

SITE DEVELOPMENT PLANS

FOR

EAGLE ROCK PASSIVE HOMES

FLEXIBLE DEVELOPMENT

0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS
MAP 8 LOTS 16 & 17

APPLICANT:

EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02486

CIVIL ENGINEER :



ENVIRONMENTAL CONSULTANT

LEC ENVIRONMENAL CONSULTANTS, INC.
380 LOWELL STREET, SUITE 101
WAKEFIELD, MA 01880

ARCHITECT

RODE ARCHITECTS, INC.
535 ALBANY STREET, SUITE 39
BOSTON, MA 02118

LANDSCAPE ARCHITECT

M D L A
840 SUMMER STREET, SUITE 201A
BOSTON, MA 02127



SHEET INDEX

<u>SHEET</u>	<u>NAME</u>	<u>ISSUED</u>	<u>REVISED</u>
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D-3	EROSION & SEDIMENT CONTROL DETAILS	03/20/25	06/06/25
PB-1	PLANNING BOARD DECISION	-	08/27/25

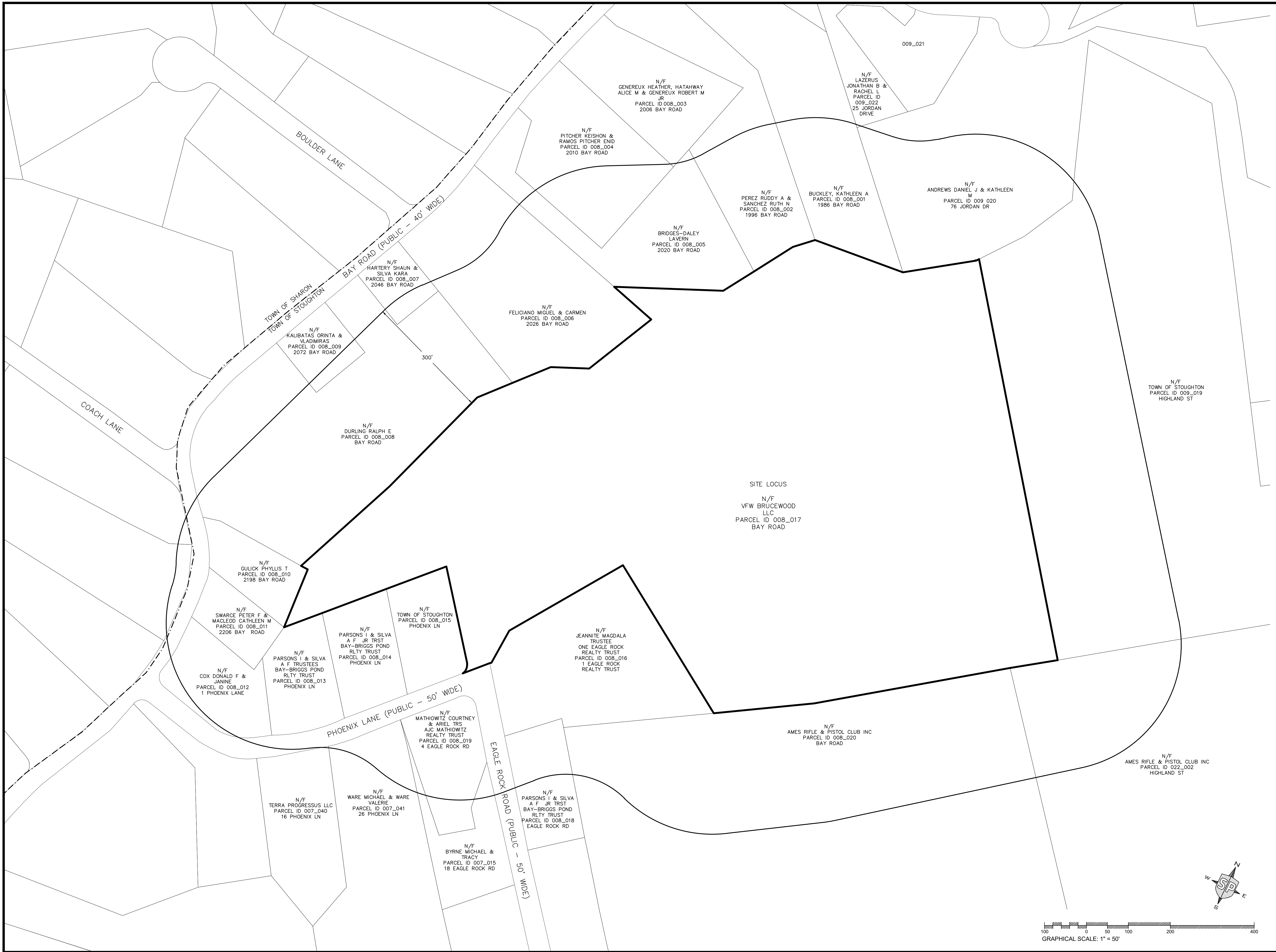
TOWN OF STOUGHTON ZONING BY-LAW WAIVERS GRANTED

THE FOLLOWING WAIVERS FROM CERTAIN SECTIONS OF THE TOWN OF STOUGHTON ZONING BY-LAWS ARE WERE GRANTED BY THE TOWN OF STOUGHTON PLANNING BOARD TO SUPPORT THE PROPOSED DEVELOPMENT SHOWN:

<u>SECTION</u>	<u>WAIVER REQUESTED</u>
10.6.9.9.	WAIVER TO DEFINE THE OPEN SPACE DESIGNATION BY METES AND BOUNDS AS A CONDITION OF APPROVAL.
10.6.9.11.	WAIVER TO SET SITE BENCHMARKS PRIOR TO CONSTRUCTION AND INCLUDE ON FINAL SITE AS-BUILT PLAN.
10.6.9.20.	WAIVER TO PROVIDE ELEVATION AND FACADE TREATMENTS FOR INDIVIDUAL UNITS. A TYPICAL EXAMPLE HAS BEEN PROVIDED.

ISSUED FOR REVIEW: MARCH 20, 2025
REVISED: AUGUST 27, 2025
PERMIT SET NOT FOR CONSTRUCTION

NOTE: INFORMATION TAKEN FROM MASSGIS AND TOWN OF STOUGHTON GIS.



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

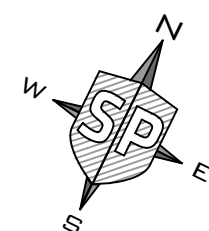
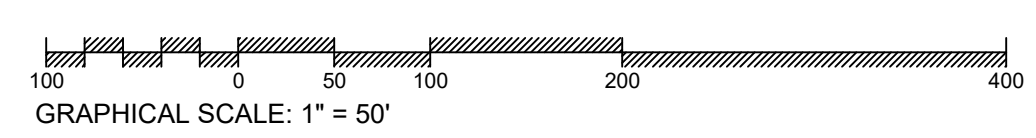
2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25
REV	DESCRIPTION	DATE



PROJECT NUMBER: 2411-002
DATE OF ISSUE: MARCH 20, 2025
SCALE: 1"=100'
DESIGNED BY: ED CHECKED BY: ED
PREPARED ON BEHALF OF:
EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465
EAGLE ROCK PASSIVE HOMES FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

LOCUS PLAN	L-1
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TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION
CONTROL LAW

DATE:

APPROVED _____ SUBJECT TO
CONDITIONS SET FORTH IN THE
CERTIFICATE OF ACTION FILED WITH THE
TOWN CLERK ON _____

APPROVED _____ SUBJECT TO A
COVENANT EXECUTED BY _____
DATE _____ AND TO BE (RECORDED)
(REGISTERED) HEREWITH



SHEET
EX-3

SHEET
EX-2

SHEET
EX-4

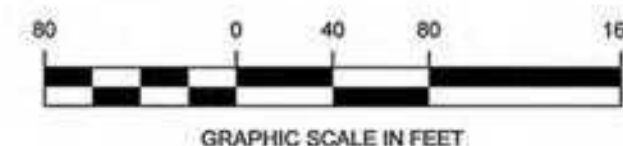
NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LIMITED EXISTING SITE CONDITIONS OF A 27.85 ACRE PARCEL KNOWN AS 0 EAGLE ROCK ROAD IN STOUGHTON. THE BOUNDARY LINES AND WETLAND AREAS WERE PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BETWEEN 1/3/2023 AND 3/4/2024, BY RJ O'CONNELL & ASSOCIATES, INC. (RJOCC).
2. LEDGE LOCATIONS AND SITE ELEVATIONS ARE FROM INFORMATION PROVIDED BY THE SITE OWNER.
3. THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83), THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). DATUMS WERE ESTABLISHED USING RTK GPS METHODS. TO CONVERT NAVD88 ELEVATIONS TO NGVD28 ADD 0.84'.
4. THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
5. ON-SITE WETLANDS WERE DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON DECEMBER 29, 2022. WETLAND FLAGS WERE LOCATED IN THE FIELD BY TOTAL STATION METHODS BY RJOCC.
6. OFF-SITE WETLANDS WERE DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON MARCH 8, 2024. LOCATION OF DELINEATED LINE IS FROM MEASUREMENTS PROVIDED BY LEC AS MEASURED FROM LOT CORNERS AND LOT LINE POINTS SET BY RJOCC. OFFSITE WETLANDS LINE AND OFFSETS SHOULD BE CONSIDERED APPROXIMATE.
7. CONTOUR INTERVAL IS TWO FOOT (2').

PLAN REFERENCES:

PLAN BOOK AND PAGES REFERENCE THE NORFOLK
REGISTRY OF DEEDS

1. 1988 PLAN NO. 97, BK. 4494 PG. 197
2. 1971 PLAN NO. 728, BK. 4769 PG. 40
3. 1973 PLAN NO. 1371, PLAN BK. 239
4. 1976 PLAN NO. 466, BK. 5245 PG. 692
5. 1988 LAND COURT PLAN 27676G
6. 1986 PLAN NO. 619, PLAN BK. 336
7. 1989 PLAN NO. 377, PLAN BK. 377
8. 1990 LAND COURT PLAN 27676I
9. 1993 PLAN NO. 211, PLAN BK. 412
10. 2000 PLAN NO. 481, PLAN BK. 478
11. 2022 PLAN NO. 72, PLAN BK. 710
12. 2022 PLAN NO. 34, PLAN BK. 714



SEE SHEET EX-4 FOR
EXISTING LEGEND



RJOCC

DATE	REVISION
4/22/24	1
ADDED WETLANDS ALONG NORTHWEST LOT BOUNDARY LINE	

Record Owner:
VFW BRUCEWOOD LLC
540 VFW PARKWAY, SUITE 3
WEST ROXBURY, MA 02132
BK. 40642 PG. 931

Location:
PARCEL ID:
0 EAGLE ROCK ROAD
STOUGHTON, MA

PREPARED BY:
**RJO'CONNELL
& ASSOCIATES, INC.**
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
89 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.278.0180 RJOCCONNELL.COM

PROJECT NAME:
**PASSIVE HOUSE
CONSTRUCTION LLC**
30 ELLIS ROAD
NEWTON, MA 02465

0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS

SEAL



DRAWN BY: _____ DATE: 4/4/2024
REVIEWED BY: _____
SCALE: 1" = 80'
FIELD CREW: _____
DATE: 10/4/2023
DRAWING NAME:

**OVERALL
EXISTING KEY PLAN**

DRAWING NUMBER:
EX-1

PROJECT NUMBER:
22311

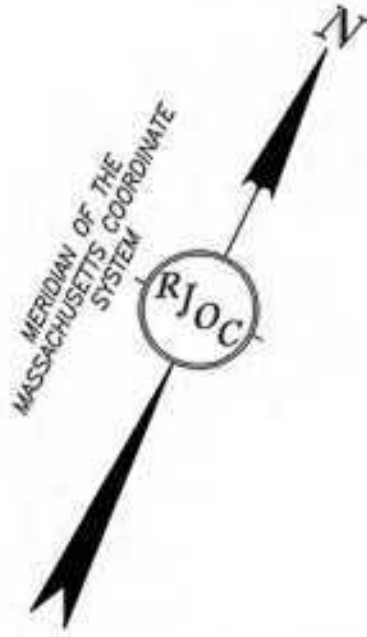
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TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION
CONTROL LAW

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DATE _____ AND TO BE (RECORDED)
(REGISTERED) HEREWITH



BAY ROAD
PARCEL ID: 008 008 0
N/F
RALPH E. DURLING

OFF-SITE WETLANDS,
LOCATION FROM
MEASURED DISTANCES
FROM LOT LINE STAKES

DRILL HOLE
SET

BEAN POLE
SET

IRON ROD
SET

BEAN POLE
SET

IRON ROD
SET

BEAN POLE
SET

IRON ROD
SET

BEAN POLE
SET

IRON ROD
SET

BEAN POLE
SET

IRON ROD
SET

BEAN POLE
SET

NB6°20'47"W
30.00' (CALC-HELD)
17.83' (PLAN)

2198 BAY ROAD
PARCEL ID: 008 010 0
N/F
PHYLLIS T. GULICK

NB6°20'47"W
130.81' (CALC-HELD)
145.70' (PLAN)

2206 BAY ROAD
PARCEL ID: 008 011 0
N/F
PETER F. SWARCE
& CATHLEEN M. MACLEOD

PHOENIX LANE
PARCEL ID: 008 013 0
N/F
PARSONS I & SILVA A F
TRUSTEES

PHOENIX LANE
PARCEL ID: 008 014 0
N/F
PARSONS I & SILVA A F
TRUSTEES

PHOENIX LANE
PARCEL ID: 008 015 0
N/F
TOWN OF STOUGHTON

PHOENIX LANE
(PUBLIC - 50' WIDE)

CONCRETE BOUND
WITH DRILL HOLE
FOUND

EAGLE ROCK ROAD
(PUBLIC - 66' WIDE)

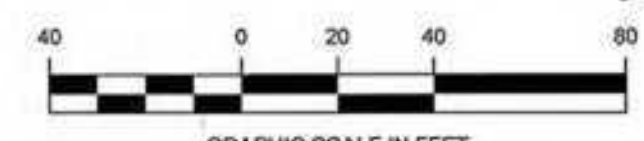
GRAVEL DRIVEWAY

1 EAGLE ROCK ROAD
PARCEL ID:
N/F
ONE EAGLE ROCK REALTY
TRUST UDT

421.05' (CALC-HELD)
19.13' (PLAN)

POTENTIAL VERNAL
POOL (PVP)

MATCH LINE (SEE
SHEET EX-3 & EX-4)



SEE SHEET EX-4 FOR
EXISTING LEGEND

DIG SAFE



BEFORE YOU DIG
CALL 811

RJO

NO.	REVISION	DATE
1	ADDED WETLANDS ALONG NORTHWEST LOT BOUNDARY LINE	4/14/2024

Record Owner:
VFW BRUCEWOOD LLC
540 VFW PARKWAY, SUITE 3
WEST ROXBURY, MA 02132
BK . 40642 PG. 931

Location:
PARCEL ID:
0 EAGLE ROCK ROAD
STOUGHTON, MA

PREPARED BY:
**RJO'CONNELL
& ASSOCIATES, INC.**
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.9188 RJOCONNELL.COM

PREPARED FOR:
**PASSIVE HOUSE
CONSTRUCTION LLC**
30 ELLIS ROAD
NEWTON, MA 02465

PROJECT NAME:
**0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS**

SEAL



DATE: 4/14/2024
PROFESSIONAL LAND SURVEYOR FOR
RJO'CONNELL & ASSOCIATES, INC.
DRAWN BY: RJK
REVIEWED BY: ML
SCALE: 1" = 40'
FIELD CREW: TDB / JWS

DRAWING NUMBER: EX-2

PROJECT NUMBER: 22311

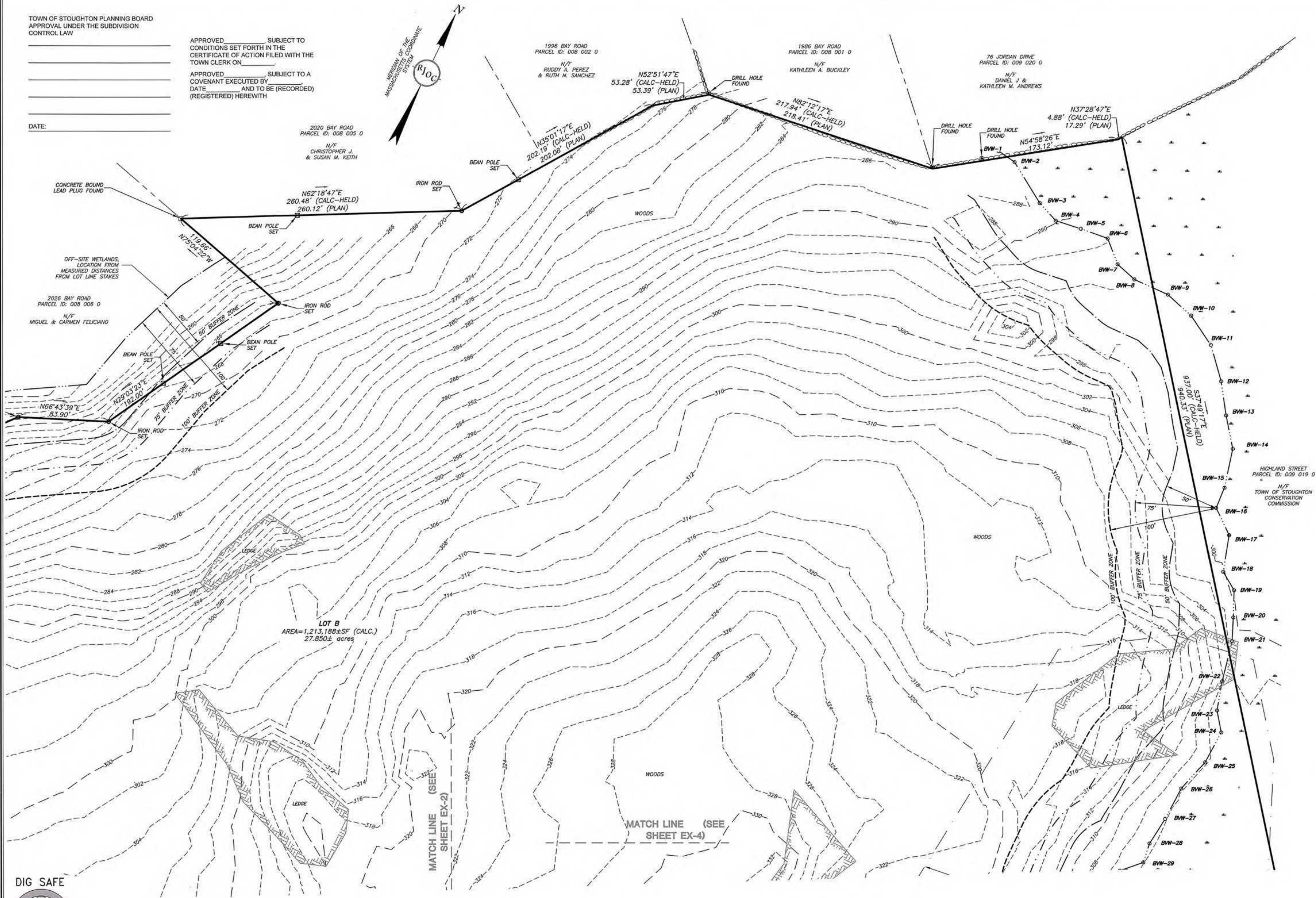
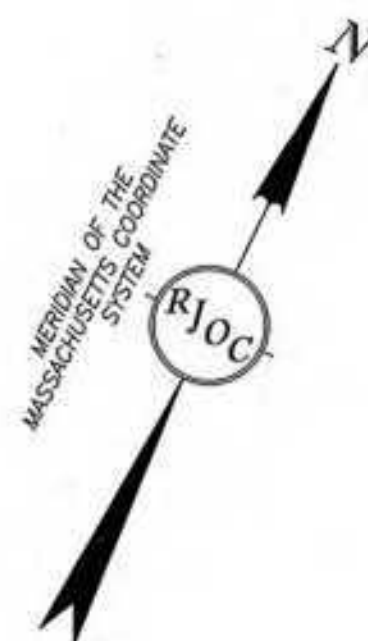
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TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION
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APPROVED _____ SUBJECT TO A
COVENANT EXECUTED BY
DATE _____ AND TO BE (RECORDED)
(REGISTERED) HEREWITH

DATE: _____

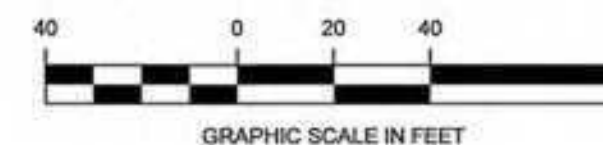


DIG SAFE



BEFORE YOU DIG
CALL 811

SEE SHEET EX-4 FOR
EXISTING LEGEND



RJOC

NO.	REVISION	DATE
1	ADDED WETLANDS ALONG NORTHWEST LOT BOUNDARY LINE	4/4/2024

Record Owner:
VFW BRUCEWOOD LLC
540 VFW PARKWAY, SUITE 3
WEST ROXBURY, MA 02132
BK. 40642 PG. 931

Location:
PARCEL ID:
0 EAGLE ROCK ROAD
STOUGHTON, MA

PREPARED BY:
**RJO'CONNELL
& ASSOCIATES, INC.**
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
88 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.0180 RJOCNNEL.COM

PREPARED FOR:
**PASSIVE HOUSE
CONSTRUCTION LLC**
30 ELLIS ROAD
NEWTON, MA 02465

PROJECT NAME:

0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS

SEAL



PROFESSIONAL LAND SURVEYOR FOR
RJ O'CONNELL & ASSOCIATES, INC.

