATE.

11. NO EXCAVATION SHOULD BE LEFT OPEN LONGER THAN THE MINIMUM REQUIRED TO PERFORM THE REQUIRED WORK. BACKFILL SHOULD OCCUR IN AN EXPEDITIOUS MANNER AS POSSIBLE.

12. ADDITIONAL EROSION CONTROLS AND SEDIMENT CONTROL BARRIER SHALL BE UTILIZED DURING THE INSTALLATION OF UTILITIES AS DETERMINED NECESSARY BY THE ENGINEER OF RECORD.

13. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO ANTICIPATE AND RESPOND TO INCLEMENT WEATHER CONDITIONS DURING THE PERFORMANCE OF WORK.

GENERAL CONSTRUCTION SEQUENCING

THE FOLLOWING PROVIDES A GENERAL PROTOCOL FOR MINIMUM SEDIMENT CONTROL SEQUENCING AND REQUIREMENTS RELATIVE TO THE PROPOSED CONSTRUCTION. THE DETAILS PROVIDED ARE A MINIMUM GUIDE ONLY. ADDITIONAL CONTROLS MAY BE IMPLEMENTED OR SEQUENCING ADJUSTED AS APPROPRIATE IN KEEPING WITH THE INTENT OF THE PROTOCOL GIVEN.

1. INSTALL INLET PROTECTION (SILT SACS) IN ALL EXISTING CATCH BASINS WITHIN THE WORK AREA.
2. STAKE THE LIMIT OF CLEARING/SEDIMENT CONTROL BARRIER. IDENTIFY/MARK TREES WITHIN TREE SAVE AREAS.
3. REMOVE LEDGE AT SITE ENTRANCE FROM EAGLE ROCK ROAD.
4. ESTABLISH STOCKPILE/STAGING AREAS WITHIN DEVELOPMENT AREA AS NEEDED.
5. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
6. CUT & REMOVE TREES WITHIN LIMIT OF CLEAR.
7. INSTALL TREE PROTECTION AROUND TREE SAVE AREAS.
8. INSTALL SEDIMENT CONTROL BARRIER AT STORMWATER CONTAINMENT BERM.
9. CONSTRUCT STORMWATER CONTAINMENT BERM AND PLACE STRUCTURES.
10. INSTALL REMAINDER OF PERIMETER CONTROLS AROUND DEVELOPMENT AREA.
11. STUMP AND GRUB REMAINDER OF THE SITE.
12. PERFORM ROUGH EARTHWORK CUT & FILL, FOCUSING ON STORMWATER BASINS FIRST.
13. INSTALL SUBSURFACE UTILITIES.
14. ADVANCE ROADWAY/INFRASTRUCTURE GRADING.
15. FINISH GRADE ROADWAY AND PLACE BINDER COURSE.
16. LOAM & SEED LAWN ROADWAY SHOULDERS OUTSIDE FROM APX STA 0+00 TO 4+00.
17. PERFORM UNIT CONSTRUCTION ON MANAGEABLE NUMBERS TAKING CARE TO EMPLOY ADDITIONAL EROSION CONTROLS AND STABILIZATION MEASURES AS APPROPRIATE.
18. PERFORM FINAL GRADING OF STORMWATER BASINS.
19. PLACE TOP COURSE PAVEMENT.
20. PERFORM FINAL SITE CLEANUP.
21. REMOVE REMAINING SEDIMENT CONTROL DEVICES UPON COMPLETE STABILIZATION AS DETERMINED BY THE ENGINEER OF RECORD.