DRAWN BY: RJK
REVIEWED BY: ML
SCALE: 1" = 40'
FIELD CREW: TDB / JWS

DATE: 10/4/2023
DRAWING NUMBER:

**EXISTING
CONDITIONS PLAN
NORTH**

DRAWING NUMBER:

EX-3

PROJECT NUMBER:

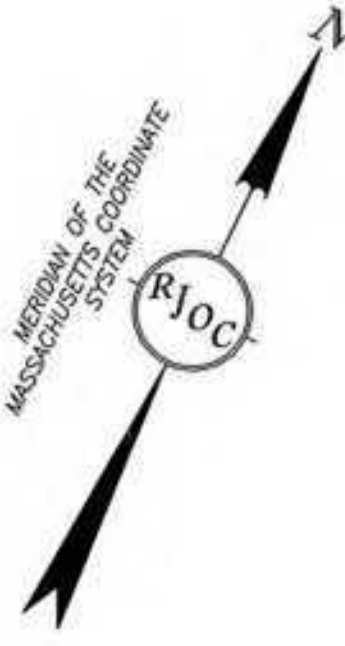
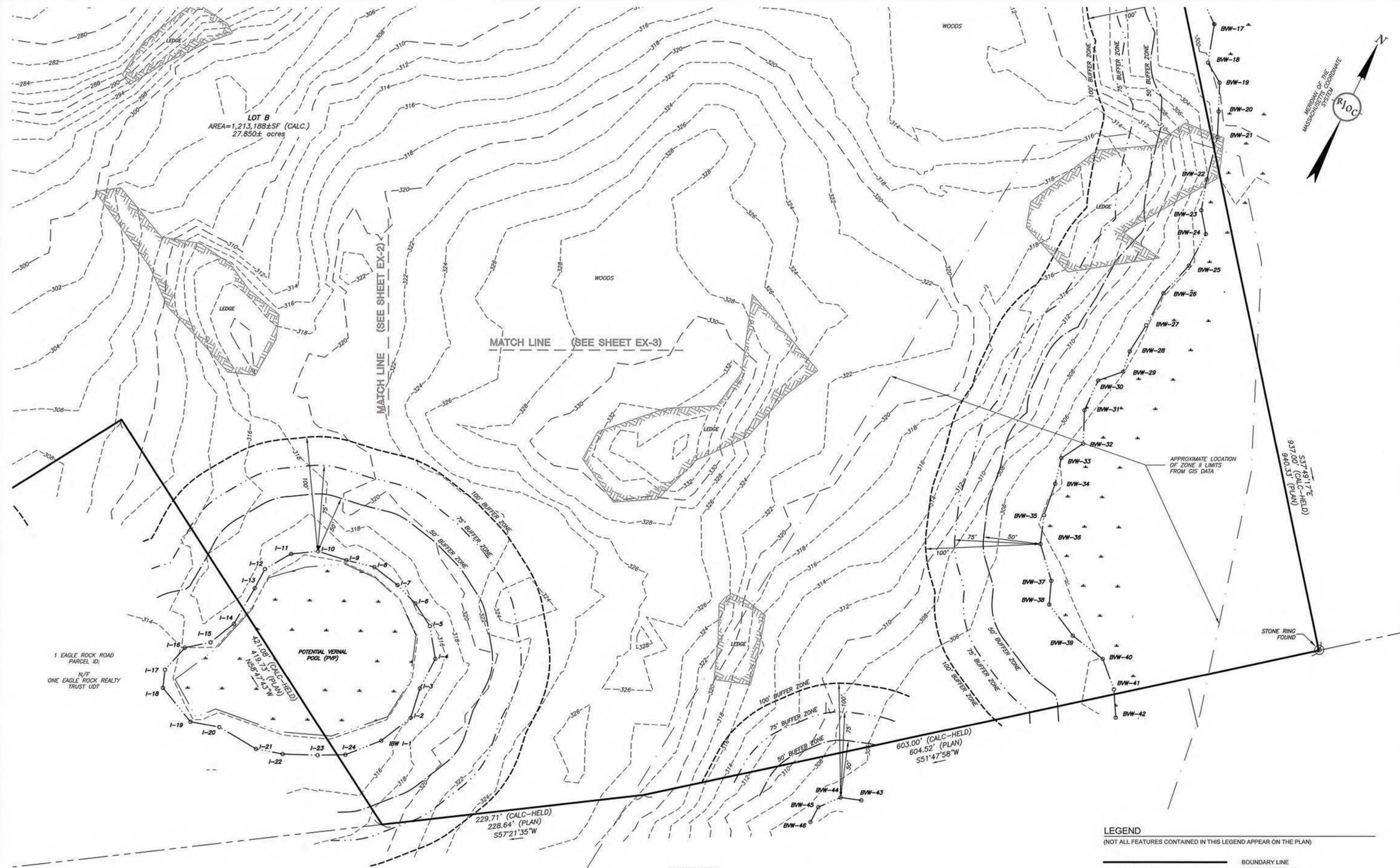
22311

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Drawing Name: C:\MA\Stoughton\Passive House\0 Eagle Rock\Survey\DWG\22311_Eagle_Rock_base.dwg



DIG SAFE
BEFORE YOU DIG
CALL 811



RJOC

DATE	REVISION
4/22/24	1
ADDED WETLANDS ALONG NORTHWEST LOT BOUNDARY LINE	

Record Owner:
VFW BRUCEWOOD LLC
540 VFW PARKWAY, SUITE 3
WEST ROXBURY, MA 02132
BK. 40642 PG. 931

Location:
PARCEL ID:
0 EAGLE ROCK ROAD
STOUGHTON, MA

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
89 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.9186 RJOCONNELL.COM

PREPARED FOR:
PASSIVE HOUSE CONSTRUCTION LLC
30 ELLIS ROAD
NEWTON, MA 02465

PROJECT NAME:
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS

SEAL



Matthew Lowry 4/4/2024
PROFESSIONAL LAND SURVEYOR FOR
RJ O'CONNELL & ASSOCIATES, INC.

DRAWN BY: RJK
REVIEWED BY: ML
SCALE: 1" = 40'
FIELD CREW: TDB / JWS

DATE: 10/4/2023

DRAWING NAME:
EXISTING CONDITIONS PLAN EAST

DRAWING NUMBER:
EX-4

PROJECT NUMBER:
22311

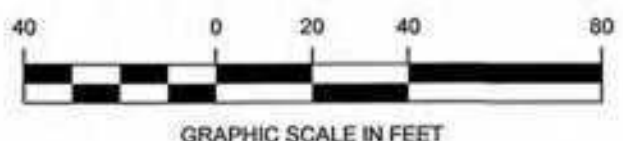
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TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION
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DATE _____ AND TO BE (RECORDED)
(REGISTERED) HEREWITH

DATE: _____

HIGHLAND STREET
PARCEL ID: 008 020 0
N/F
AMES RIFLE & PISTOL CLUB



LEGEND
(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

BOUNDARY LINE	CC	CONCRETE CURB
ABUTTING LOT LINE	VCC	VERTICAL GRANITE CURB
INDEX CONTOUR	BCB	BITUMINOUS CONCRETE CURB
INTERMEDIATE CONTOUR	(REC)	FROM RECORD PLANS
TREE CANOPY LINE	CONC.	CONCRETE
BORDERING VEGETATED WETLAND		
OVERHEAD WIRES		
GUARDRAIL		
CHAIN LINK FENCE		
STOCKADE FENCE		
UTILITY POLE		
LIGHT POLE		
SPOT GRADE		
DRAIN MANHOLE		
CATCH BASIN		
SIGN		
WETLAND FLAG		

NOTES:

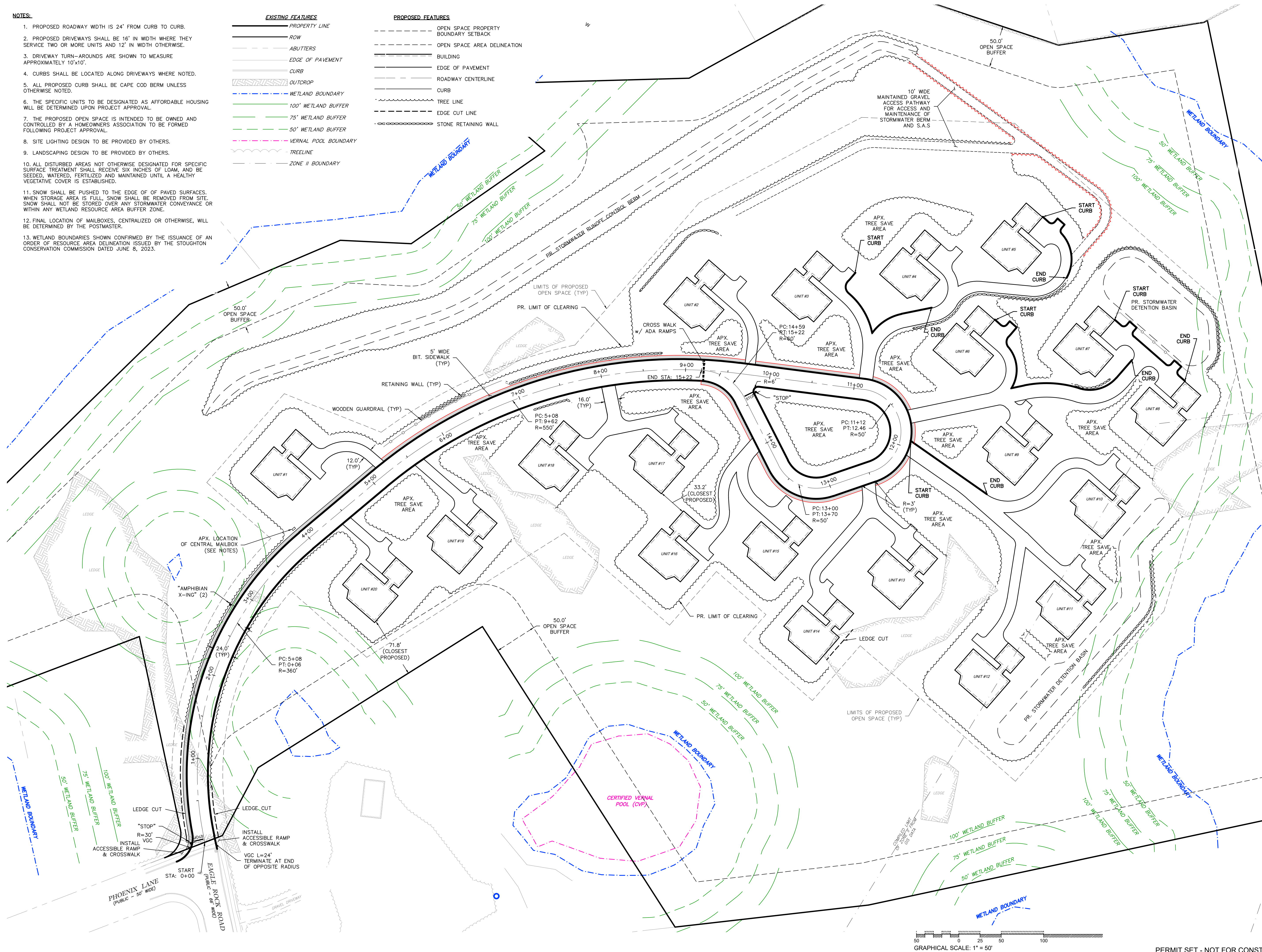
1. PROPOSED ROADWAY WIDTH IS 24' FROM CURB TO CURB.
2. PROPOSED DRIVEWAYS SHALL BE 16' IN WIDTH WHERE THEY SERVICE TWO OR MORE UNITS AND 12' IN WIDTH OTHERWISE.
3. DRIVEWAY TURN-AROUNDS ARE SHOWN TO MEASURE APPROXIMATELY 10'x10'.
4. CURBS SHALL BE LOCATED ALONG DRIVEWAYS WHERE NOTED.
5. ALL PROPOSED CURB SHALL BE CAPE COD BERM UNLESS OTHERWISE NOTED.
6. THE SPECIFIC UNITS TO BE DESIGNATED AS AFFORDABLE HOUSING WILL BE DETERMINED UPON PROJECT APPROVAL.
7. THE PROPOSED OPEN SPACE IS INTENDED TO BE OWNED AND CONTROLLED BY A HOMEOWNERS ASSOCIATION TO BE FORMED FOLLOWING PROJECT APPROVAL.
8. SITE LIGHTING DESIGN TO BE PROVIDED BY OTHERS.
9. LANDSCAPING DESIGN TO BE PROVIDED BY OTHERS.
10. ALL DISTURBED AREAS NOT OTHERWISE DESIGNATED FOR SPECIFIC SURFACE TREATMENT SHALL RECEIVE SIX INCHES OF LOAM, AND BE SEEDED, WATERED, FERTILIZED AND MAINTAINED UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
11. SNOW SHALL BE PUSHED TO THE EDGE OF OF PAVED SURFACES. WHEN STORAGE AREA IS FULL, SNOW SHALL BE REMOVED FROM SITE. SNOW SHALL NOT BE STORED OVER ANY STORMWATER CONVEYANCE OR WITHIN ANY WETLAND RESOURCE AREA BUFFER ZONE.
12. FINAL LOCATION OF MAILBOXES, CENTRALIZED OR OTHERWISE, WILL BE DETERMINED BY THE POSTMASTER.
13. WETLAND BOUNDARIES SHOWN CONFIRMED BY THE ISSUANCE OF AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE STOUGHTON CONSERVATION COMMISSION DATED JUNE 8, 2023.

EXISTING FEATURES

PROPERTY LINE
ROW
ABUTTERS
EDGE OF PAVEMENT
CURB
OUTCROP
WETLAND BOUNDARY
100' WETLAND BUFFER
75' WETLAND BUFFER
50' WETLAND BUFFER
VERNAL POOL BOUNDARY
TREELINE
ZONE II BOUNDARY

PROPOSED FEATURES

OPEN SPACE PROPERTY
BOUNDARY SETBACK
OPEN SPACE AREA DELINEATION
BUILDING
EDGE OF PAVEMENT
ROADWAY CENTERLINE
CURB
TREE LINE
EDGE CUT LINE
STONE RETAINING WALL

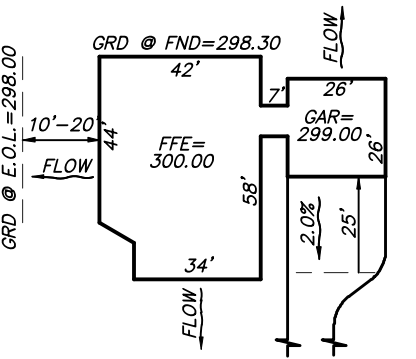
RESIDENTIAL A
DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING
MIN. LOT AREA	55,000 SF	1,213,188 SF
MIN. LOT WIDTH	150 FT	87 FT*
MIN. LOT FRONTAGE	150 FT	73 FT*
MIN. LOT DEPTH	180 FT	518 FT
MIN. FRONT YARD	40 FT	--
MIN. SIDE YARD	20 FT	--
MIN. REAR YARD	50 FT	--
MAX. BUILDING AREA	20%	--
MIN. OPEN SPACE	50%	100%

*PRE-EXISTING
NON-CONFORMING

FLEXIBLE DEVELOPMENT OPEN SPACE CALCULATIONS

TOTAL LOT AREA = 1,213,188 SF (27.9 Ac.)
OPEN SPACE AREA = 682,298 SF (15.7 Ac.)
% OPEN SPACE = 56%
% WETLAND OF PROPERTY = 7.6% (91,860 SF)
% WETLAND OF OPEN SPACE = 13.4% (91,860 SF)



- NOTES:
1. DIMENSIONS AND GRADE PATTERNS SHOWN ARE APPROXIMATE AND INTENDED TO CONVEY INTENT. REFER TO SPOT GRADES FOR ADDITIONAL GUIDANCE. FINAL DIMENSIONS AND GRADING OF EACH PROPOSED UNIT WILL BE DETAILED UPON ISSUANCE OF BUILDING PERMIT PLANS, IN KEEPING WITH THE INTENT SHOWN HERE.
 2. TYPICAL UNITS ARE INTENDED TO CONTAIN A FOUR BEDROOMS.
 3. TOTAL APPROXIMATE FOOTPRINT AREA OF EACH UNIT IS 3,035 SF.
 4. ALL PROPOSED UNITS ARE A MINIMUM OF 30 FEET APART AND A MINIMUM OF 70 FEET FROM THE PROPERTY BOUNDARY.

TYPICAL UNIT DIMENSIONS AND GRADING PATTERN
NOT TO SCALE

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

5	PER TOWN COMMENT	7/10/25
4	PER TOWN COMMENT	6/19/25
3	PER TOWN COMMENT	6/6/25
2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25
REV	DESCRIPTION	DATE



PROJECT NUMBER: 2411-002

DATE OF ISSUE: MARCH 20, 2025

SCALE: 1"=50'

DESIGNED BY: ED CHECKED BY: ED

PREPARED ON BEHALF OF:

EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465

EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

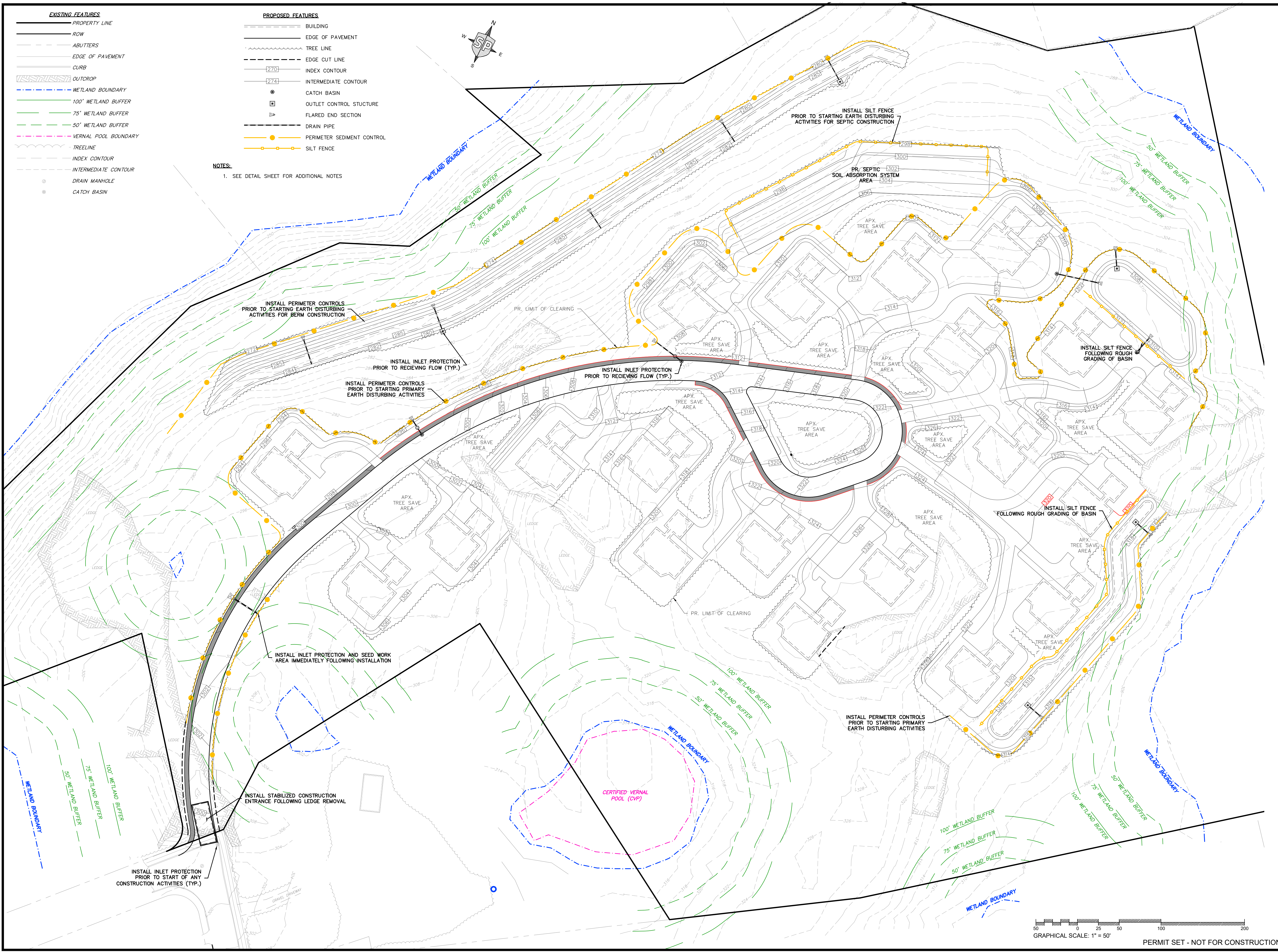
SITE
LAYOUT PLAN

C-2

GRAPHICAL SCALE: 1" = 50'