CONSTRUCTION PHASE INSPECTION & MONITORING

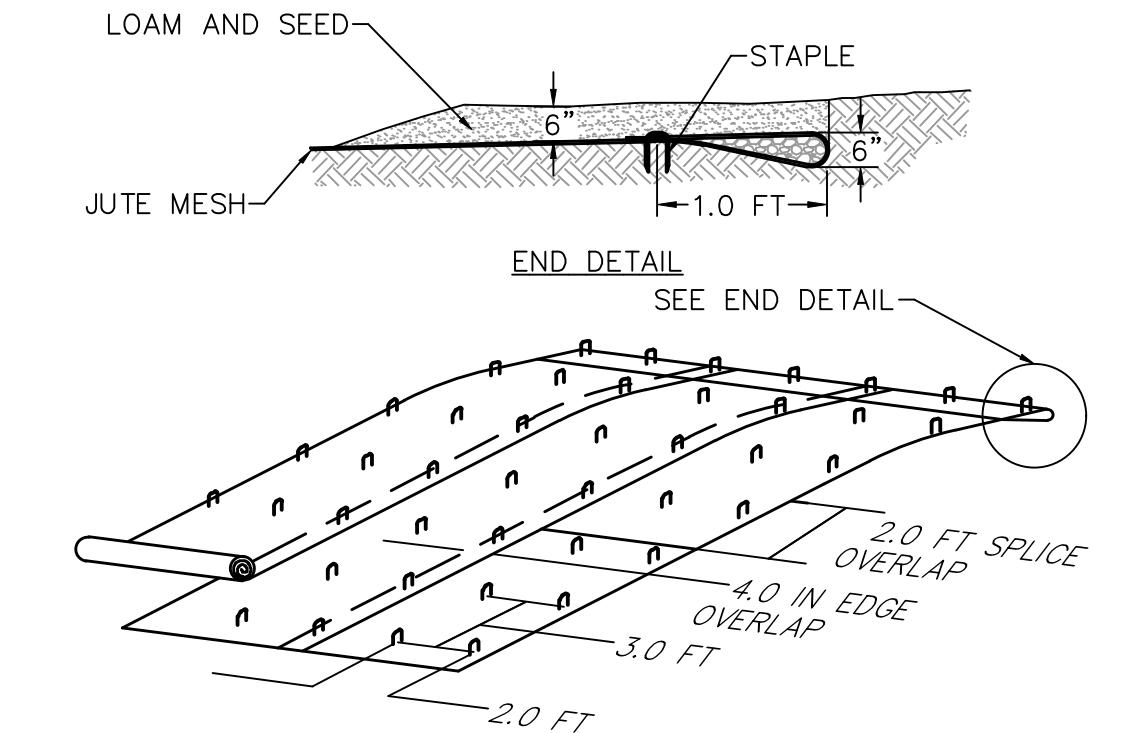
THE FOLLOWING PROVIDES MINIMUM REQUIREMENTS FOR INSPECTION AND MONITORING OF THE SITE'S EROSION CONTROLS AND STORMWATER SYSTEMS TO BE EMPLOYED DURING THE CONSTRUCTION PHASE. THE CONTRACTOR OR OTHER OWNER'S REPRESENTATIVE WILL BE RESPONSIBLE FOR COMPLIANCE WITH THESE REQUIREMENTS.

1. CONTRACTOR SHALL MAKE EVERY EFFORT TO ANTICIPATE POSSIBLE SOURCES OF SEDIMENT/DEBRIS TRANSPORT AND SHALL MAKE PREEMPTIVE EFFORTS TO ELIMINATE THREATS BEFORE ISSUES OCCUR. THIS INCLUDES ANTICIPATION OF, AND INSPECTION/REINFORCEMENT OF CONTROLS, PRIOR TO SIGNIFICANT FORECAST STORM EVENTS.
2. CONTRACTOR SHALL MAKE EVERY EFFORT TO ENSURE THAT EFFLUENT FROM THE DEWATERING SOURCE IS DISSIPATED OVERLAND RATHER THAN CONCENTRATED AS A POINT SOURCE DISCHARGE. POINT SOURCE DISCHARGES ARE STRICTLY PROHIBITED.
3. EFFLUENT SHALL BE ALLOWED TO FLOW OVERLAND TOWARD THE BWV. PROPER FILTRATION IS PROVIDED TO REMOVE ANY SUSPENDED SEDIMENTS TO THE MAXIMUM EXTENT POSSIBLE PRIOR TO REACHING THE BWV.
4. PROPER FILTRATION WILL BE CONSIDERED, AT MINIMUM, TO INCLUDE THE USE OF A SUMP PIT AT THE DEWATERING SOURCE AND FILTRATION CONTROLS AT THE DISCHARGE SOURCE.
5. AT MINIMUM, SUMP PITS SHALL CONSIST OF A 12-IN. DIAMETER PERFORATED VERTICAL STANDPIPE BACKFILLED WITH WASHED CRUSHED STONE POSITIONED ON A 6-IN. WASHED CRUSHED STONE BASE. A SUBMERSIBLE PUMP OR SUMP PUMP SHOULD BE LOCATED WITHIN THE STANDPIPE AND SHALL PUMP FILTERED WATER TO THE FILTRATION CONTROLS AT THE DISCHARGE SOURCE.
6. MINIMUM FILTRATION CONTROLS AT THE DISCHARGE SOURCE SHALL CONSIST OF EROSION CONTROL MATERIALS FORMED IN A U-SHAPE AROUND THE DISCHARGE POINT WITH A MINIMUM DIAMETER OF 6 FT. THE DISCHARGE POINT SHALL BE POSITIONED MIDWAY BETWEEN THE ENDS OF THE FILTRATION CONTROLS IN A STRAIGHT LINE TO ALLOW FOR ADEQUATE DISBURSEMENT OF EFFLUENT.
7. DISCHARGE SHALL BE LOCATED SUCH THAT EFFLUENT IS NOT DIRECTED OVER AREAS THAT ARE UNSTABLE DUE TO THE REQUIRED WORK WHENEVER POSSIBLE.
8. NO DEWATERING DISCHARGE SHALL BE DIRECTED TOWARD A PERMANENT STORMWATER BASIN OR THE AREA OF THE PROPOSED SOIL ABSORPTION SYSTEM.
9. ALL DISCHARGES SHALL BE MONITORED FOR TURBIDITY. ADJUSTMENTS FOR SETTLING SHALL BE MADE AND SECONDARY CONTROLS SHALL BE ADDED AS NECESSARY.
10. ANY ACCUMULATED SEDIMENT RESULTING FROM DEWATERING FILTRATION SHALL BE REMOVED PRIOR TO REUSE OF THE PRACTICE.

STANDARD DEWATERING PLAN

THE FOLLOWING REPRESENTS MINIMUM REQUIREMENTS FOR DEWATERING ASSOCIATED WITH THE PROPOSED PROJECT AS APPLICABLE. ADDITIONAL REQUIREMENTS OR CONDITIONS ARE ALLOWABLE BY THE ENGINEER OF RECORD BASED UPON CONDITIONS ENCOUNTERED IN THE FIELD.

1. IF DEWATERING IS REQUIRED AT ANY TIME DURING CONSTRUCTION ASSOCIATED WITH THE PROPOSED WORK, IT SHALL BE PERFORMED BY MECHANICAL MEANS AND ALL DISCHARGES SHALL BE UPSLOPE OF THE WETLAND RESOURCE AREA.

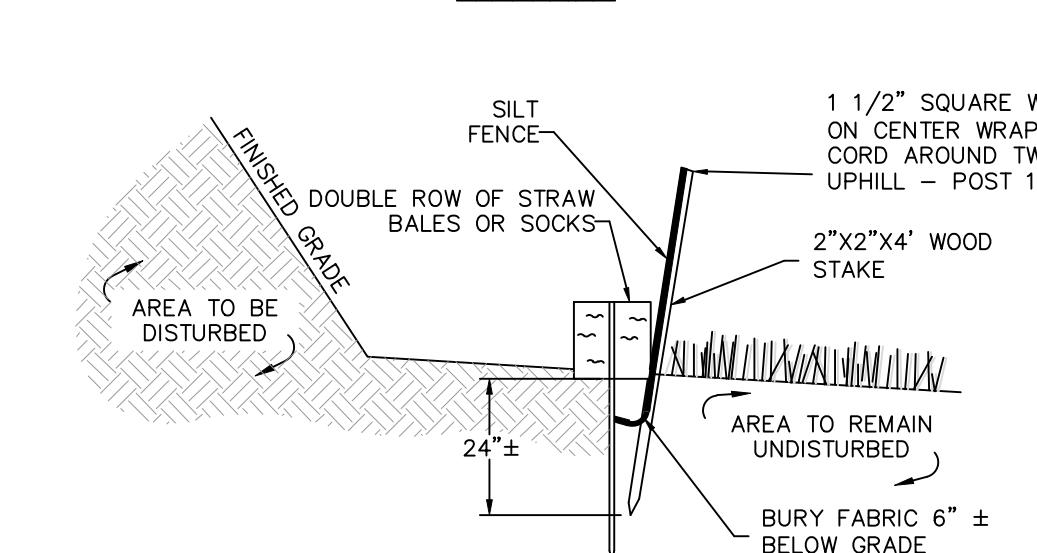
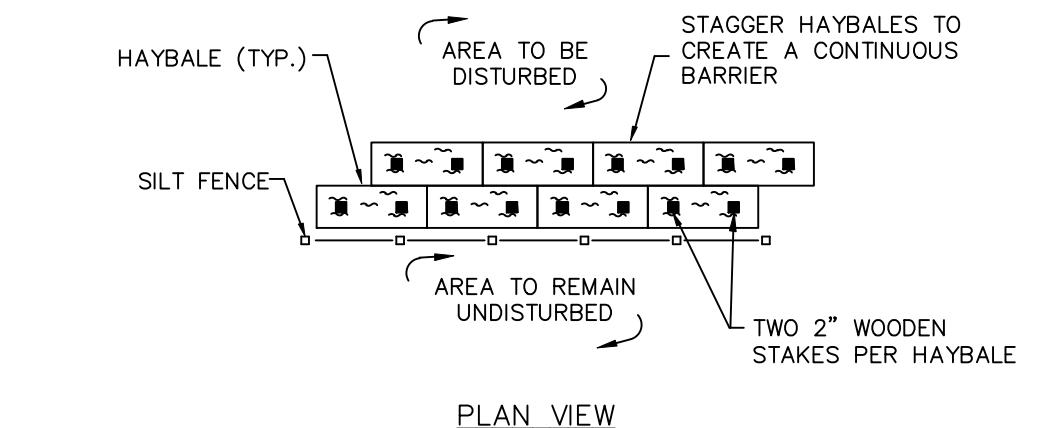
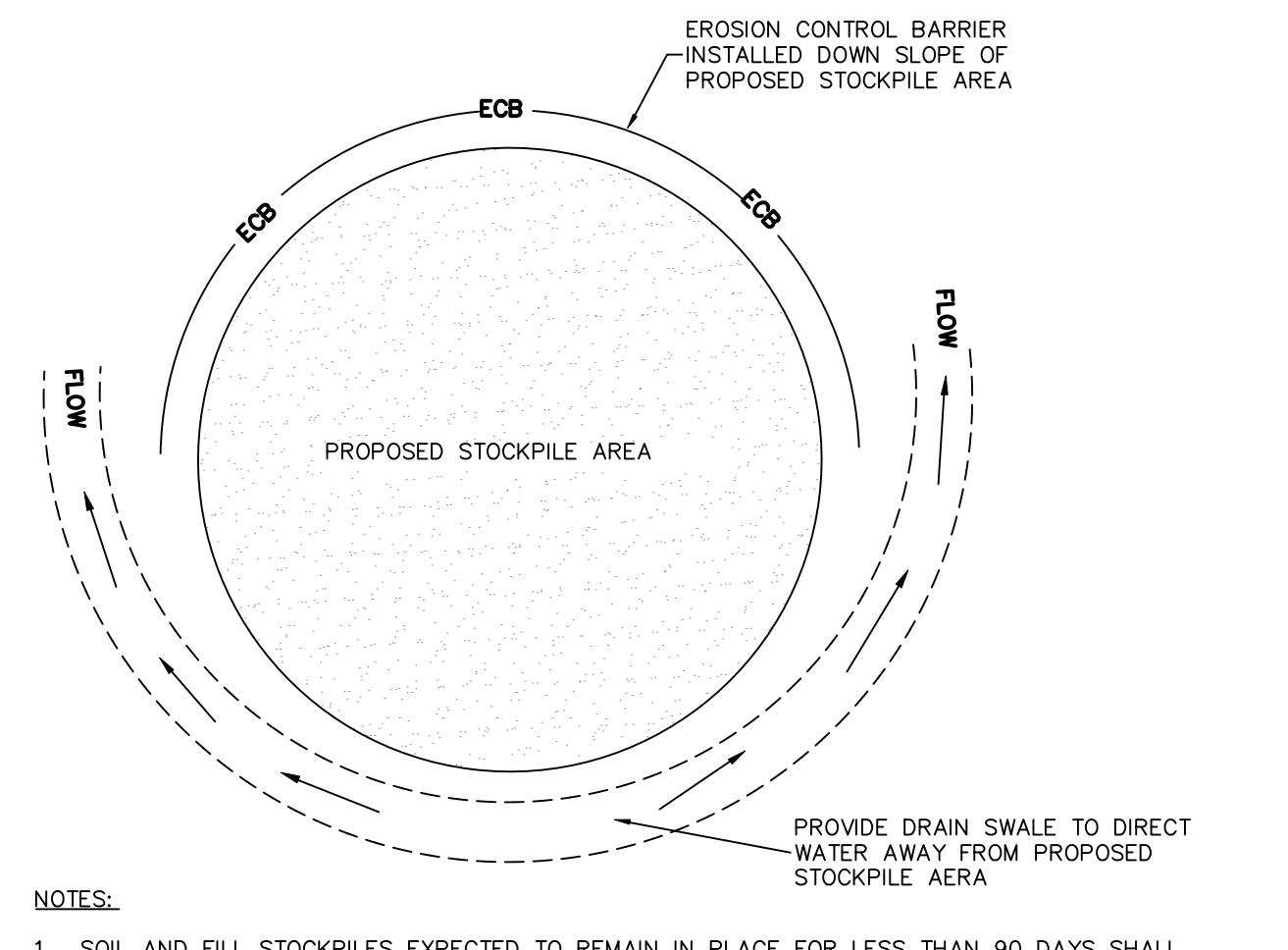
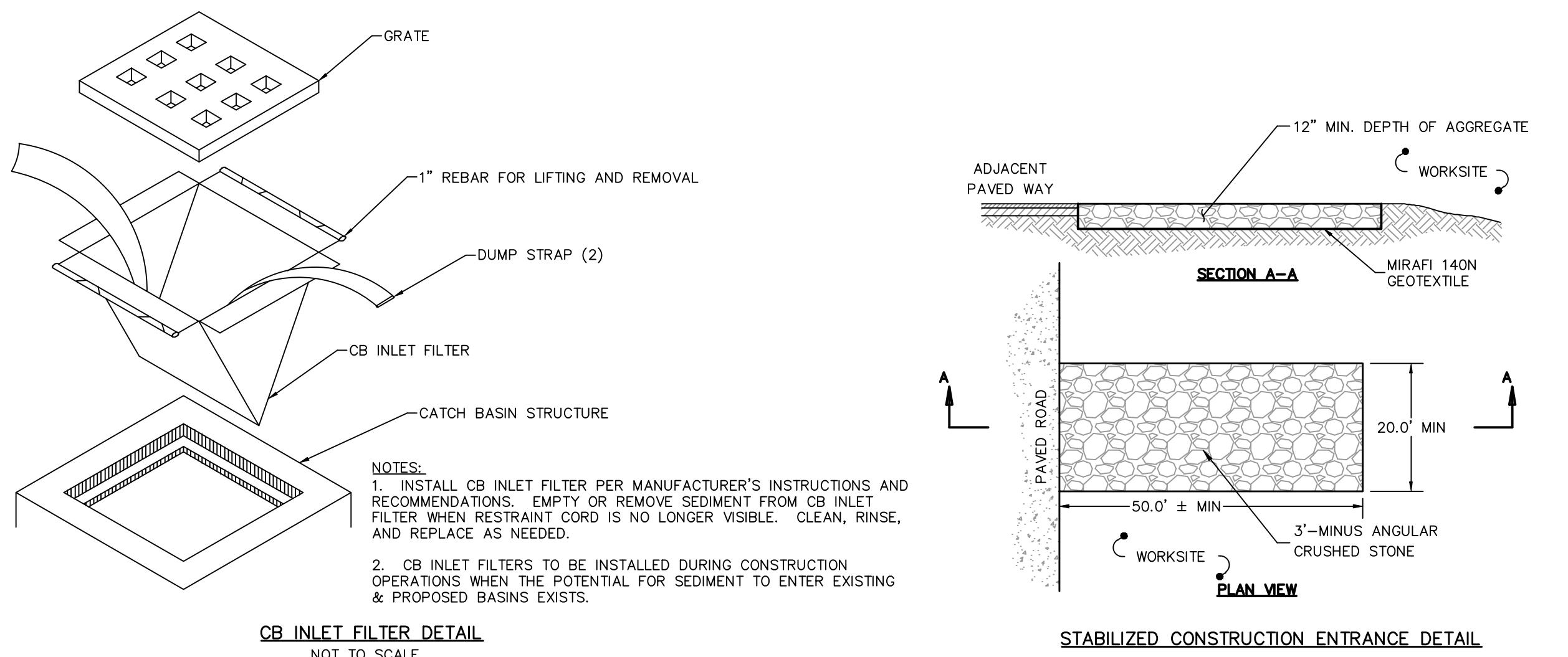