PERMIT SET - NOT FOR CONSTRUCTION

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NOTES:
1. SEE DETAIL SHEET FOR ADDITIONAL NOTES



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

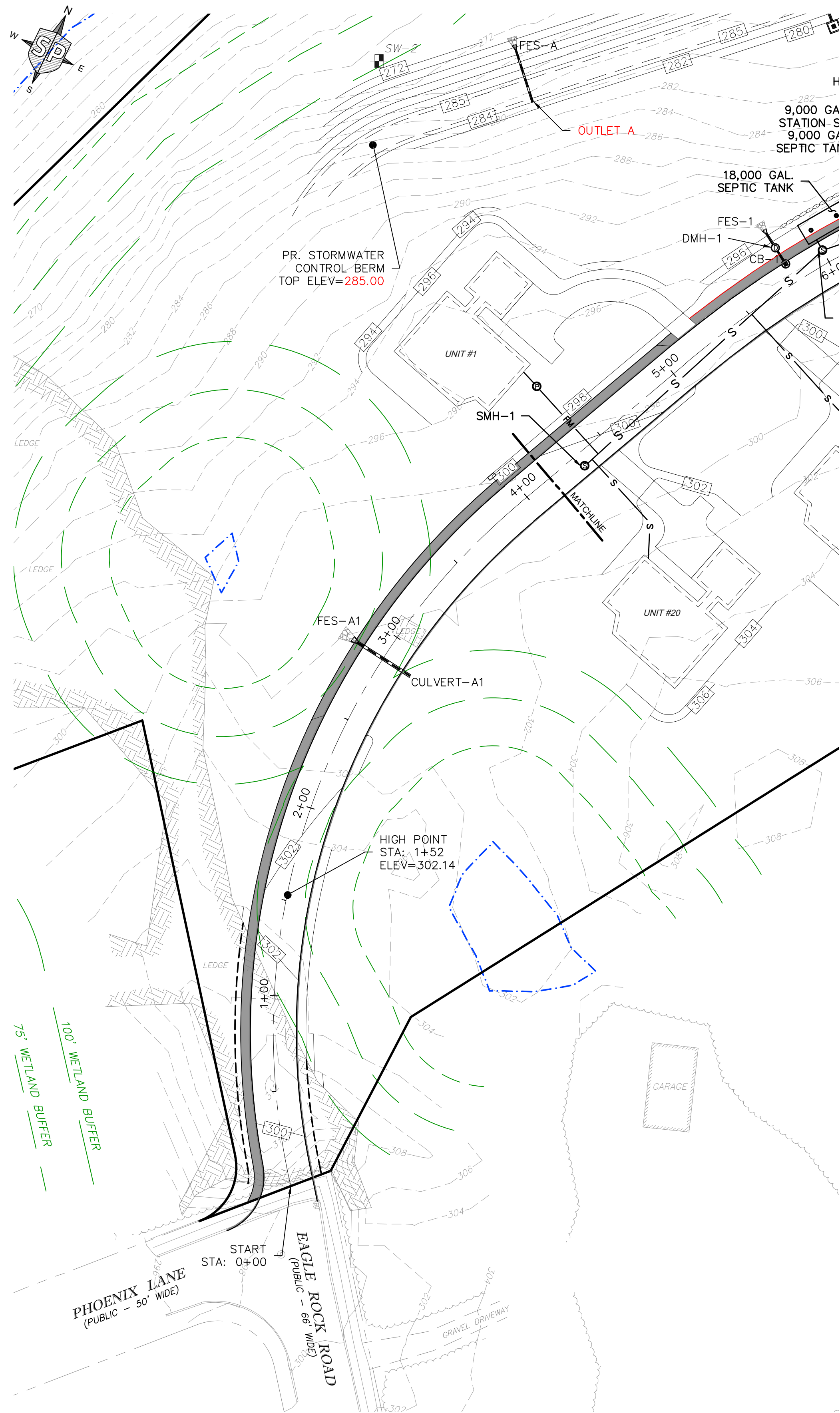
REV	DESCRIPTION	DATE
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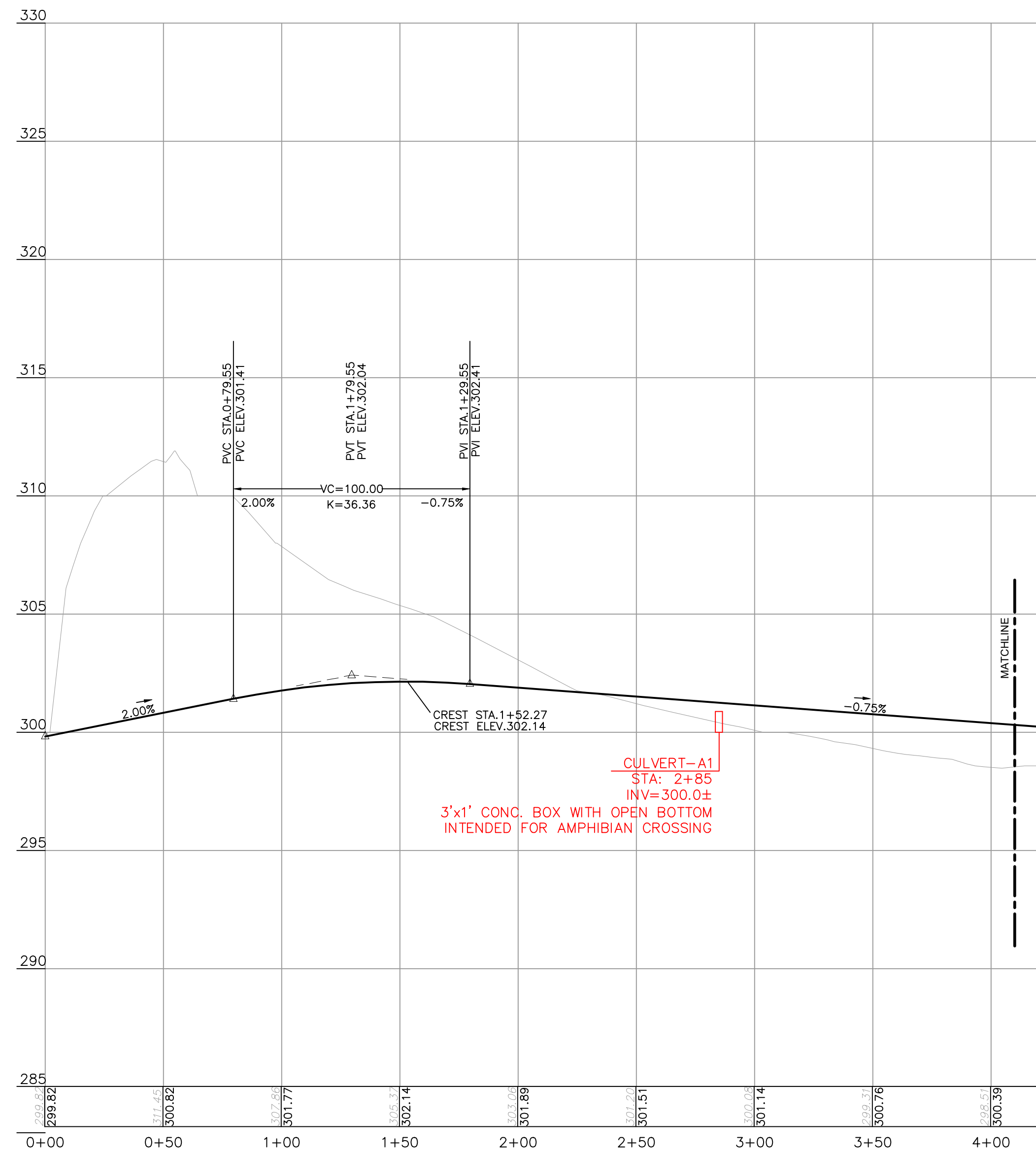
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30 ELLIS ROAD
NEWTON, MA 02465
**EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT**
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

EROSION & SEDIMENT CONTROL PLAN	C-4
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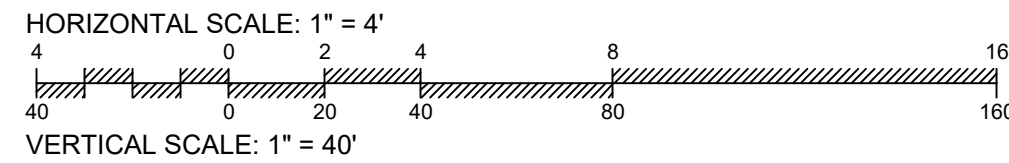
GRAPHICAL SCALE: 1" = 50'
PERMIT SET - NOT FOR CONSTRUCTION
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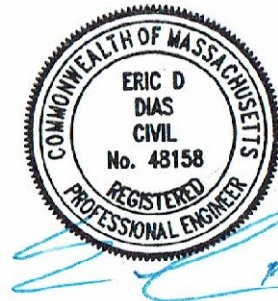
PLAN VIEW STA: 0+00 TO 4+00



ROADWAY PROFILE STA: 0+00 TO 4+00



PERMIT SET - NOT FOR CONSTRUCTION



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

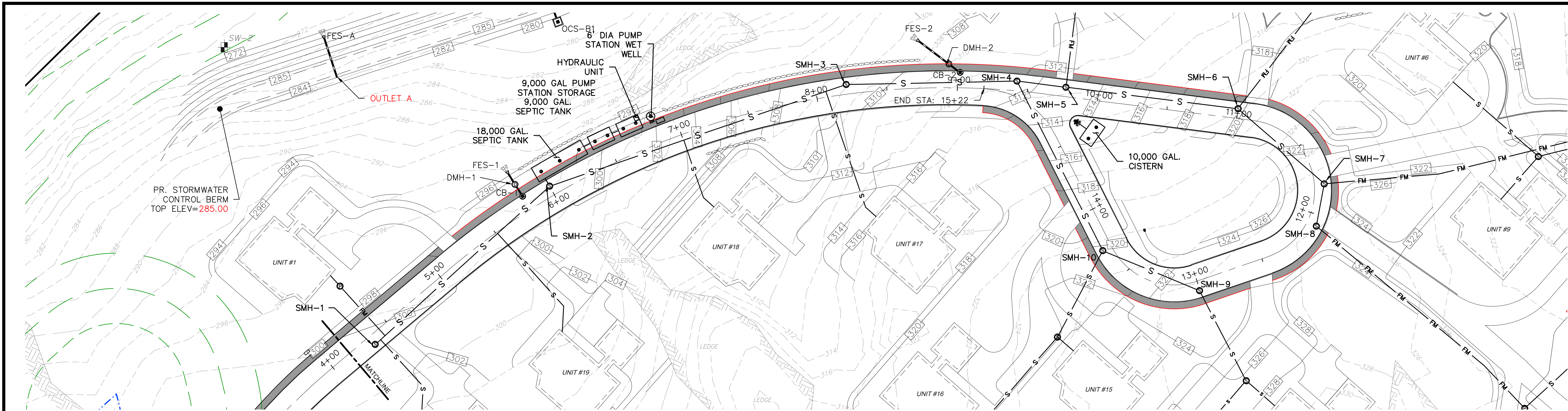
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2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25



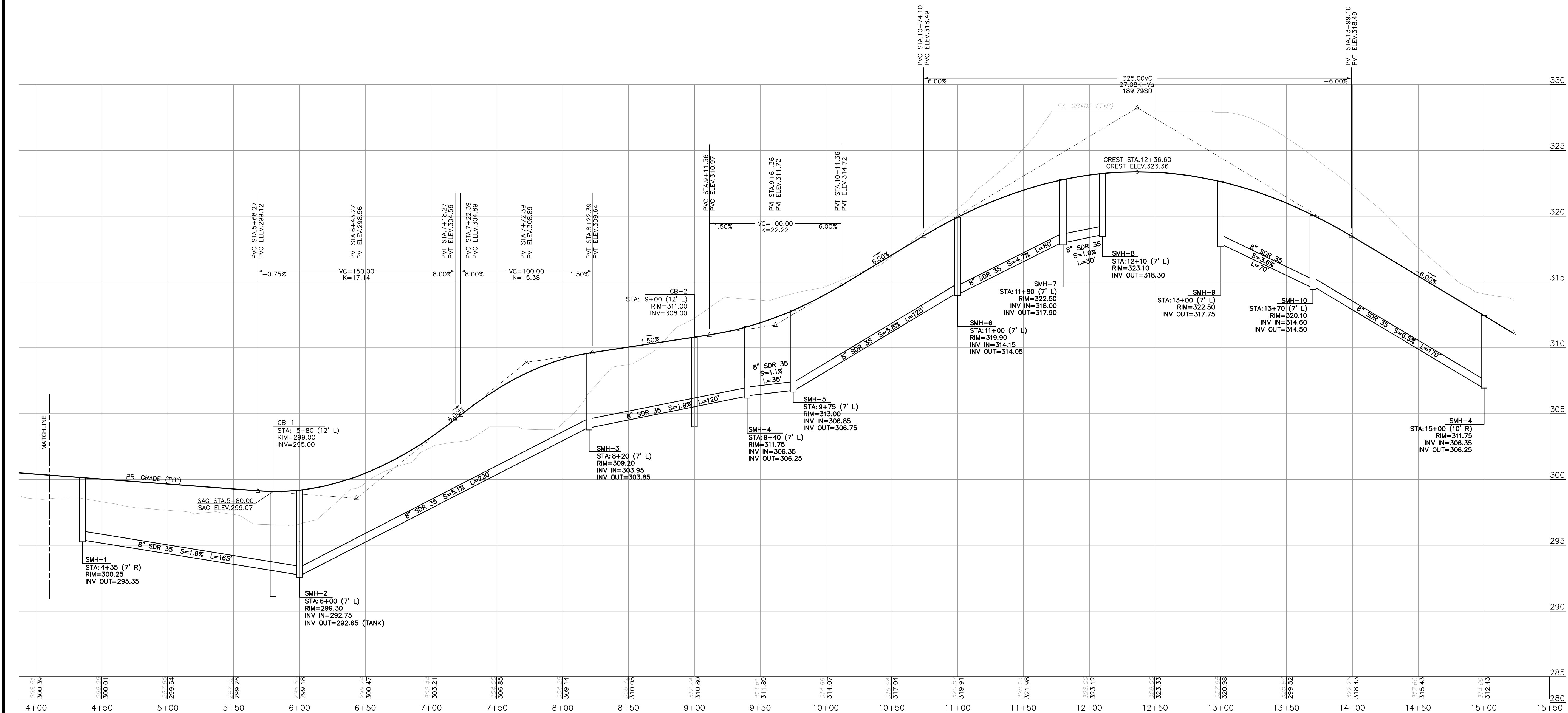
PROJECT NUMBER: 2411-002
DATE OF ISSUE: MARCH 20, 2025
SCALE: 1"=50'
DESIGNED BY: ED CHECKED BY: ED
PREPARED ON BEHALF OF:
EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465
EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

PLAN & PROFILE C-5A

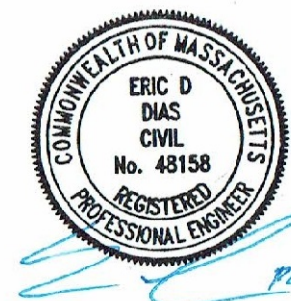
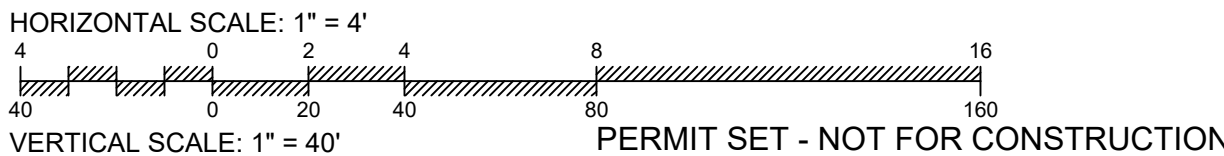
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PLAN VIEW STA: 4+00 TO END



ROADWAY PROFILE STA: 4+00 TO END



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

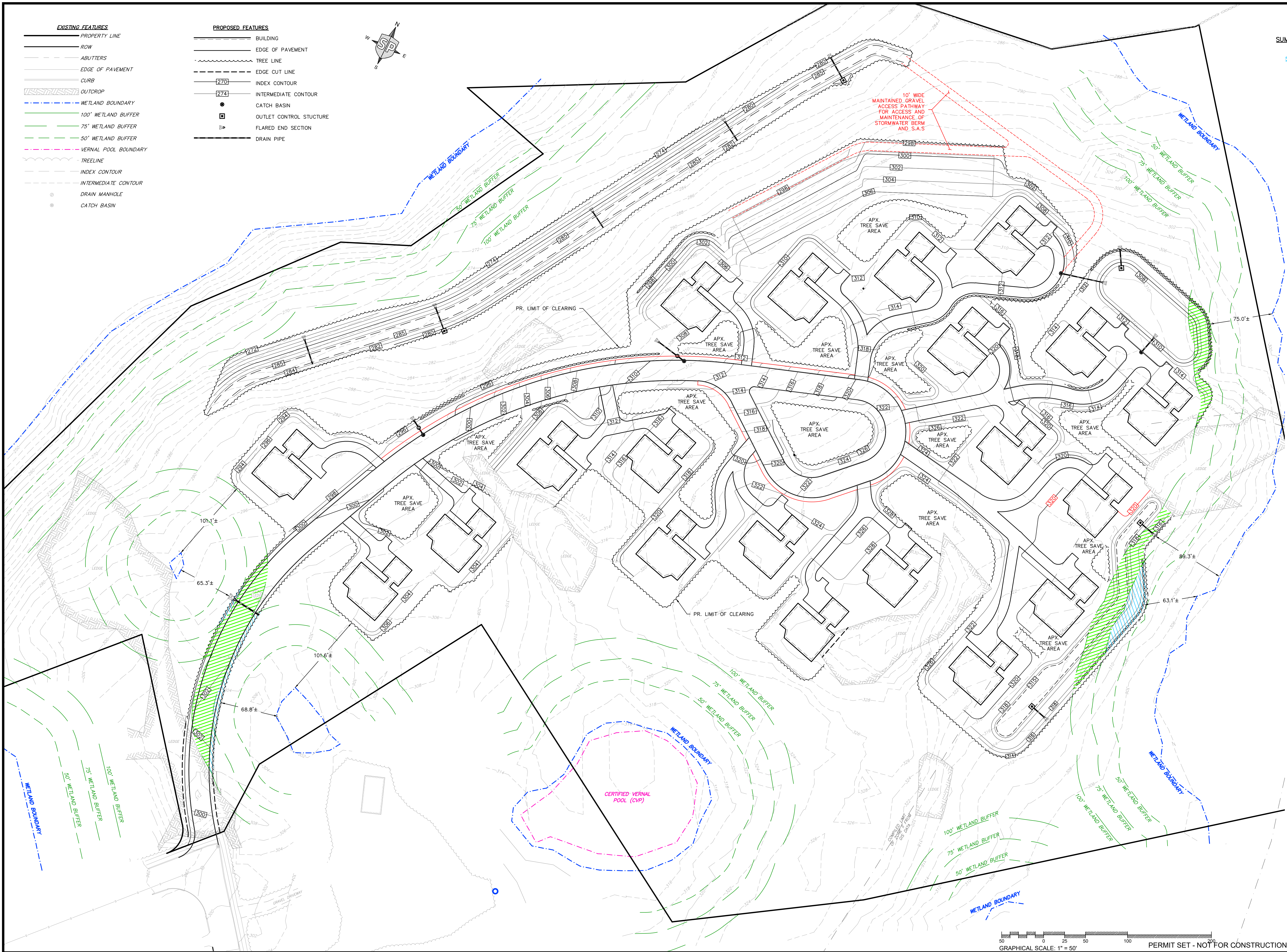
REV	DESCRIPTION	DATE
3	PER TOWN COMMENT	6/6/25
2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25



PROJECT NUMBER: 2411-002
DATE OF ISSUE: MARCH 20, 2025
SCALE: 1"=50'
DESIGNED BY: ED CHECKED BY: ED
PREPARED ON BEHALF OF:
EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465
**EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT**
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

PLAN & PROFILE C-5B

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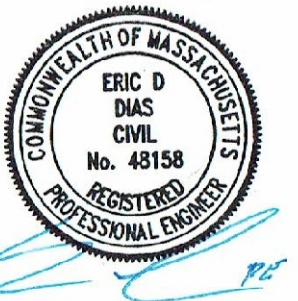
SUMMARY OF RESOURCE AREA DISTURBANCES

50-75 FT NO-STRUCTURE BVW BUFFER (BY-LAW)

	PROPOSED
PAVED ROADWAY	150 SF
ROADWAY SHOULDER	605 SF
STORMWATER	1,655 SF
	2,410 SF TOTAL

75-100 FT JURISDICTIONAL BVW BUFFER

	PROPOSED
PAVED ROADWAY	5,370 SF
ROADWAY SHOULDER	1,520 SF
STORMWATER MANG.	7,085 SF
	13,975 SF TOTAL



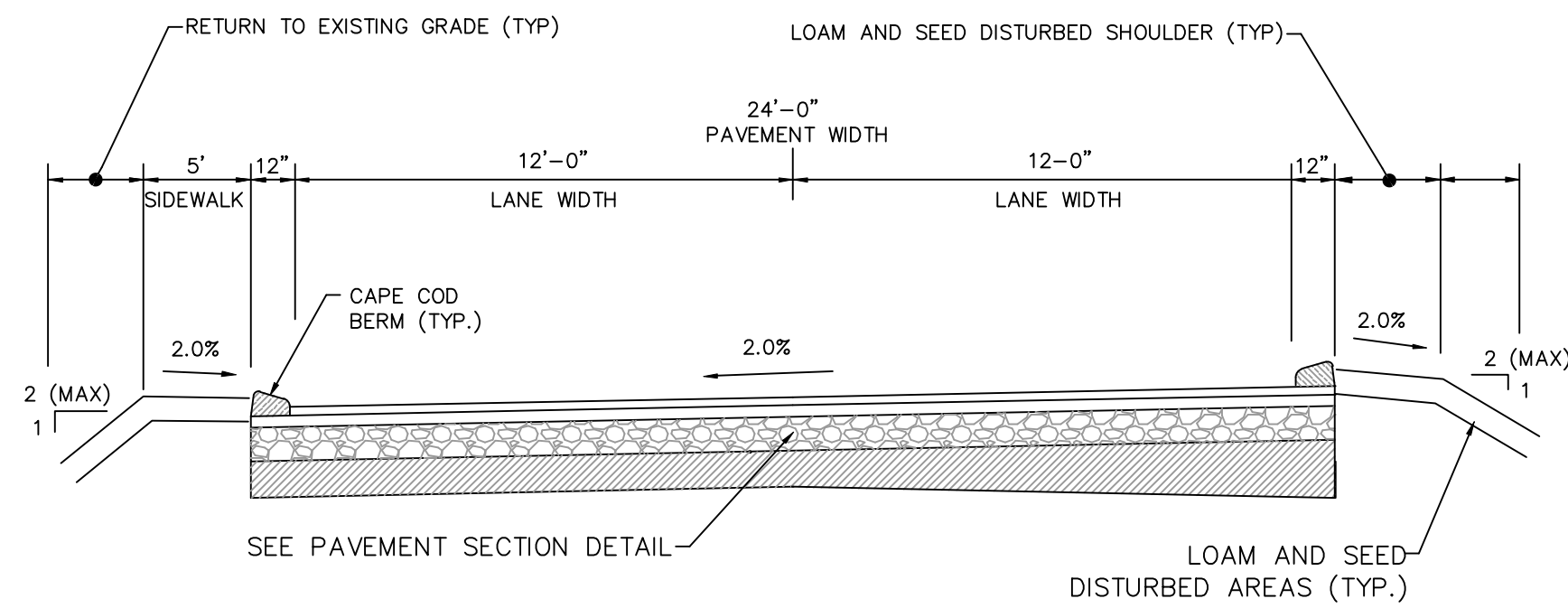
PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

REV	DESCRIPTION	DATE
3	PER TOWN COMMENT	6/6/25
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1	ADDITIONAL INFO	4/2/25

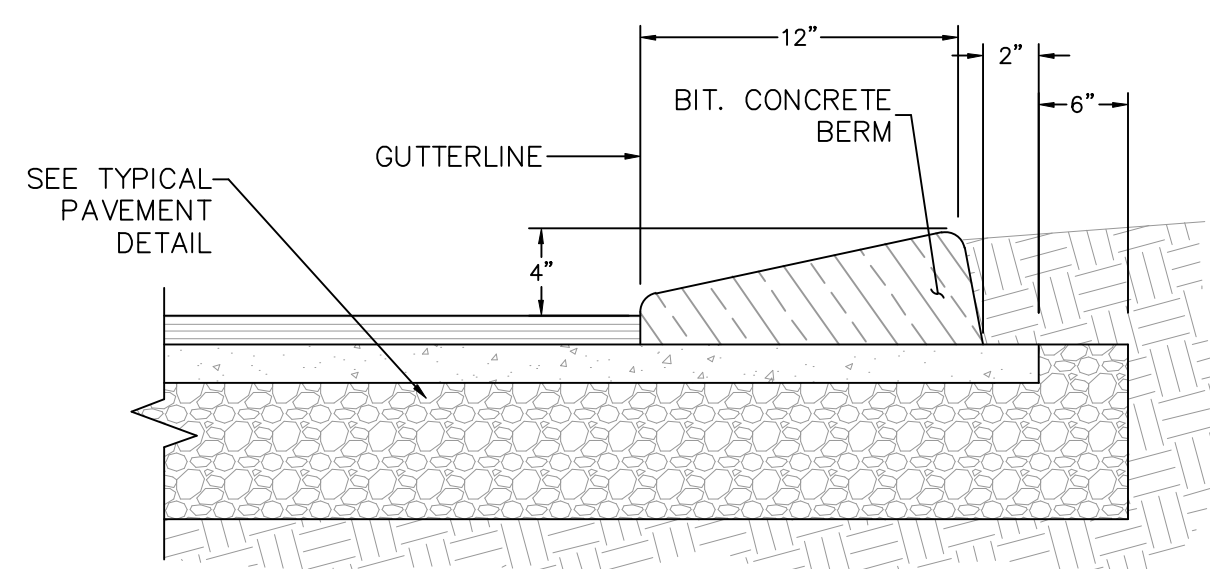


PROJECT NUMBER: 2411-002
DATE OF ISSUE: MARCH 20, 2025
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DESIGNED BY: ED CHECKED BY: ED
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EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465
EAGLE ROCK PASSIVE HOMES FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

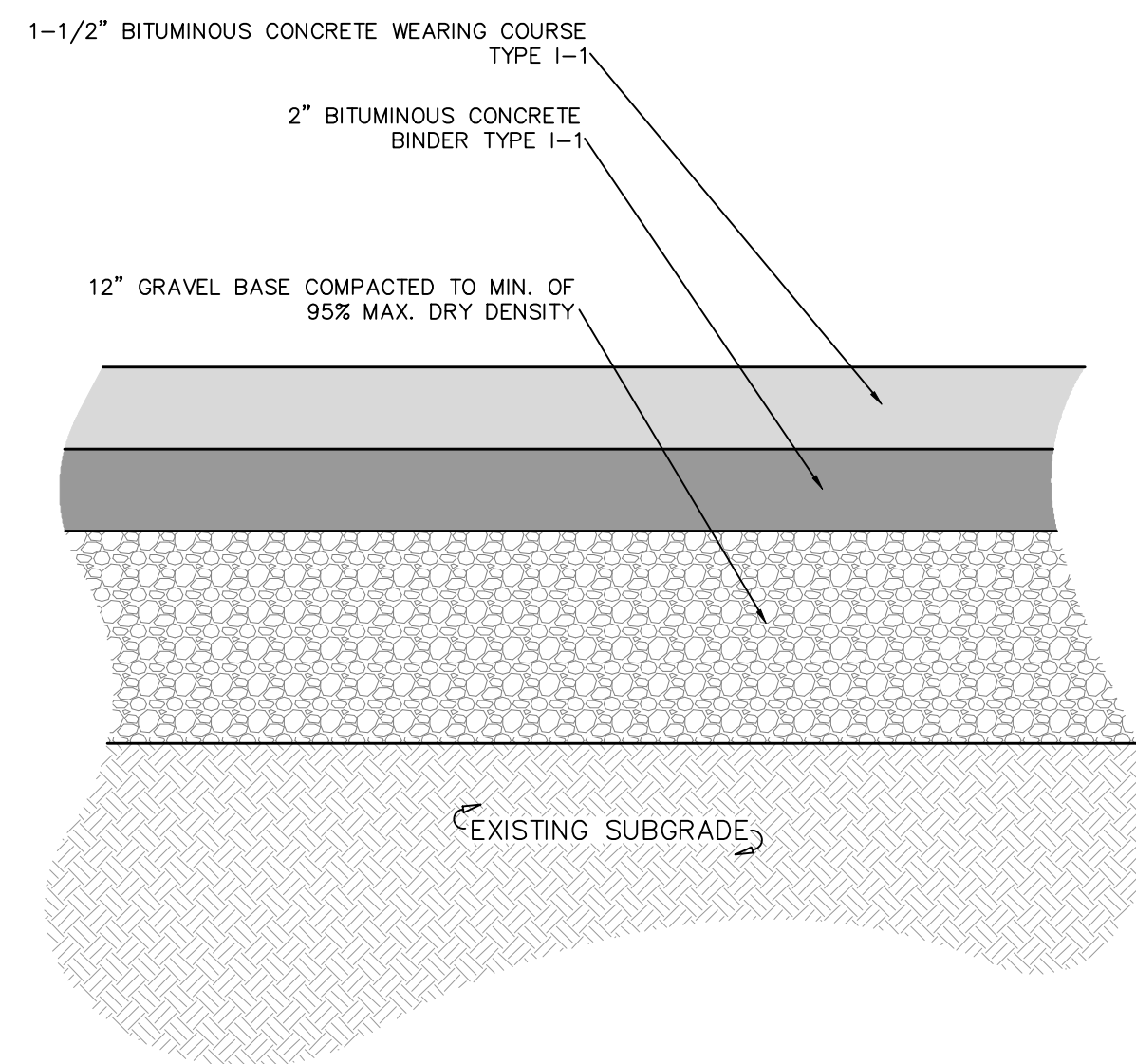
BUFFER ZONE DISTURBANCE PLAN	B-1
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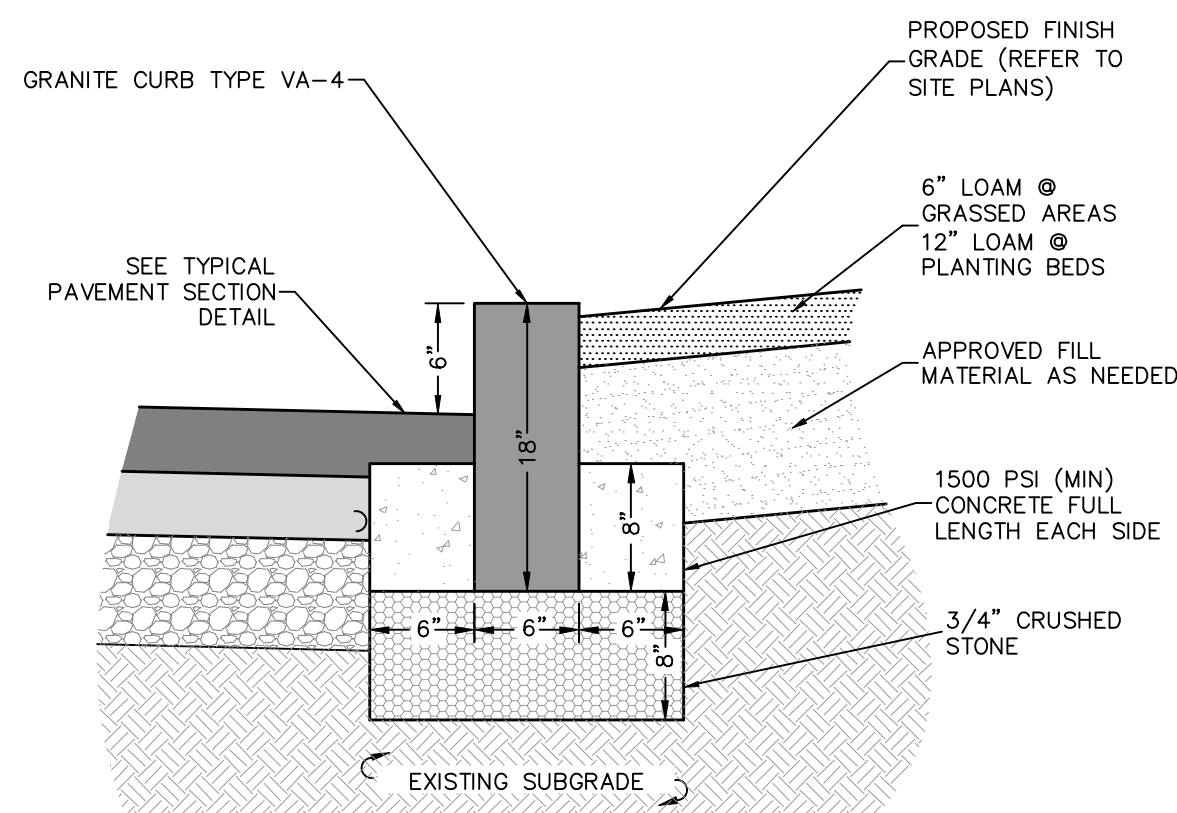
TYPICAL ROADWAY CROSS SECTION
NOT TO SCALE



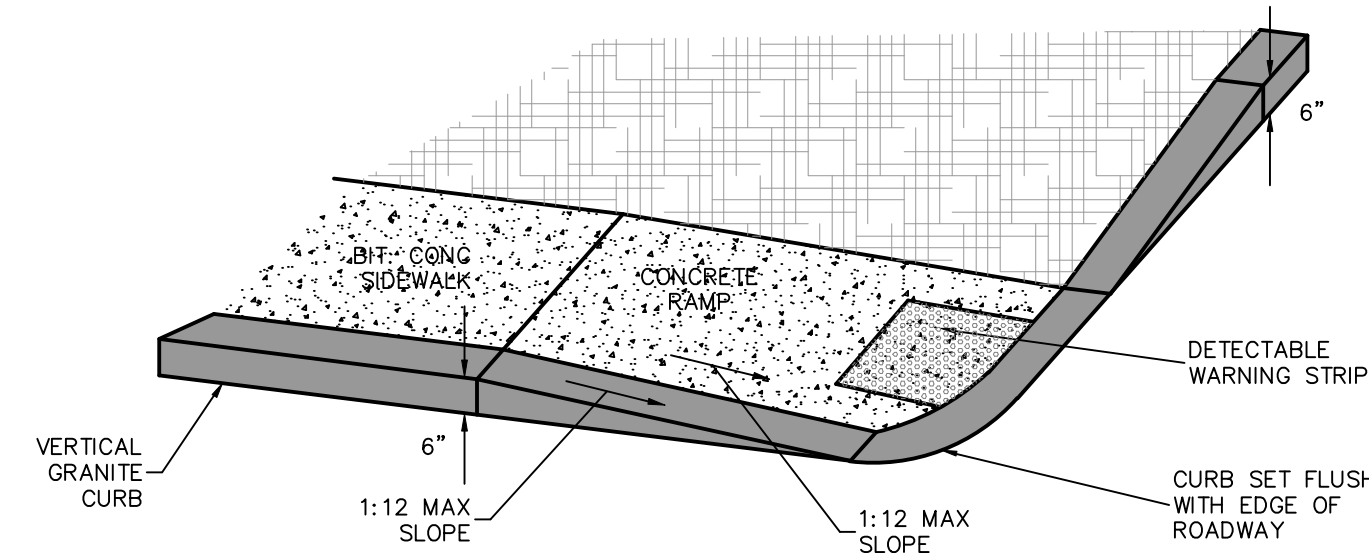
CAPE COD BERM DETAIL
NOT TO SCALE



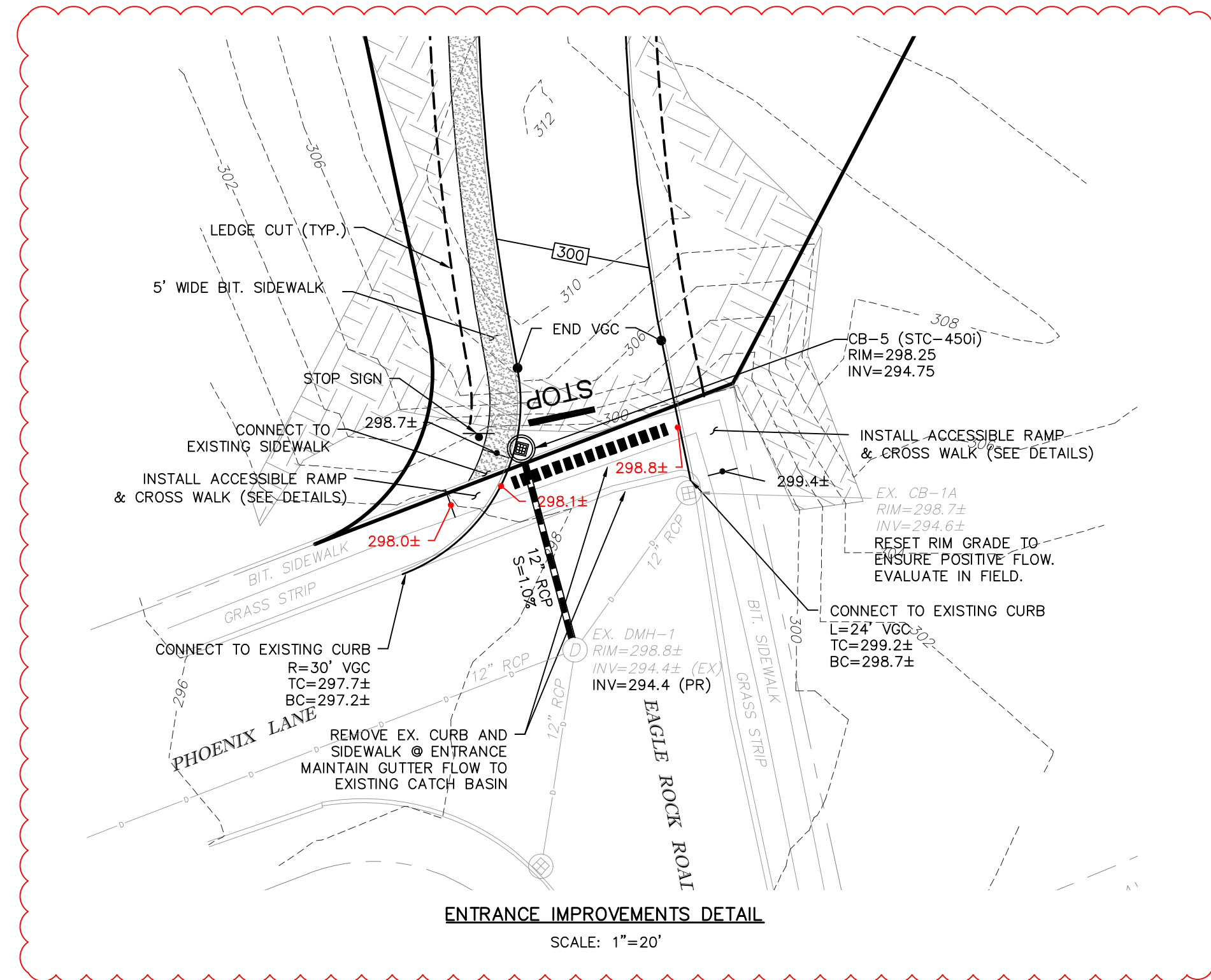
TYPICAL STANDARD PAVEMENT SECTION
NOT TO SCALE



VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



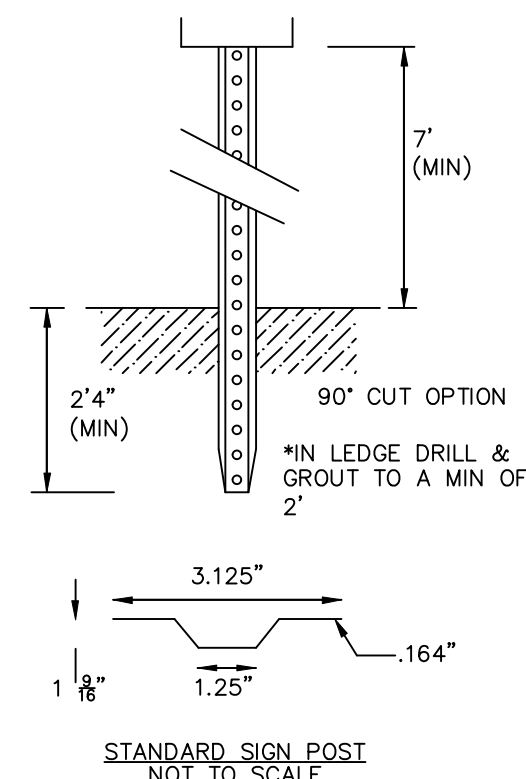
ADA ACCESSIBLE RAMP
NOT TO SCALE



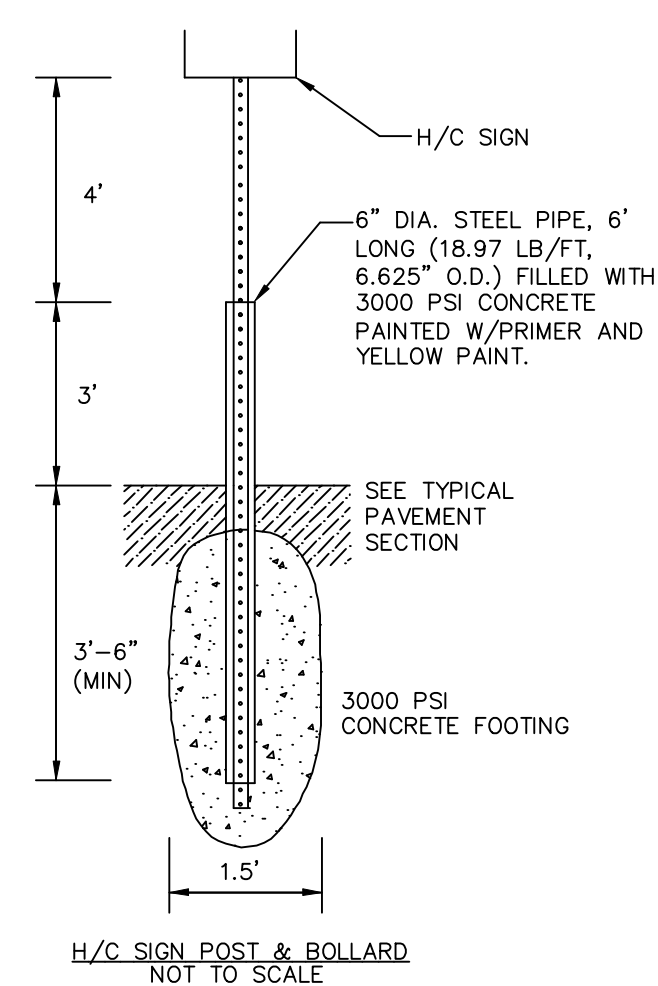
ENTRANCE IMPROVEMENTS DETAIL
SCALE: 1"=20'



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

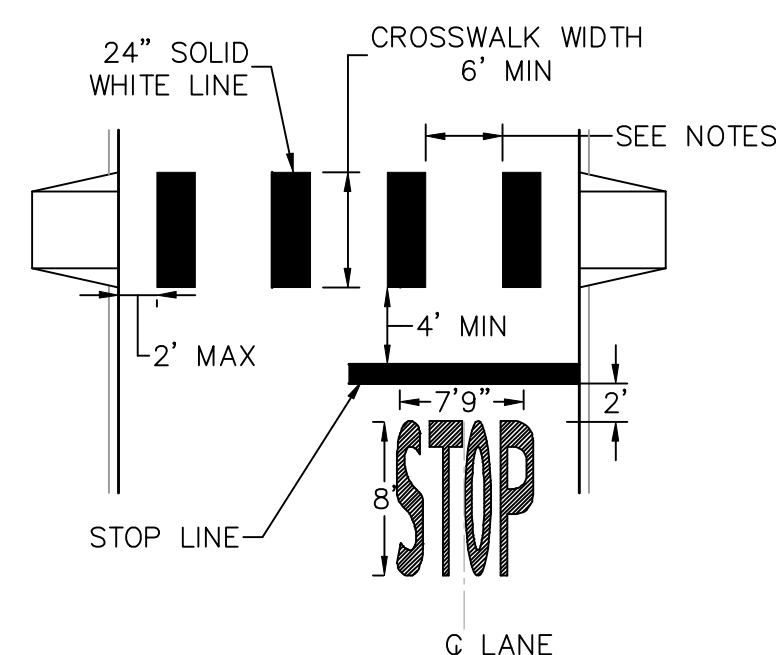


LENGTH: AS REQUIRED
WEIGHT PER LE: 2.50 LBS (MIN)
HOLES: 8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 OR
ASTM A-576
FINISH: SHALL BE PAINTED WITH 2 COATS OF
AN APPROVED MEDIUM GREEN, BAKED ON OR
AIR DRIED, PAINT OF WEATHER RESISTANT
QUALITY.