NOTES:

1. INSTALL JUTE MESH FROM UPHILL TOWARDS DOWNHILL AND PARALLEL TO THE DIRECTION OF SURFACE WATER FLOW.
2. GROUND SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS PRIOR TO INSTALLATION OF MESH.
3. MESH SHALL BE SPREAD LOOSLY OVER THE GROUND SURFACE AND SHALL NOT BE STRETCHED UNDER ANY CIRCUMSTANCE.
4. JUTE SPECIFICATION:
 - A. MESH SHALL HAVE A MAXIMUM OPENING OF 1"
 - B. MESH SHALL BE LENO-WOVEN AND 100% BIODEGRADABLE NATURAL FIBER.
 - C. UNIT YARN WEIGHT SHALL BE AT LEAST 0.9 LB/SQUARE YARD.
5. STAPLES SHALL BE #14 GAUGE OR HEAVIER, U-SHAPED WITH A MINIMUM DEPTH OF 12".

JUTE MESH INSTALLATION

NOT TO SCALE

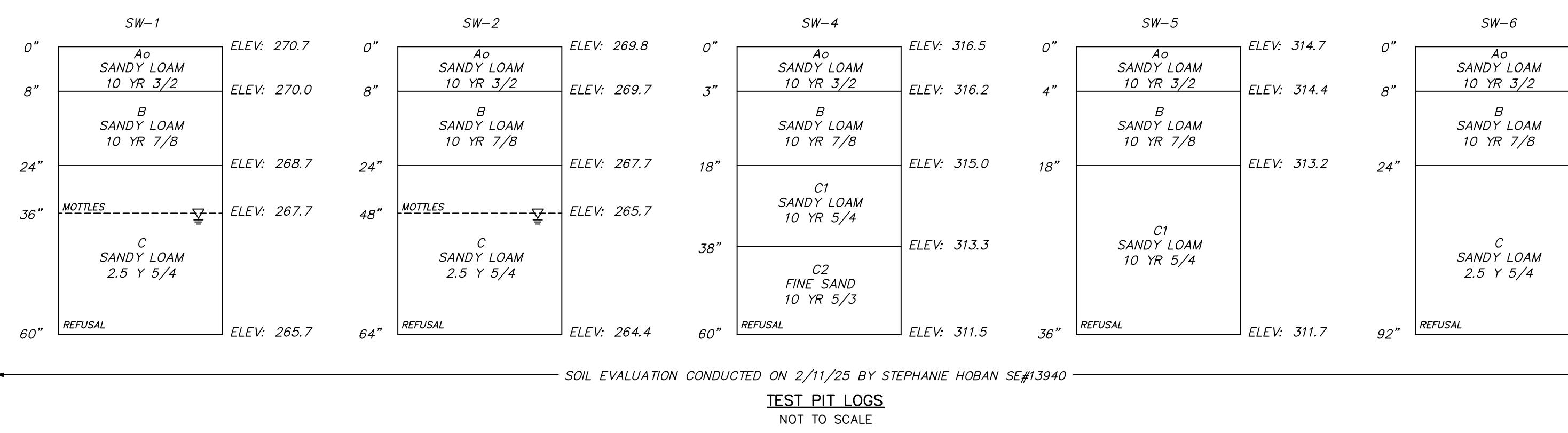


STANDARD PERIMETER EROSION CONTROL DETAIL

NOT TO SCALE

STOCKPILE PROTECTION DETAIL

NOT TO SCALE



SOIL EVALUATION CONDUCTED ON 2/11/25 BY STEPHANIE HOBAN SE#13940
MUNSELL COLORS AND LAYER/HORIZON DESIGNATIONS NOT PROVIDED.



PROFESSIONAL ENGINEER FOR STRONG POINT ENGINEERING SOLUTIONS, LLC

3	PER TOWN COMMENT	6/6/25
2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25
REV	DESCRIPTION	DATE



WEST BRIDGEWATER, MA 02379
(508) 662-0229

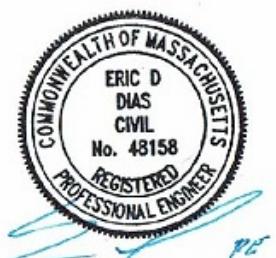
PROJECT NUMBER:	2411-002
DATE OF ISSUE:	MARCH 20, 2025
SCALE:	1"=50'
DESIGNED BY:	ED
CHECKED BY:	ED
PREPARED ON BEHALF OF:	EAGLE ROCK CORP. 30 ELLIS ROAD NEWTON, MA 02465
EAGLE ROCK PASSIVE HOMES FLEXIBLE DEVELOPMENT 0 EAGLE ROCK ROAD STOUGHTON, MASSACHUSETTS 02072 MAP 8 LOTS 16 & 17	

EROSION & SEDIMENT CONTROL DETAILS	D-3
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PERMIT SET - NOT FOR CONSTRUCTION