NOTE:
1. STEEL PIPE BOLLARD & CONCRETE FOOTING
TO BE USED ON POST MOUNTED SIGNS IN PAVED
AREAS. SEE DETAIL #10 HEREON.

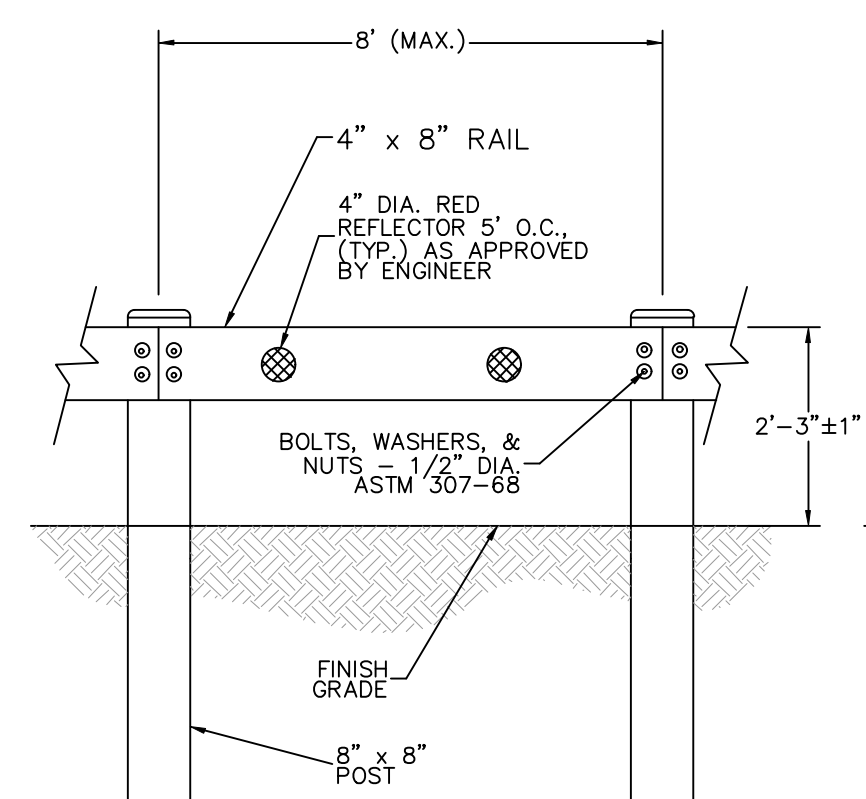
SIGN POST DETAILS
NOT TO SCALE



NOTES:

- CROSSWALKS SHALL ALIGN WITH CURB RAMPS AND BE AT LEAST AS WIDE AS THE LEVEL LANDING AREA OF THE CURB RAMP.
- ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THESE STANDARDS AND THE MUTCD.
- LINE SHALL BE PARALLEL TO TRAFFIC FLOW.
- GAPS BETWEEN LONGITUDINAL LINES SHALL BE BETWEEN 2-5 FEET. GAP SPACING MAY VARY IN ORDER TO ALIGN LINES SUCH THAT THEY ARE OUTSIDE THE WHEEL PATHS OF THRU TRAFFIC. THE FIRST AND LAST LINES SHALL BE 2' MAXIMUM FROM EDGE OF THE SHOULDER OR EDGE OF GUTTER PAN.
- STOP LINE SHALL BE 12 TO 24 INCHES WIDE.
- STOP LINE LENGTH SHALL BE THE WIDTH OF THE TRAVEL LANE. CENTER STOP TEXT ON STOP LINE.

CONTINENTAL STYLE CROSSWALK WITH STOP LINE
NOT TO SCALE

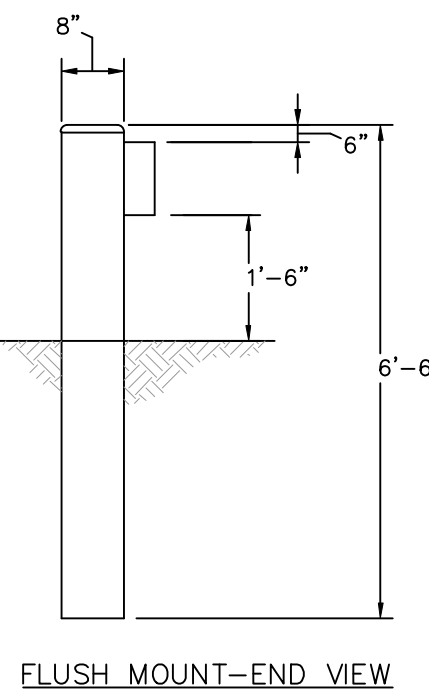


SINGLE RAIL-FACE SIDE

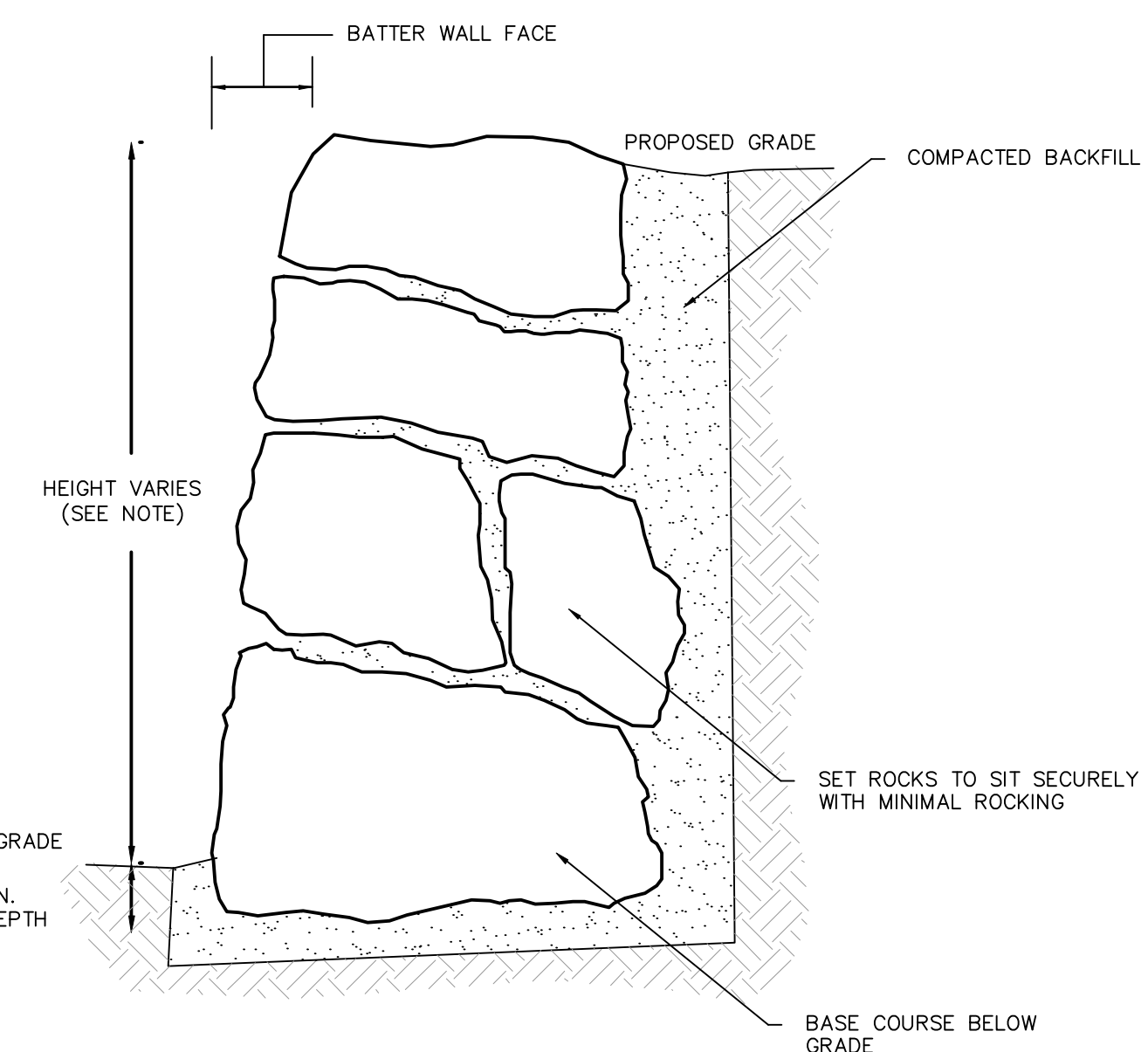
NOTE:

- ALL WOOD TO BE PRESSURE TREATED.
- ALL CARRIAGE BOLTS AND METAL HARDWARE TO BE GALVANIZED.

WOODEN GUARDRAIL DETAIL
NOT TO SCALE



FLUSH MOUNT-END VIEW



NOTES:

- ALL RETAINING WALLS SUBJECT TO BUILDING CODE REQUIREMENTS AND FINAL STRUCTURAL DESIGN BY OTHERS.

TYPICAL BOULDER WALL DETAIL
NOT TO SCALE



PROJECT NUMBER: 2411-002

DATE OF ISSUE: MARCH 20, 2025

SCALE: 1"=50'

DESIGNED BY: ED CHECKED BY: ED

PREPARED ON BEHALF OF:

EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465

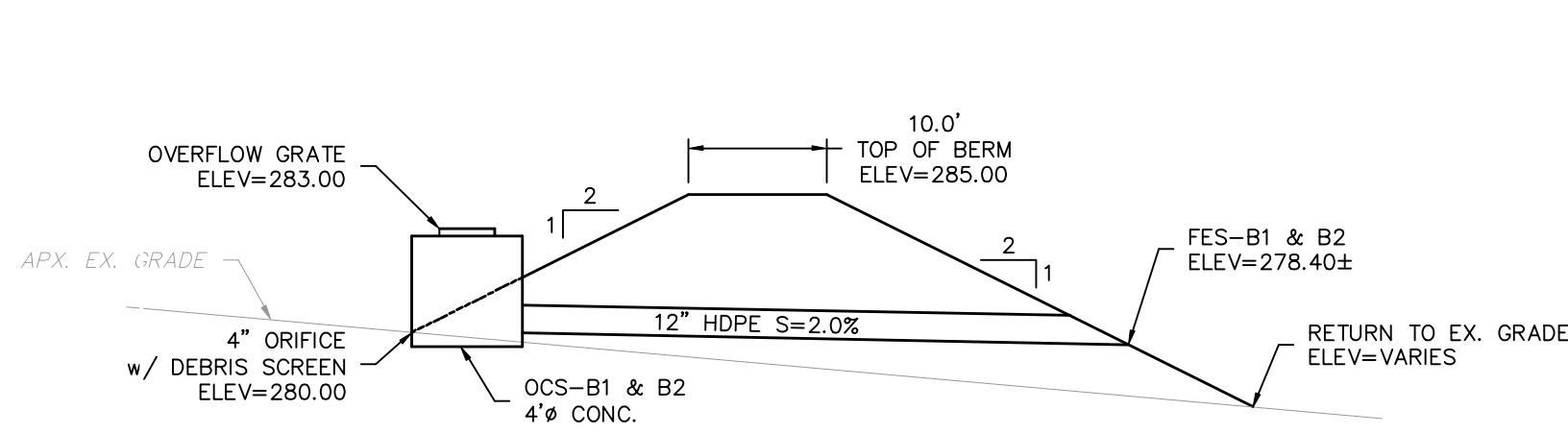
EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

LAYOUT
DETAILS

D-1

PERMIT SET - NOT FOR CONSTRUCTION

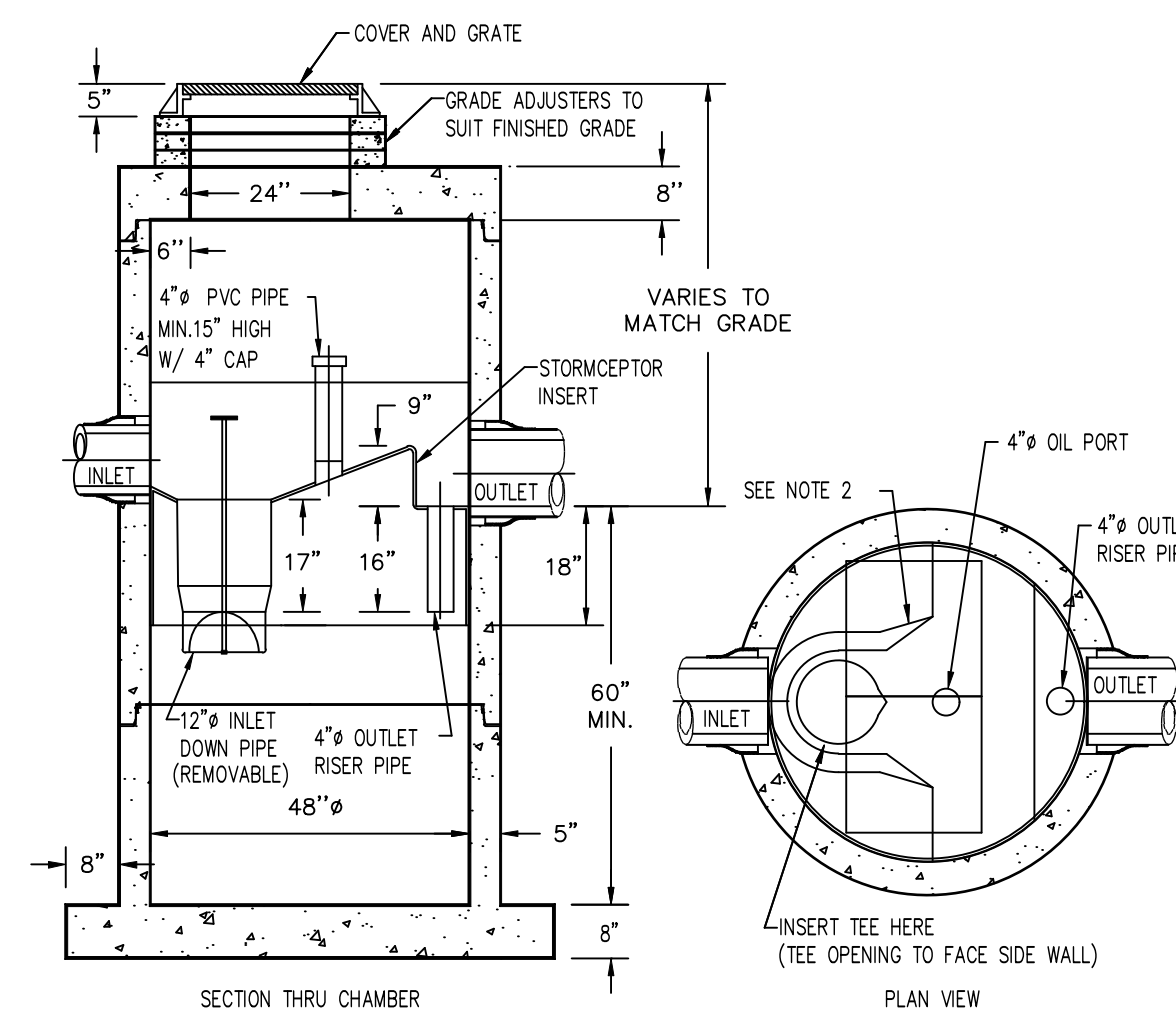
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CROSS SECTION OF STORMWATER CONTAINMENT BERM THROUGH OCS-B1 & B2
NOT TO SCALE

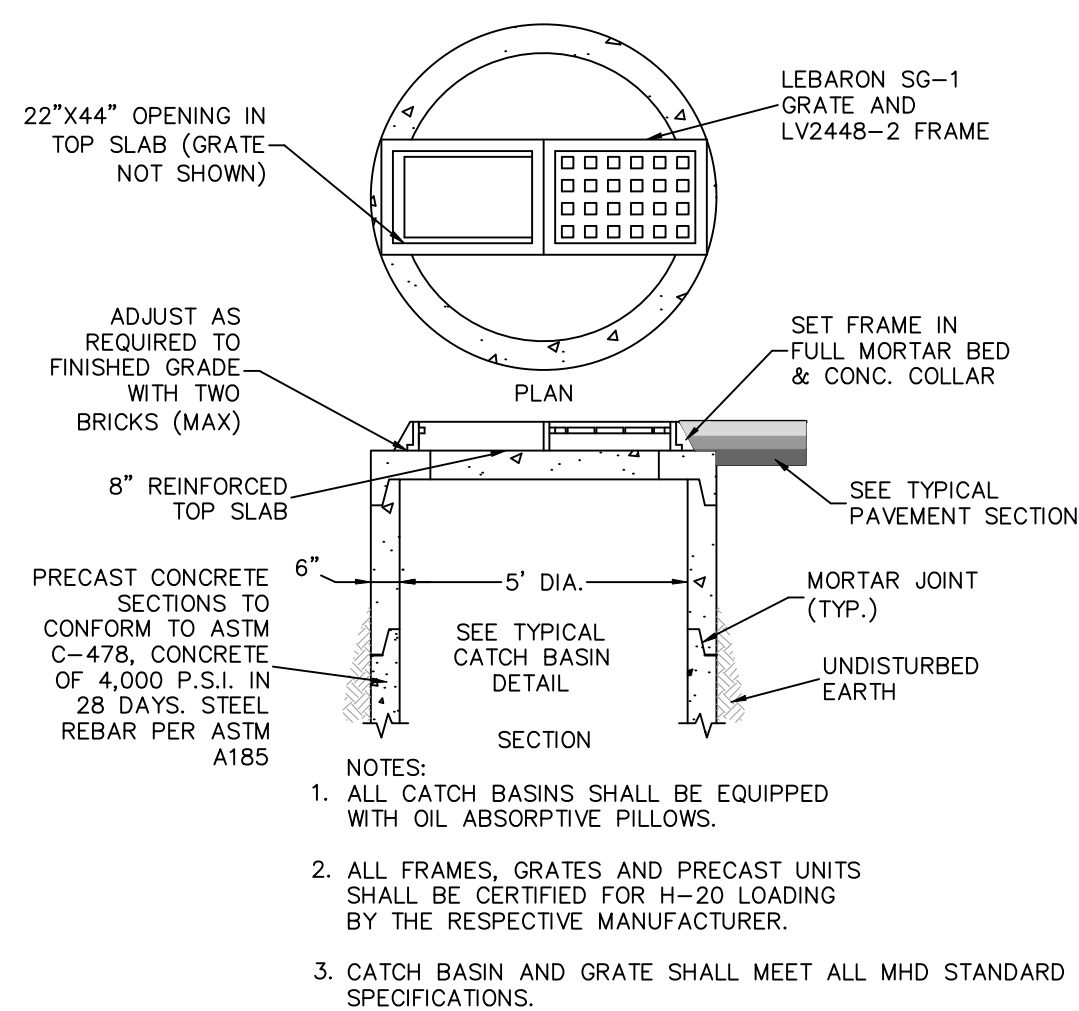
STORMWATER BASIN / CONAINMENT BERM NOTES

- SIDE SLOPES OF THE BERM/BASINS SHALL BE SLOPED AT 2H:1V. JUST MESH OR OTHER APPROPRIATE GEOTEXTILE SHALL BE EMPLOYED AS NECESSARY FOR STABILIZATION.
- SIDES OF THE BERM/BASINS SHALL BE STABILIZED WITH GEOTEXTILE MATTING AS APPROPRIATE UNTIL VEGETATIVE STABILIZATION IS ACHIEVED.
- THE PONDING SIDE OF THE BERM/BASINS SHALL BE SEEDED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES BY NEW ENGLAND WETLAND PLANTS.
- ALL OTHER AREA OF THE BERM/BASINS AND ALL ASSOCAITED DISTURBED AREAS SHALL BE SEEDED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES BY NEW ENGLAND WETLAND PLANTS.
- ALL SEED SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS.
- THE BERM/BASIN EMBANKMENTS SHALL MEET THE SPECIFICATIONS OF MASS DOT M1.01.0 ORDINARY BORROW. WHENEVER POSSIBLE, UTILIZE ON-SITE MATERIAL. SCREEN AS NECESSARY.
- WHERE RETAINING WALLS ARE REQUIRED ADJACENT TO A BASIN EMBANKMENT A 30 MIL IMPERVIOUS MEMBRANE SHALL BE INSTALLED IN THE CENTER OF THE PROPOSED EMBANKMENT ADJACENT AND GENERALLY PARALLEL TO THE PROPOSED RETAINING WALL. THE BARRIER SHALL EXTEND NOT LESS THAN 10 FEET BEYOND EACH END OF THE WALL. THE TOP AND BOTTOM ELEVATION OF THE WALL RESPECTIVELY.

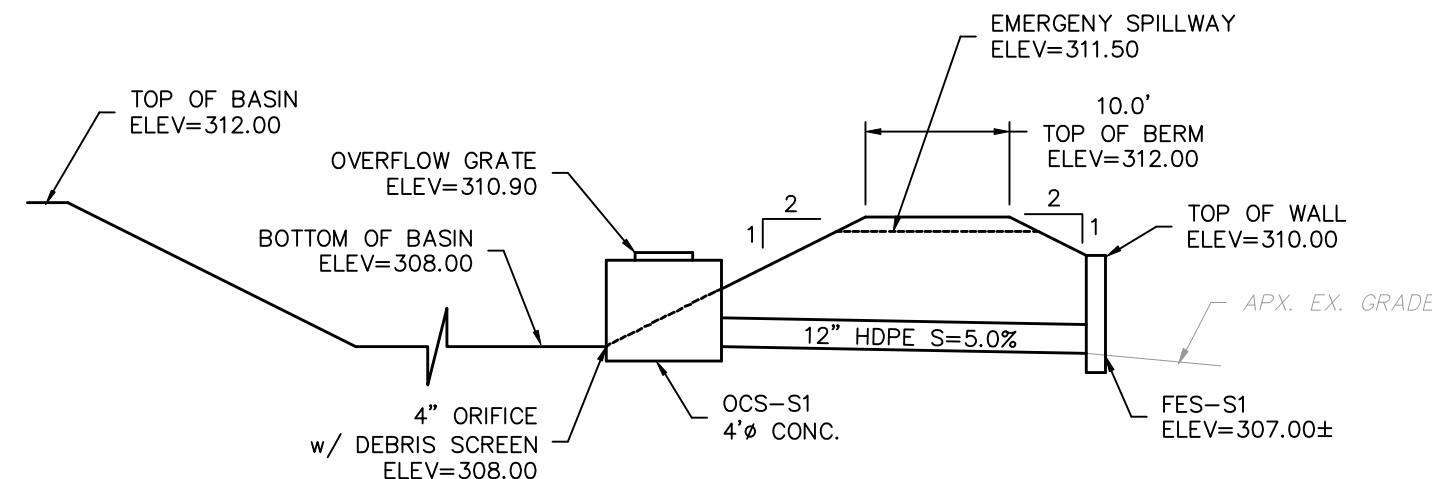


- NOTES:
- THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 - GRATE TO BE PLACED OVER THE INLET DOWN PIPE/ON THE LOW SIDE OF THE WEIR.
 - GRATES SHALL BE MODEL V-4855-1 BY EJ CO. OR APPROVED EQUAL. USE SINGLE GRATE FOR WQUS.

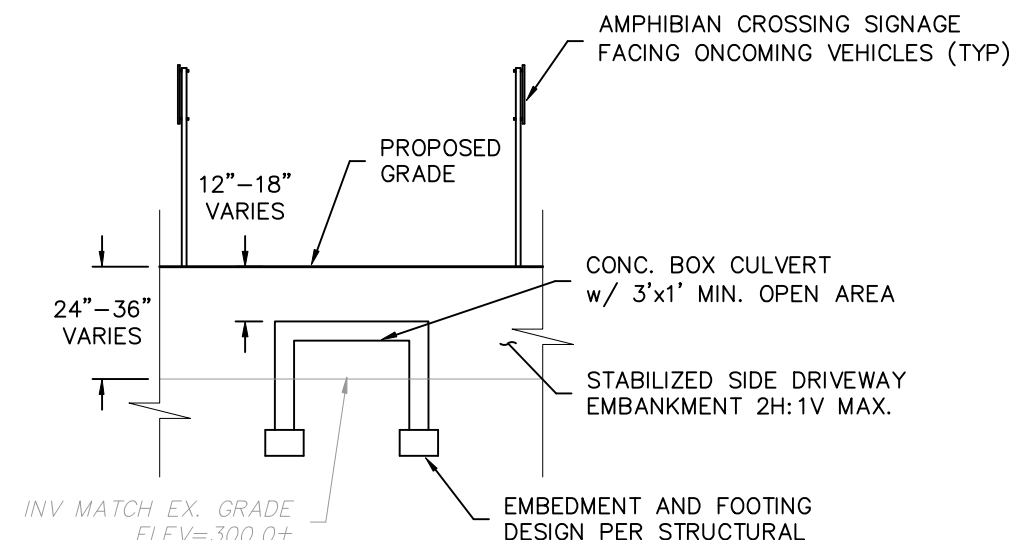
STORMCEPTOR STC-450L WATER QUALITY UNIT
NOT TO SCALE



DOUBLE GRATE CATCH BASIN (CB-1 & 2)
NOT TO SCALE



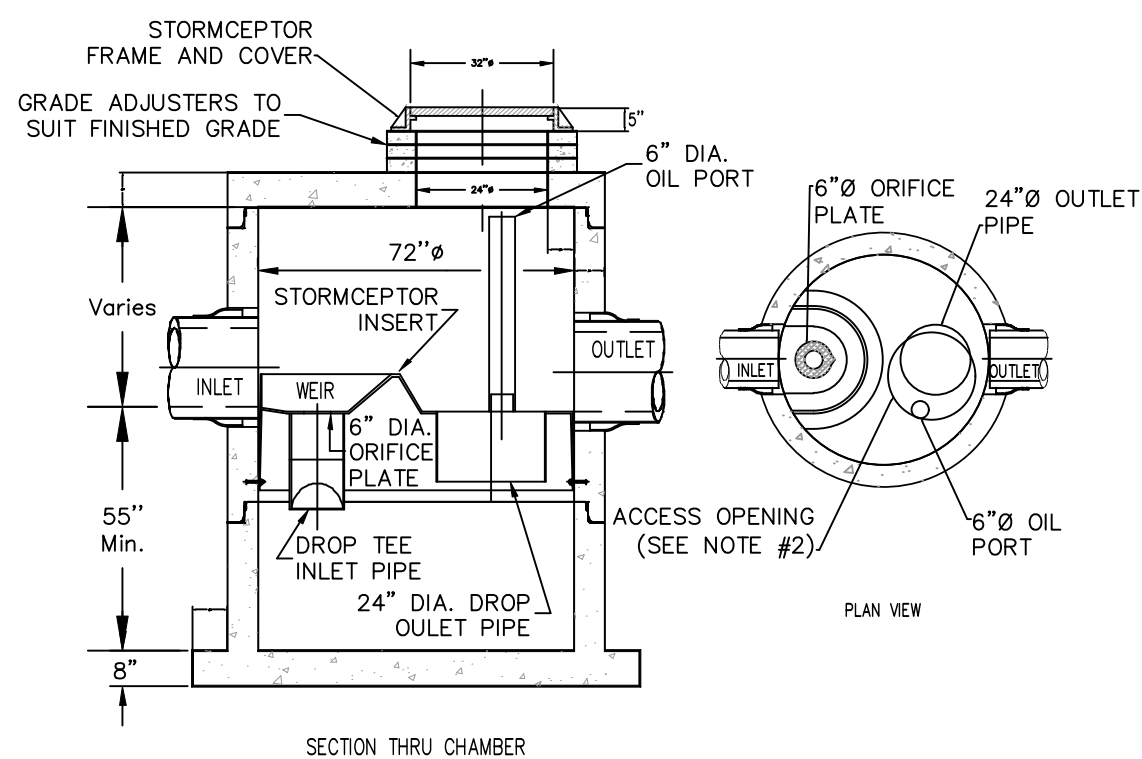
CROSS SECTION OF STORMWATER BASIN #1 THROUGH OCS-S1
NOT TO SCALE



NOTES:

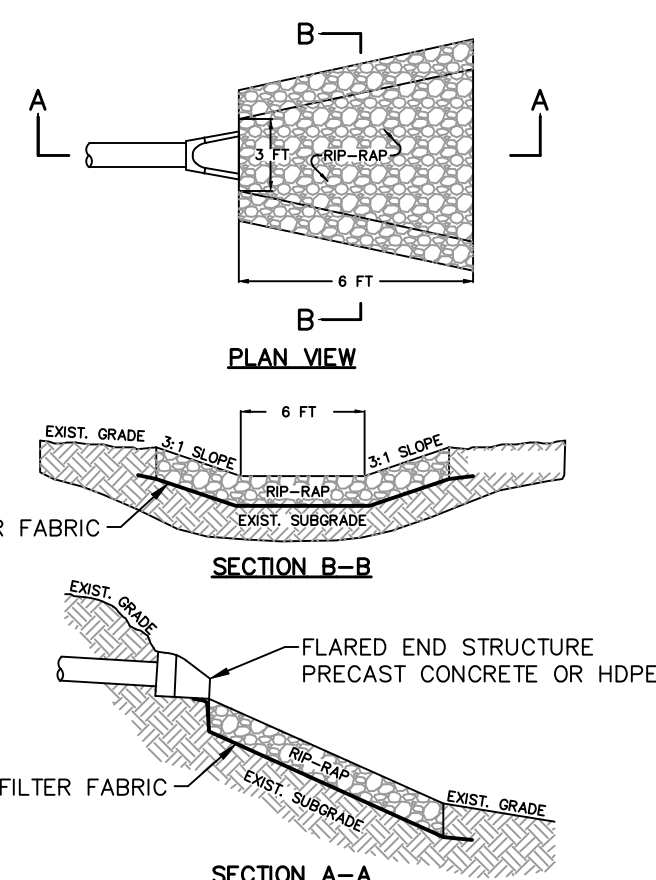
- GRADE THROUGH CULVERT SHALL MATCH EXISTING GRADE AND MAINTAIN NATURAL FLOW OF STORMWATER PASSAGE.
- CULVERT SHALL BE HAVE A NATURAL SUBSTRATE @ INVERT TO ENCOURAGE AMPHIBIAN AND REPTILE PASSAGE.
- CULVERT INSTALLATION SHALL OCCUR DURING DRY SEASON AND NO- OR LOW-FLOW CONDITIONS.
- FINAL STRUCTURAL DESIGN OF CULVERT SHALL BE PROVIDED BY OTHERS. CULVERT SHALL BE CAPABLE OF H-20 LOADING REQUIREMENTS.
- TOTAL CULVERT LENGTH = 35'.

CROSS SECTION OF CULVERT-A1 @ ENTRANCE (WEST END)
NOT TO SCALE

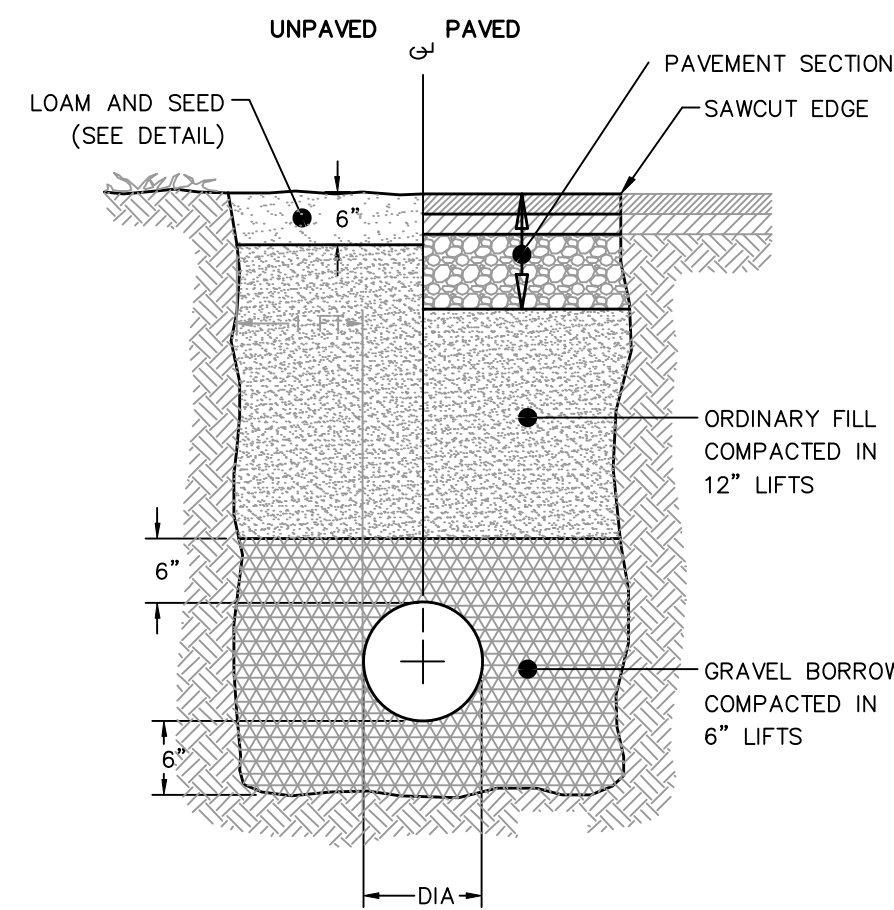


- NOTES:
- THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 - THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL PORT.

STORMCEPTOR STC-900 WATER QUALITY UNIT
NOT TO SCALE

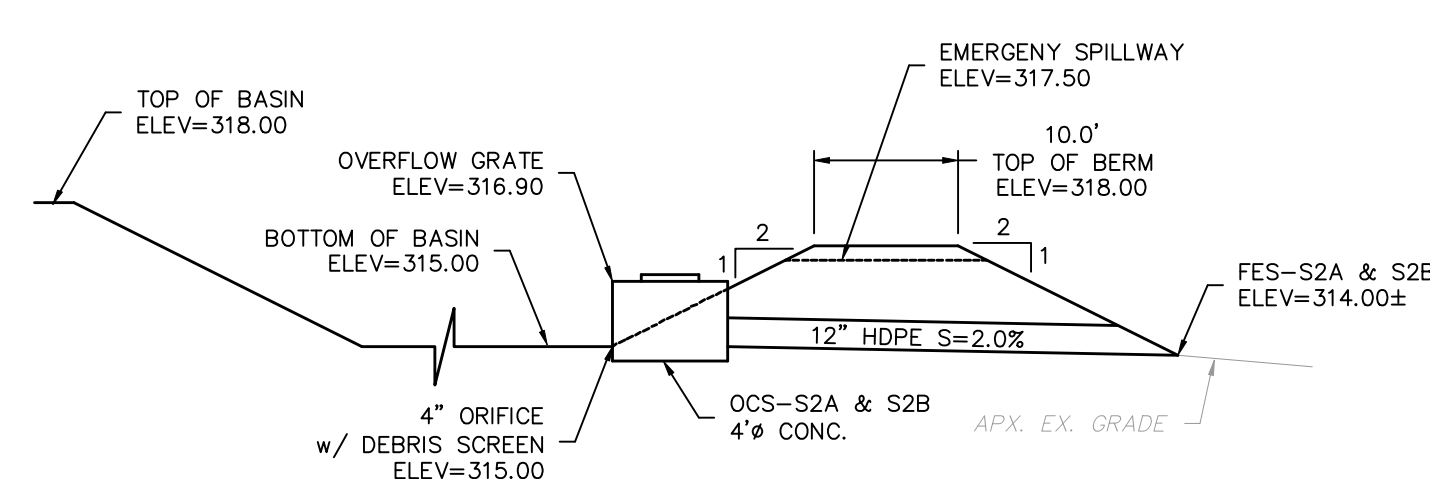


RIP RAP OUTLET PROTECTION
NOT TO SCALE

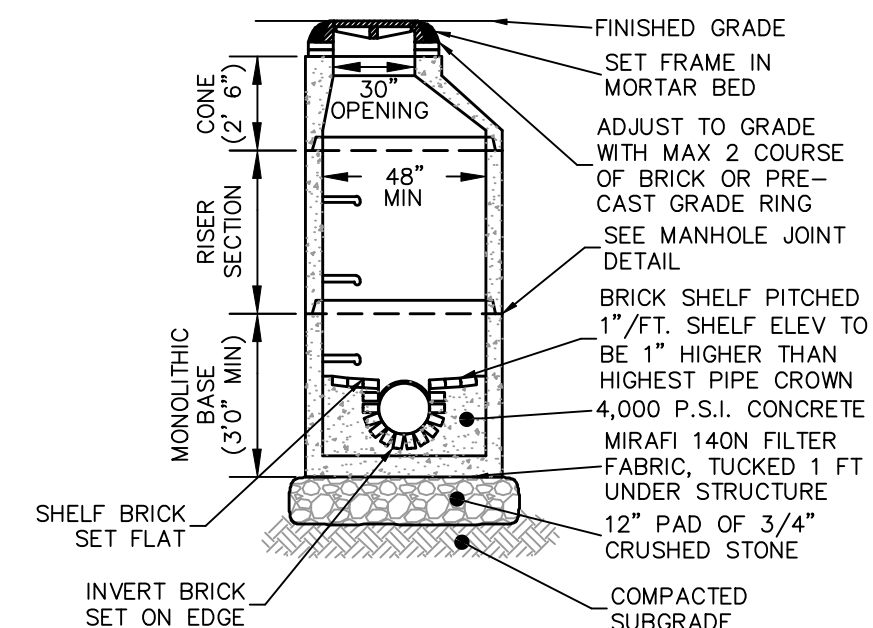


- NOTES:
- GRAVEL BORROW SHALL BE 3-INCH MINUS, FREELY DRAINING, WELL-GRADED GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
 - ORDINARY FILL SHALL 6-INCH MINUS GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
 - ALL BACKFILL MATERIALS SHALL BE FREE OF STICKS, ROOTS, CLAY, AND SILT.