<p>Bk 42610 Pg33 #59326 08-26-2025 @ 11:51a</p> <p>TOWN OF STOUGHTON Massachusetts MA 02072</p> <p>PLANNING BOARD</p> <p>Special Permit Approval Eagle Rock Flexible Development Eagle Rock Road for Case # SPP24-003</p> <p>Date: July 17, 2025</p> <p>Applicant: VFW Brucewood LLC 30 Ellis Road Newton MA, 02485</p> <p>Owner: Eagle Rock Corp. 30 Ellis Road Newton MA, 02465</p> <p>Representative: Barry R. Crimmins, Esq. 909 Washington Street Stoughton, MA 02072</p> <p>Property: Eagle Rock Road Stoughton, MA 02072 Assessors Map 8; Lot 17 Title Reference: Book: 42301, Page: 162</p> <p>I) Project Summary On September 12, 2024, applicant, VFW Brucewood LLC ("Applicant"), filed an application for Special Permit per Section 7.1, for a Flexible Residential Development. The proposal is to create a 20 single family dwelling unit residential development on the approximate 28-acre parcel with associated infrastructure ("Project"), at and upon land known and numbered as 0 Eagle Rock Road (Assessors Map 8 Lot 17- the "Property"). The combined properties are 265,824 +/- SF. The Project is located within the Residential-Suburban A (RA) Zoning District.</p> <p>II) Procedural History A) Pre Application meeting was held on February 9, 2023.</p> <p>Case #: SPP24-003 – Special Permit – Eagle Rock Flexible Development</p> <p>WILLIAM P. O'DONNELL, REGISTER NORFOLK COUNTY REGISTRY OF DEEDS RECEIVED & RECORDED ELECTRONICALLY</p>	<p>Bk 42610 Pg34 #59326</p> <p>B) Application for Special Permit was filed by the above referenced applicant with the Planning Board on September 12, 2024.</p> <p>C) The hearing was advertised on September 26, 2024 and October 2, 2024 in the Patriot-Ledger.</p> <p>D) Public hearings on the Special Permit were held on 10/10/24, 2/27/25, 4/24/25, 5/22/25, and 6/26/25.</p> <p>E) On July 17, 2025, the public hearing was closed and on July 17, 2025, the Planning Board voted to approve the Special Permit.</p> <p>III) Application Submittals</p> <ol style="list-style-type: none"> 1. Special Permit Application submitted September 12, 2024. 2. Plan Set entitled "Site Development Plans for Eagle Rock Passive Homes Flexible Development" prepared by Strongpoint Engineering Solutions dated March 20, 2025, revised through July 15, 2025. 3. Stormwater Management Report prepared by Strongpoint Engineering Solutions dated April 3, 2025 and revised June 6, 2025. 4. Landscape Plan set prepared by MDLA dated June 26, 2025. 5. Response letter to Technical Review Letter #2 prepared by Strongpoint Engineering Solutions dated May 8, 2025. 6. Response letter to Technical Review Letter #3 prepared by Strongpoint Engineering Solutions dated June 6, 2025. 7. Response letter to Technical Review Letter #4 prepared by Strongpoint Engineering Solutions dated July 10, 2025. 8. Watershed 5 Analysis prepared by Strongpoint Engineering Solutions dated July 15, 2025. <p>IV) Related Documents</p> <ol style="list-style-type: none"> 1. Copy of the Legal Public Hearing notice from the edition of the Patriot-Ledger dated May 29, 2025 & June 4, 2025. 2. Three Technical Engineering Review Letters dated April 16, 2025, May 15, 2025, and June 16, 2025 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner. <p>V) Findings and Determinations After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 7.1 Flexible Residential Development, Section 10.6, and finds as follows:</p> <p>Case #: SPP24-003 – Special Permit – Eagle Rock Flexible Development</p>	<p>Bk 42610 Pg35 #59326</p> <p>1. The location of the uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.</p> <p>2. Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff, and glare of lights.</p> <p>3. Adequate facilities drainage, snow storage and/or removal, fire protection, and methods of solid waste disposal are provided. As demonstrated by the Special Permit Plan and accompanying submissions, the Project amply satisfies these interests.</p> <p>4. Pedestrian ways, access/egress driveways, and internal circulation are properly designed and operated for public convenience, universal accessibility and public safety. As demonstrated by the Special Permit Plan and accompanying submissions, the Project amply satisfies these interests.</p> <p>5. Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Special Permit.</p> <p>6. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department, and the Planning Department, the Planning Board analyzed all the comments, and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.</p> <p>7. The project meets the 10% affordable component by providing two affordable units, Section 7.1.8.</p> <p>8. The proposed buildings are single family homes; therefore, meeting Section 7.1.9.</p> <p>9. The applicant is conditioned to provide a Home Owners Association, meeting Section 7.1.10.</p> <p>10. The project provides the 20% minimum open space and is conditioned as to its ownership, meeting Section 7.1.13 and 7.1.14.</p> <p>11. The Planning Board, in granting the Applicant's request for a Special Permit found that the Project would not result in any substantial detriment to the district for all of the reasons stated above.</p> <p>VI) Conditions</p> <p>A) General Conditions</p> <ol style="list-style-type: none"> 1. This decision for Special Permit Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has <p>Case #: SPP24-003 – Special Permit – Eagle Rock Flexible Development</p>
<p>Bk 42610 Pg37 #59326</p> <p>14. All construction shall be in strict conformance with the approved plans as follows:</p> <ol style="list-style-type: none"> 1. Plan Set entitled "Site Development Plans for Eagle Rock Passive Homes Flexible Development" prepared by Strongpoint Engineering Solutions dated March 20, 2025, revised through July 15, 2025. 2. Landscape Plan set prepared by MDLA dated June 26, 2025. <p>15. The applicant shall record the Site Operation & Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit. (Section 7.1.A attached hereto).</p> <p>16. The applicant shall clean the entire drainage system at the end of construction.</p> <p>17. A Final As-built Plan shall be submitted for review by the Engineering Department prior to the issuance of a Certificate of Occupancy.</p> <p>18. The Planning Board requires a cash bond in the amount to cover 50% of the replacement cost of all landscaping prior to the issuance of a Certificate of Occupancy. The bond will be held by the Planning Board for one full growing season after the landscaping is installed.</p> <p>B) Special Conditions</p> <ol style="list-style-type: none"> 1. Prior to the start of construction, the applicant shall submit plans and specifications, and receive approval from the Fire Department for the 10,000-gallon cistern being used for fire protection. 2. The project shall be required to have a backup generator for the community septic system meeting the Board of Health requirements. 3. The driveways and all utilities within the development shall remain private and be subject to a Homeowners Association. 4. The grant of this special permit for a Flexible Development, a minimum of ten (10%) of the total number of dwelling units shall be restricted in perpetuity. The restriction shall be approved as to form by legal counsel to the Planning Board, at the applicant's expense, and a right of first refusal upon the transfer of such restricted units shall be granted to the local Housing Authority for a period not less than 120 days after notice thereof. 5. The applicant shall provide to the Planning Board for its approval Homeowner Association documents to provide for the maintenance of the roads, stormwater management facilities, fire cistern, septic system, all utilities, trash pickup, and any common areas in the Development. 6. Open Space Conditions: <ol style="list-style-type: none"> 1. A minimum of twenty (20%) percent of the parcel shown on the development plan shall be contiguous open space. Any proposed contiguous open space, unless conveyed to the Town or its <p>Case #: SPP24-003 – Special Permit – Eagle Rock Flexible Development.</p>	<p>Bk 42610 Pg38 #59326</p> <p>Conservation Commission, shall be subject to a recorded restriction enforceable by the Town, providing that such land shall be perpetually kept in an open state, that it shall be preserved for exclusively agricultural, horticultural, educational or recreational purposes, and that it shall be maintained in a manner which will ensure its suitability for its intended purposes.</p> <p>b) The contiguous open space shall be used for conservation, historic preservation and education, outdoor education, recreation, park purposes, agriculture, horticulture, forestry, or for a combination of these uses, and shall be served by suitable access for such purposes.</p> <p>c) The contiguous open space shall remain unbuilt upon, provided that the Planning Board may permit up to twenty (20%) percent of such open space to be paved or built upon for structures accessory to the dedicated use or uses of such open space, pedestrian walks, and bike paths.</p> <p>d) Underground utilities to serve the Flexible Development site may be located within the contiguous open space.