DRAIN/SEPTIC TRENCH
NOT TO SCALE



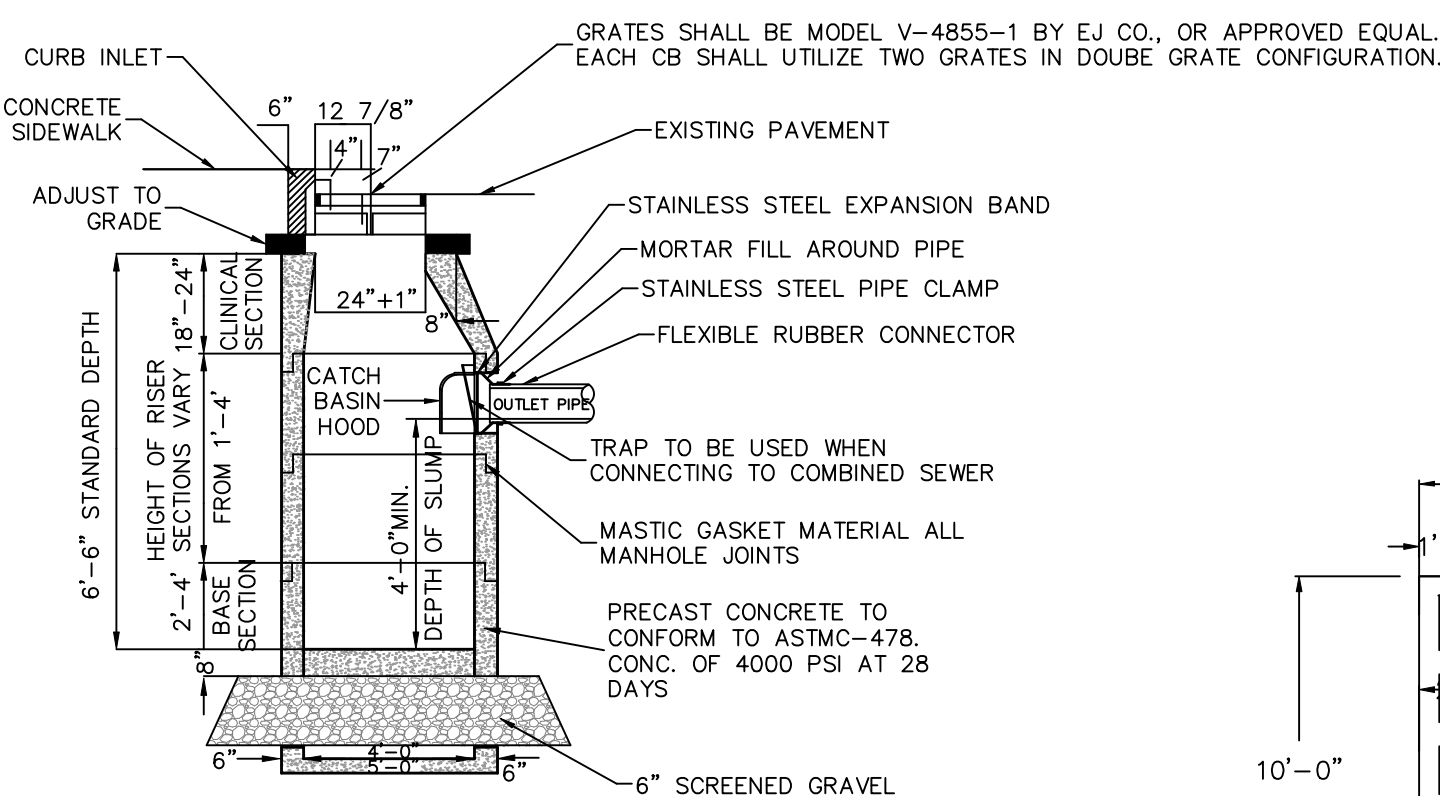
CROSS SECTION OF STORMWATER BASIN #2 THROUGH OCS-S2A & S2B
NOT TO SCALE



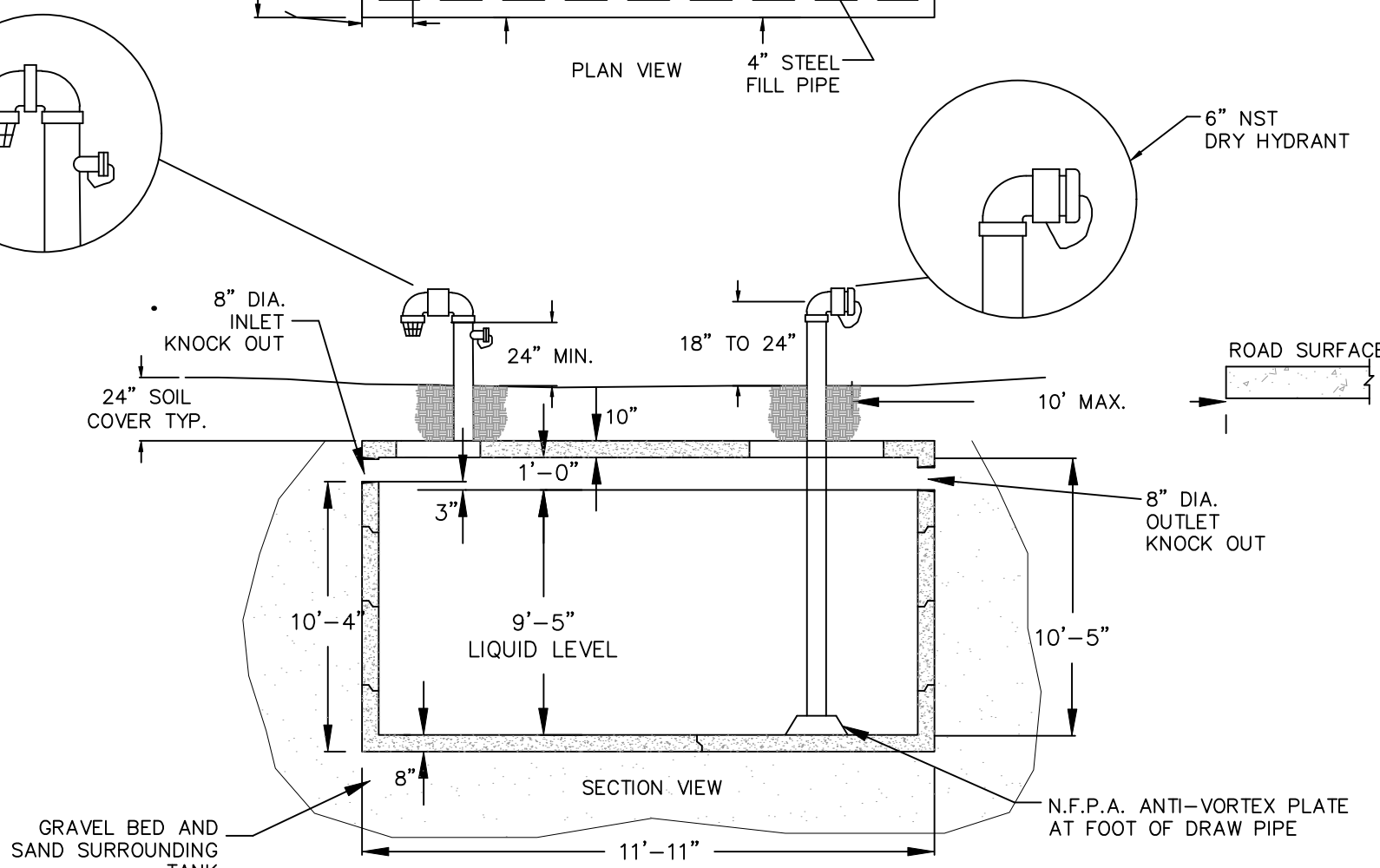
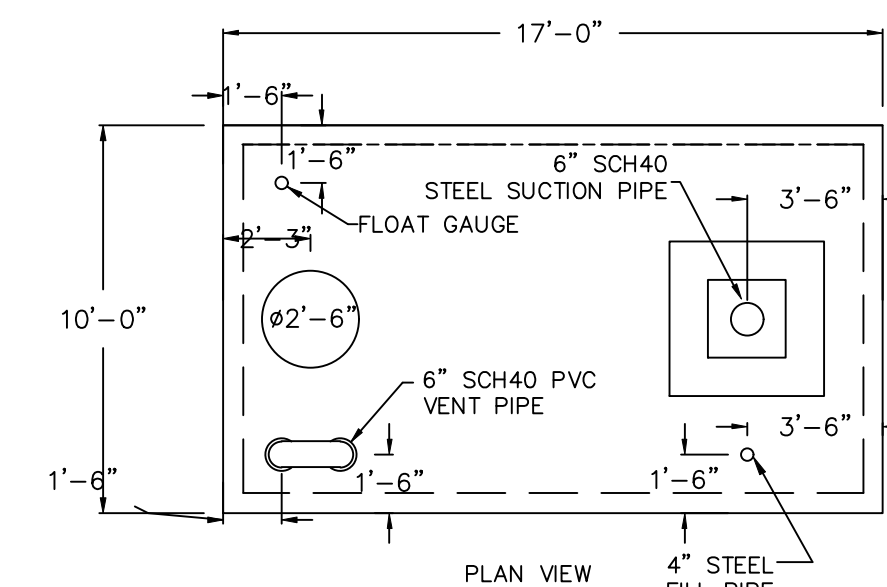
NOTES:

- MANHOLES AND CASTINGS SHALL BE DESIGNED TO WITHSTAND H-20 LOADING CONDITIONS.
- PRECAST H-20 SLAB TOP MAY BE USED IN PLACE OF CONE SECTION IF WARRANTED BY FIELD CONDITIONS.
- FRAME AND COVER SHALL BE LEBARON LK-110 OR APPROVED EQUAL AND SHALL HAVE THE WORD \"SEWER\" CAST IN 3\" HIGH LETTERS.
- MINIMUM DISTANCE FROM OUTSIDE WALL OF PIPE TO NEAREST MANHOLE JOINT IS 6\".
- MINIMUM DISTANCE FROM OUTSIDE WALL OF PIPE TO TOP OF MANHOLE BASE SLAB IS 6\".

PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

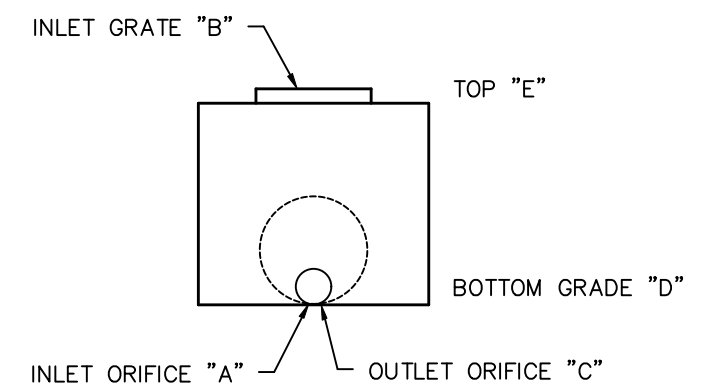


PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



- NOTES:
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS
 - ALL REINFORCEMENT PER ASTM A5-615-68, GRADE 60.
 - DESIGNED H-20 LOADING
 - DIMENSIONS VARY PER MANUFACTURER.

10,000 GALLON CISTERN
NOT TO SCALE

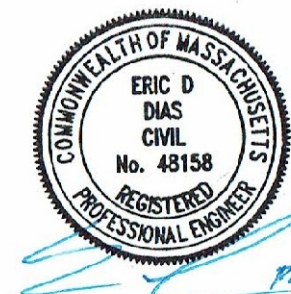


OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE

STRUCTURE	DIA.	ELEV.	DIA.	ELEV.	C.	D.	E.
OCS-B1	4 IN	280.00	12 IN	280.00	283.00	280.00	282.67
OCS-B2	4 IN	280.00	12 IN	280.00	283.00	280.00	282.67
OCS-S1	4 IN	308.00	12 IN	308.00	310.90	308.00	310.57
OCS-S2A	4 IN	315.00	12 IN	315.00	316.90	315.00	316.57
OCS-S2B	4 IN	315.00	12 IN	315.00	316.90	315.00	316.57

NOTES:

- INLET ORIFICE A SHALL BE EQUIPPED WITH A DEBRIS SCREEN.
- ALL STRUCTURES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 4 FEET.
- SET STRUCTURES ON LEVEL BED OF 12\" COMPACTED CRUSHED GRAVEL.
- GRATE INLETS C SHALL BE LEBARON LF244 4-FLANGE CATCH BASIN GRATE OR APPROVED EQUAL.



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

REV	DESCRIPTION	DATE
3	PER TOWN COMMENT	6/6/25
2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25



PROJECT NUMBER: 2411-002

DATE OF ISSUE: MARCH 20, 2025

SCALE: 1\"=50'

DESIGNED BY: ED CHECKED BY: ED

PREPARED ON BEHALF OF:

EAGLE ROCK CORP.
30 ELLIS ROAD
NEWTON, MA 02465

**EAGLE ROCK
PASSIVE HOMES
FLEXIBLE DEVELOPMENT**
0 EAGLE ROCK ROAD
STOUGHTON, MASSACHUSETTS 02072
MAP 8 LOTS 16 & 17

DRAINAGE &
UTILITY DETAILS

D-2

PERMIT SET - NOT FOR CONSTRUCTION

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GENERAL EROSION & SEDIMENT CONTROL NOTES

1. THE PROJECT IS SUBJECT TO A CONSTRUCTION GENERAL PERMIT (CGP) UNDER THE EPA NPDES PROGRAM. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CGP AND THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
2. EROSION CONTROLS DEPICTED ON THIS PLAN ARE INTENDED TO PROVIDE A REASONABLE GUIDE TO THE MINIMUM EROSION AND SEDIMENT CONTROL REQUIREMENTS FOR THE PROPOSED SITE WORK CONSTRUCTION. THE CONTROLS DEPICTED ARE MINIMUM REQUIREMENTS TO BE EMPLOYED IN A GENERAL SENSE. ADDITIONAL CONTROLS SHALL BE IMPLEMENTED AS DEEMED NECESSARY BY THE APPLICANT, STORMWATER CONSULTANT, AND/OR TOWN OF STOUGHTON REPRESENTATIVE.
3. LOCATIONS OF CONTROLS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FIELD CONDITIONS AND SITE WORK REQUIREMENTS.
4. TREE SAVE AREAS ARE A VALUABLE COMPONENT OF THE PROPOSED PROJECT AND EXTREME CARE SHOULD BE TAKEN TO PROTECT TREES THAT ARE INTENDED TO REMAIN WITHIN THE DEVELOPMENT AREA.
5. REMOVAL OF LEDGE AT THE SITE ENTRANCE FROM EAGLE ROCK ROAD IS NECESSARY TO OBTAIN ACCESS TO THE SITE FOR CONSTRUCTION VEHICLES. ACCESS AND WORK AREA FOR THIS EFFORT WILL BE OFF OF EAGLE ROCK ROAD. THIS EFFORT SHALL BE COORDINATED WITH THE TOWN OF STOUGHTON AS APPROPRIATE.
6. STAGING/STOCKPILING OF MATERIALS IS ALLOWED WITHIN THE PROJECT DEVELOPMENT AREA ONLY. STOCKPILES SHALL BE ESTABLISHED AND RELOCATED AS NECESSARY TO PERFORM THE WORK IN KEEPING WITH THE REQUIREMENTS OF THE PROJECT DOCUMENTS.
7. PROPOSED STORMWATER BASINS SHALL INITIALLY BE ROUGH GRADED TO WITHIN APPROXIMATELY 6 INCHES OF THEIR INTENDED BOTTOM ELEVATION AND UTILIZED AS SEDIMENT BASINS DURING CONSTRUCTION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED UPON FINAL GRADING.
8. CLEARING AND TRENCHING SHALL BE KEPT TO THE MINIMUM NECESSARY TO ACCOMPLISH THE PROPOSED WORK.
9. ALL EXCAVATED MATERIAL SHALL BE STOCKPILED AS FAR AWAY FROM THE WETLAND RESOURCE BOUNDARY AS POSSIBLE.
10. ALL EXCAVATED SPOILS SHALL BE REMOVED FROM THE SITE AS APPROPRIATE.
11. NO EXCAVATION SHOULD BE LEFT OPEN LONGER THAN THE MINIMUM REQUIRED TO PERFORM THE REQUIRED WORK. BACKFILL SHOULD OCCUR IN AS EXPEDITIOUS MANNER AS POSSIBLE.
12. ADDITIONAL EROSION CONTROLS AND SEDIMENT CONTROL BARRIER SHALL BE UTILIZED DURING THE INSTALLATION OF UTILITIES AS DETERMINED NECESSARY BY THE ENGINEER OF RECORD.
13. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO ANTICIPATE AND RESPOND TO INCLEMENT WEATHER CONDITIONS DURING THE PERFORMANCE OF WORK.

GENERAL CONSTRUCTION SEQUENCING

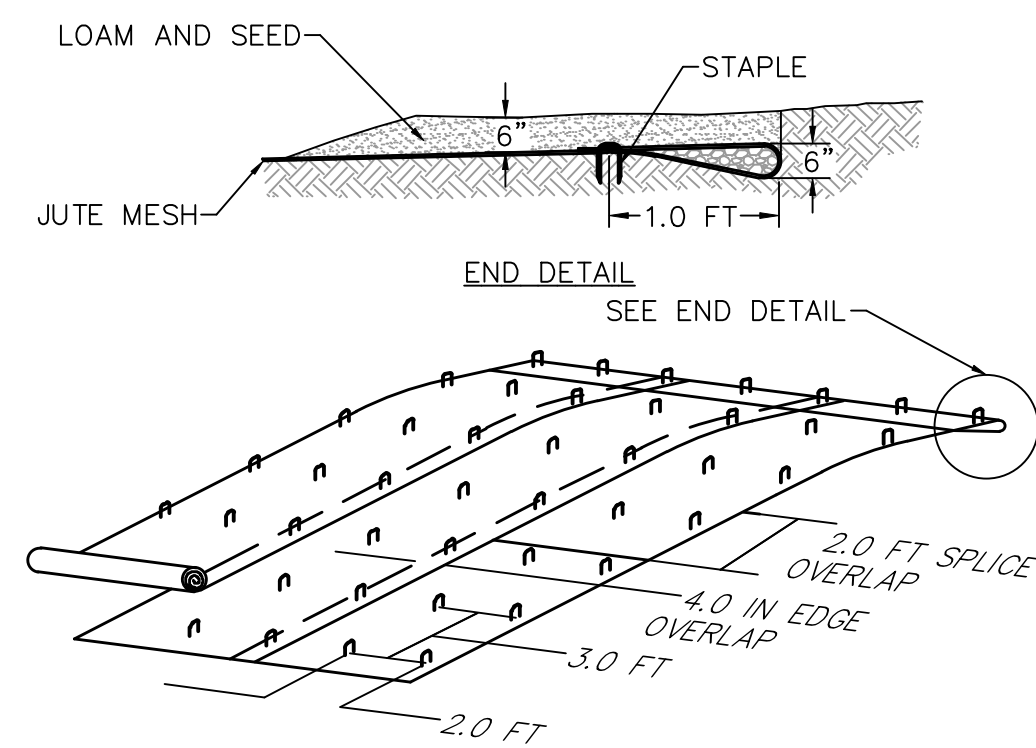
- THE FOLLOWING PROVIDES A GENERAL PROTOCOL FOR MINIMUM SEDIMENT CONTROL SEQUENCING AND REQUIREMENTS RELATIVE TO THE PROPOSED CONSTRUCTION. THE DETAILS PROVIDED ARE A MINIMUM GUIDE ONLY. ADDITIONAL CONTROLS MAY BE IMPLEMENTED OR SEQUENCING ADJUSTED AS APPROPRIATE IN KEEPING WITH THE INTENT OF THE PROTOCOL GIVEN.
1. INSTALL INLET PROTECTION (SILT SACS) IN ALL EXISTING CATCH BASINS WITHIN THE WORK AREA.
 2. STAKE THE LIMIT OF CLEARING/SEDIMENT CONTROL BARRIER. IDENTIFY/MARK TREES WITHIN TREE SAVE AREAS.
 3. REMOVE LEDGE AT SITE ENTRANCE FROM EAGLE ROCK ROAD.
 4. ESTABLISH STOCKPILE/STAGING AREAS WITHIN DEVELOPMENT AREA AS NEEDED.
 5. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 6. CUT & REMOVE TREES WITHIN LIMIT OF CLEAR.
 7. INSTALL TREE PROTECTION AROUND TREE SAVE AREAS.
 8. INSTALL SEDIMENT CONTROL BARRIER AT STORMWATER CONTAINMENT BERM.
 9. CONSTRUCT STORMWATER CONTAINMENT BERM AND PLACE STRUCTURES.
 10. INSTALL REMAINDER OF PERIMETER CONTROLS AROUND DEVELOPMENT AREA.
 11. STUMP AND GRUB REMAINDER OF THE SITE.
 12. PERFORM ROUGH EARTHWORK CUT & FILL, FOCUSING ON STORMWATER BASINS FIRST.
 13. INSTALL SUBSURFACE UTILITIES.
 14. ADVANCE ROADWAY/INFRASTRUCTURE GRADING.
 15. FINISH GRADE ROADWAY AND PLACE BINDER COURSE.
 16. LOAM & SEED LAWN ROADWAY SHOULDERS OUTSIDE FROM APX STA 0+00 TO 4+00.
 17. PERFORM UNIT CONSTRUCTION ON MANAGEABLE NUMBERS TAKING CARE TO EMPLOY ADDITIONAL EROSION CONTROLS AND STABILIZATION MEASURES AS APPROPRIATE.
 18. PERFORM FINAL GRADING OF STORMWATER BASINS.
 19. PLACE TOP COURSE PAVEMENT.
 20. PERFORM FINAL SITE CLEANUP.
 21. REMOVE REMAINING SEDIMENT CONTROL DEVICES UPON COMPLETE STABILIZATION AS DETERMINED BY THE ENGINEER OF RECORD.

CONSTRUCTION PHASE INSPECTION & MONITORING

- THE FOLLOWING PROVIDES MINIMUM REQUIREMENTS FOR INSPECTION AND MONITORING OF THE SITE'S EROSION CONTROLS AND STORMWATER SYSTEMS TO BE EMPLOYED DURING THE CONSTRUCTION PHASE. THE CONTRACTOR OR OTHER OWNER'S REPRESENTATIVE WILL BE RESPONSIBLE FOR COMPLIANCE WITH THESE REQUIREMENTS.
1. CONTRACTOR SHALL MAKE EVERY EFFORT TO ANTICIPATE POSSIBLE SOURCES OR SEDIMENT/DEBRIS TRANSPORT AND SHALL MAKE PREEMPTIVE EFFORTS TO ELIMINATE THREATS BEFORE ISSUES OCCUR. THIS INCLUDES ANTICIPATION OF, AND INSPECTION/REINFORCEMENT OF CONTROLS, PRIOR TO SIGNIFICANT FORECAST STORM EVENTS.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE INSPECTED ONCE PER WEEK DURING ACTIVE CONSTRUCTION WITHOUT FAIL. ALL DEFICIENCIES OR DAMAGED CONTROLS SHALL BE REPORTED AND CORRECTED WITHIN 24 HOURS.
 3. PERIMETER CONTROLS SHOULD BE REPLACED/REFRESHED WHEN ANY SEDIMENT ACCUMULATION EXCEEDS HALF OF THE CONTROL'S HEIGHT.
 4. PUBLIC WAYS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT AND/OR DEBRIS TRACKED TO THE TRAVELED WAY SHOULD BE CLEANED AT THE END OF WORK EACH DAY.
 5. ANY BARRIER CONTROLS NECESSARY AROUND STOCKPILES SHOULD BE MAINTAINED IN THE SAME MANNER AS PERIMETER CONTROLS.
 6. DUST CONTROL SHALL BE BY MECHANICAL MEANS AND SHALL CONSIST OF WATER APPLICATION ONLY. THE USE OF ANY TREATMENT CHEMICALS OR FLOCCULANTS IS STRICTLY PROHIBITED.
 7. ALL SEDIMENT/DEBRIS SHOULD BE DISPOSED OF OFF-SITE IN ACCORD WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
 8. INLET PROTECTION SHALL BE EMPLOYED AT ANY STORMWATER CONVEYANCE IN THE VICINITY OF THE PROPOSED WORK THAT MAY BE AT RISK OF SEDIMENT TRANSPORT. ALL SUCH MEASURES SHALL BE MONITORED AND MAINTAINED APPROPRIATELY.
 9. ANY SEDIMENT INADVERTENTLY ACCUMULATED BEYOND THE PERIMETER SEDIMENT CONTROLS SHALL BE REMOVED BY HAND IMMEDIATELY.
 10. SILT SACS IN CATCH BASINS SHALL BE EMPTIED WHEN HALF FULL OF SEDIMENT OR NOT FUNCTIONING EFFECTIVELY. SILT SACS SHALL BE REPLACED AS NEEDED.
 11. ALL CONSTRUCTION WASTE OR OTHER REFUSE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.