</p> <p>7. Ownership of the open space shall be conveyed to:</p> <ol style="list-style-type: none"> 1. The Town or its Conservation Commission; 2. A nonprofit organization, the principal purpose of which is the conservation of open space and any of the purposes for such open space set forth above; 3. A corporation or trust owned jointly or in common by the owners of lots within the Flexible Development. If such corporation or trust is utilized, ownership thereof shall pass with conveyance of the lots in perpetuity. Maintenance of such open space and facilities shall be permanently guaranteed by such corporation or trust which shall provide for mandatory assessments for maintenance expenses to each lot. Each such trust or corporation shall be deemed to have assented to allow the Town to perform maintenance of such open space and facilities, if the trust or corporation fails to provide adequate maintenance, and shall grant the town an easement for this purpose. In such event, the town shall first provide fourteen (14) days written notice to the trust or corporation as to the inadequate maintenance, and, if the trust or corporation fails to complete such maintenance, the town may perform it. Each individual deed, and the deed or trust or articles of incorporation, shall include provisions designed to effect these provisions. Documents creating such trust or corporation shall be submitted to the Planning Board for review and approval by the Town Attorney, at the applicant's expense, and shall thereafter be recorded. 4. The applicant shall provide a cash bond in the amount to cover 50% of the replacement cost of the landscaping associated with the main access driveway prior to the issuance of a Certificate of Occupancy. The bond will <p>be held by the Planning Board for one full growing season after the landscaping is installed.</p> <p>9. This approval shall be subject to the performance guarantee requirements for the construction of the main access driveway as set forth under Regulations Section IV.C.8 and M.G.L. Ch. 41, Sec. 81U, Par. 7 and that the applicant shall, at all times, maintain sufficient surety and shall provide additional surety, should the applicant be notified in writing that the surety is deficient in amount or nature, after being provided an opportunity to be heard by the Board.</p> <p>VII) Record of Vote The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Stormwater Management Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.</p> <p>On this day of July 17, 2025.</p> <p><i>D. Kelly</i> Daniel Kelly, Chairman <i>P. Demusz</i> Paul Demusz, Vice Chairman <i>T. Belliveau</i> Paul Belliveau <i>R. Terry</i> Richard Terry <i>P. Murphy</i> Peter Murphy</p> <p>cc: Town Clerk, Applicant, Interested Parties</p> <p>CERTIFICATION: The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on 7-23-25.</p> <p>FOR THE PLANNING BOARD</p> <p><i>D. Kelly</i> Daniel Kelly, Chairman</p> <p>Case #: SPP24-003 – Special Permit – Eagle Rock Flexible Development.</p>	<p>Bk 42610 Pg39 #59326</p> <p>commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.</p> <p>2. Any modification(s) affecting the approved Special Permit, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.</p> <p>3. The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.</p> <p>4. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.</p> <p>5. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.</p> <p>6. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval, and decisions.</p> <p>7. No site activity shall take place at the property under the Special Permit without proper authorization and permitting from all local and state agencies, as required.</p> <p>8. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.</p> <p>9. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first, in accordance with the fee schedule dated March 23, 2017.</p> <p>10. The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.</p> <p>11. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first.</p> <p>12. Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.</p> <p>13. A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.</p> <p>Case #: SPP24-003 – Special Permit – Eagle Rock Flexible Development.</p>



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

7	PB DECISION	8/27/25
6	PER TOWN COMMENT	7/15/25
5	PER TOWN COMMENT	7/10/25
4	PER TOWN COMMENT	6/19/25
3	PER TOWN COMMENT	6/6/25
REV	DESCRIPTION	DATE



PROJECT NUMBER:	2411-002
DATE OF ISSUE:	MARCH 20, 2025
SCALE:	1"=50'
DESIGNED BY:	ED
CHECKED BY:	ED

PREPARED ON BEHALF OF:

EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465

EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

PLANNING BOARD DECISION	PB-1
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PERMIT SET - NOT FOR CONSTRUCTION

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