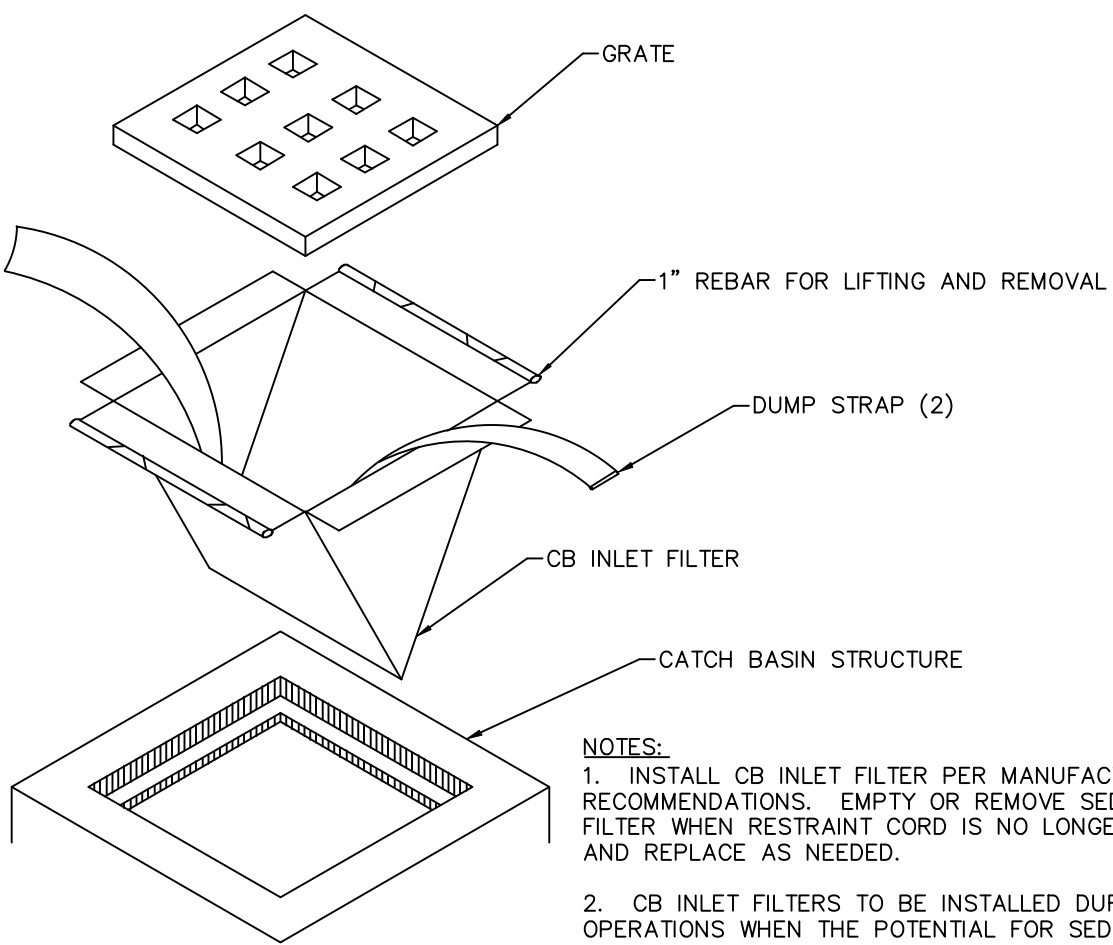
STANDARD DEWATERING PLAN

- THE FOLLOWING REPRESENTS MINIMUM REQUIREMENTS FOR DEWATERING ASSOCIATED WITH THE PROPOSED WORK. IT SHALL BE PERFORMED BY MECHANICAL MEANS AND ALL DISCHARGES SHALL BE UPSLOPE OF THE WETLAND RESOURCE AREAS.
1. IF DEWATERING IS REQUIRED AT ANY TIME DURING CONSTRUCTION ASSOCIATED WITH THE PROPOSED WORK, IT SHALL BE PERFORMED BY MECHANICAL MEANS AND ALL DISCHARGES SHALL BE UPSLOPE OF THE WETLAND RESOURCE AREAS.
 2. CONTRACTOR SHALL MAKE EVERY EFFORT TO ENSURE THAT EFFLUENT FROM THE DEWATERING SOURCE IS DISSIPATED OVERLAND RATHER THAN CONCENTRATED AS A POINT SOURCE DISCHARGE. POINT SOURCE DISCHARGES ARE STRICTLY PROHIBITED.
 3. EFFLUENT SHALL BE ALLOWED TO FLOW OVERLAND TOWARD THE BWV SO LONG AS PROPER FILTRATION IS PROVIDED TO REMOVE ANY SUSPENDED SEDIMENTS TO THE MAXIMUM EXTENT POSSIBLE PRIOR TO REACHING THE BWV.
 4. PROPER FILTRATION WILL BE CONSIDERED, AT MINIMUM, TO INCLUDE THE USE OF A SUMP PIT AT THE DEWATERING SOURCE AND FILTRATION CONTROLS AT THE DISCHARGE SOURCE.
 5. AT MINIMUM, SUMP PITS SHALL CONSIST OF A 12-IN. DIAMETER PERFORATED VERTICAL STANDPIPE BACKFILLED WITH WASHED CRUSHED STONE POSITIONED ON A 2-IN. WASHED CRUSHED STONE BASE. A SUBMERSIBLE PUMP OR SUCTION LINE SHALL BE LOCATED WITHIN THE STANDPIPE AND SHALL PUMP FILTERED WATER TO THE FILTRATION CONTROLS AT THE DISCHARGE SOURCE.
 6. MINIMUM FILTRATION CONTROLS AT THE DISCHARGE SOURCE SHALL CONSIST OF EROSION CONTROL MATERIALS FORMED IN A U-SHAPE AROUND THE DISCHARGE POINT WITH A MINIMUM DIAMETER OF 8 FT. THE DISCHARGE POINT SHALL BE POSITIONED MIDWAY BETWEEN THE ENDS OF THE FILTRATION CONTROLS IN A STRAIGHT LINE TO ALLOW FOR ADEQUATE DISBURSEMENT OF EFFLUENT.
 7. DISCHARGE SHALL BE LOCATED SUCH THAT EFFLUENT IS NOT DIRECTED OVER AREAS THAT ARE UNSTABLE DUE TO THE REQUIRED WORK WHENEVER POSSIBLE.
 8. NO DEWATERING DISCHARGE SHALL BE DIRECTED TOWARD A PERMANENT STORMWATER BASIN OR THE AREA OF THE PROPOSED SOIL ABSORPTION SYSTEM.
 9. ALL DISCHARGES SHALL BE MONITORED FOR TURBIDITY. ADJUSTMENTS FOR SETTLING SHALL BE MADE AND SECONDARY CONTROLS SHALL BE ADDED AS NECESSARY.
 10. ANY ACCUMULATED SEDIMENT RESULTING FROM DEWATERING FILTRATION SHALL BE REMOVED PRIOR TO REUSE OF THE PRACTICE.

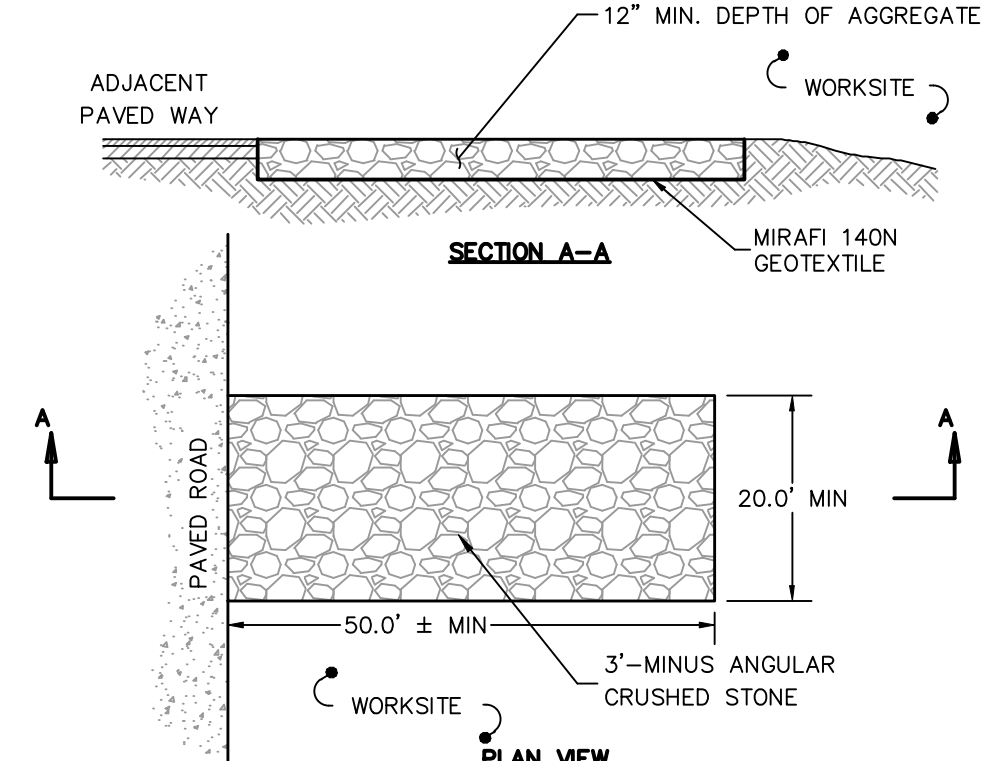


- NOTES:
1. INSTALL JUTE MESH FROM UPHILL TOWARDS DOWNHILL AND PARALLEL TO THE DIRECTION OF SURFACE WATER FLOW.
 2. GROUND SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS PRIOR TO INSTALLATION OF MESH.
 3. MESH SHALL BE SPREAD LOOSLY OVER THE GROUND SURFACE AND SHALL NOT BE STRETCHED UNDER ANY CIRCUMSTANCE.
 4. JUTE SPECIFICATION:
A. MESH SHALL HAVE A MAXIMUM OPENING OF 1"
B. MESH SHALL BE LENO-WOVEN AND 100% BIODEGRADABLE NATURAL FIBER.
C. UNIT YARN WEIGHT SHALL BE AT LEAST 0.9 LB/SQUARE YARD.
 5. STAPLES SHALL BE #14 GAUGE OR HEAVIER, U-SHAPED WITH A MINIMUM DEPTH OF 12".

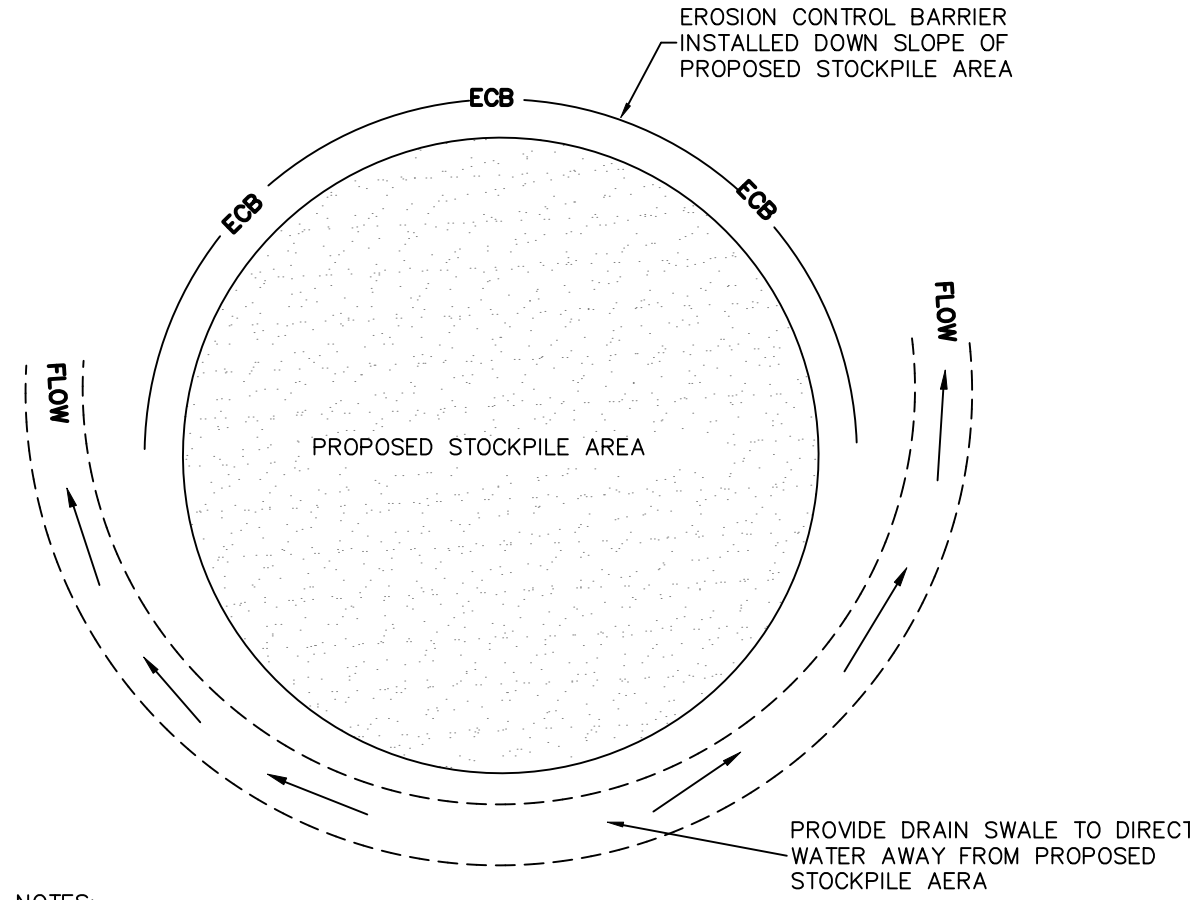
JUTE MESH INSTALLATION
NOT TO SCALE



CB INLET FILTER DETAIL
NOT TO SCALE

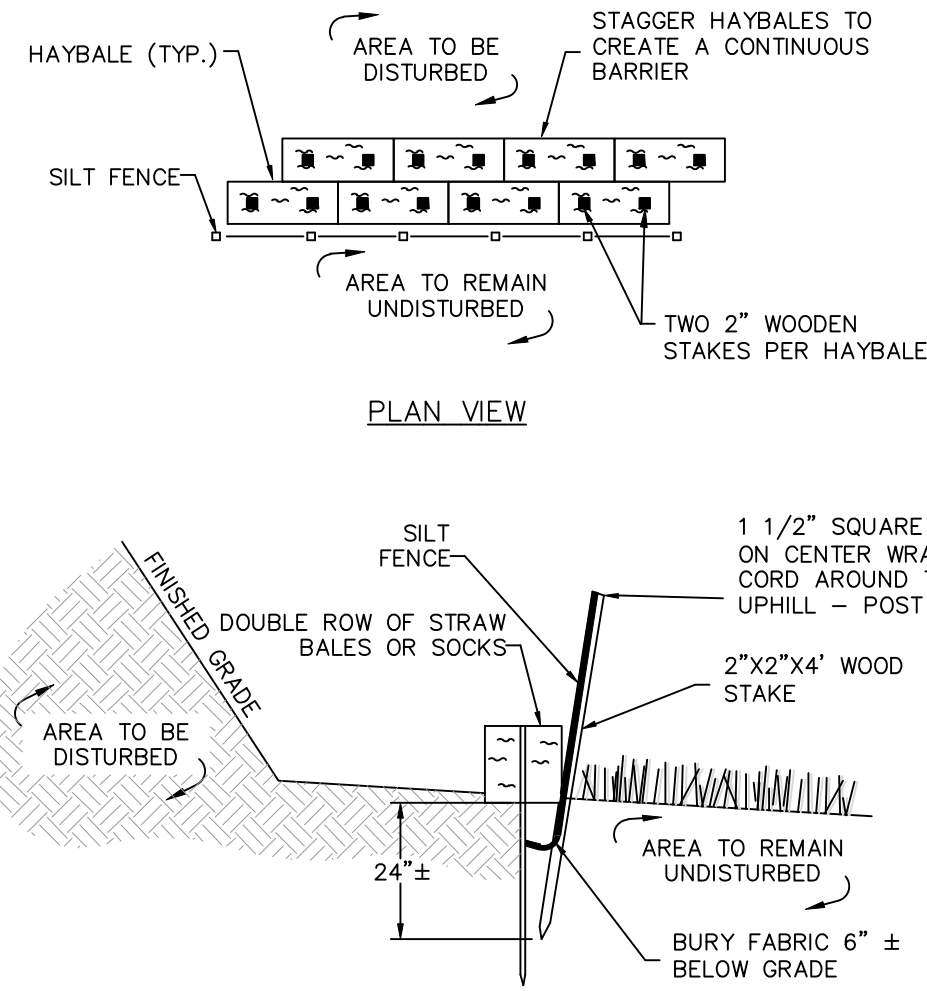


STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



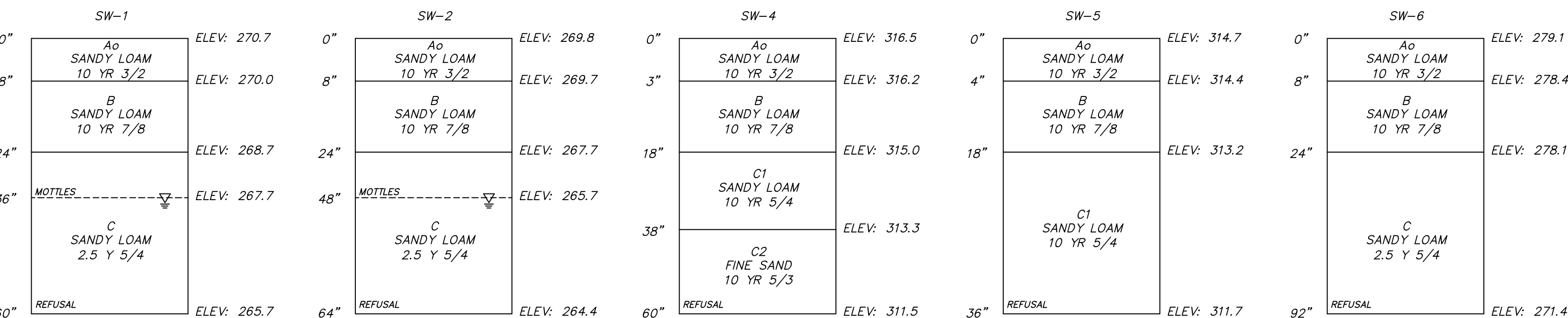
- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LB/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION DETAIL
NOT TO SCALE

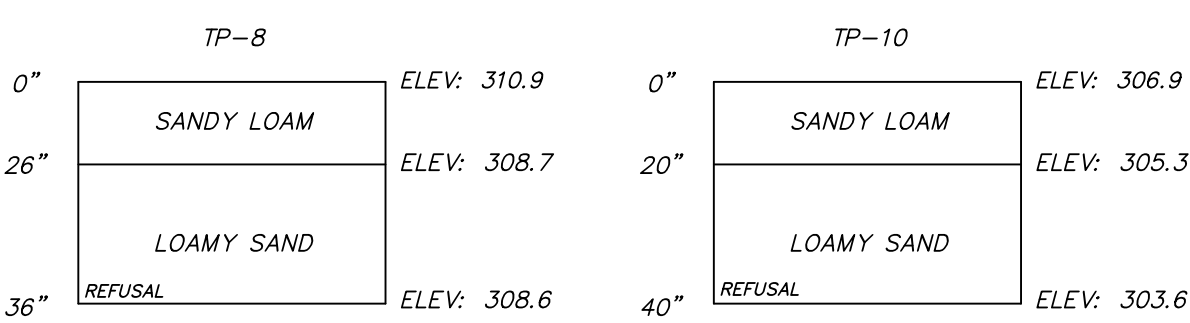


- NOTES:
1. DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.
 2. EROSION CONTROL BARRIER SHALL COMPLY WITH ALL APPLICABLE TOWN OF STOUGHTON REQUIREMENTS.

STANDARD PERIMETER EROSION CONTROL DETAIL
NOT TO SCALE



TEST PIT LOGS
NOT TO SCALE



SOIL EVALUATION CONDUCTED BY OTHERS IN 2023.
WITNESSED BY THE STOUGHTON BOARD OF HEALTH
MUNSELL COLORS AND LAYER/HORIZON DESIGNATIONS NOT PROVIDED.



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

REV	DESCRIPTION	DATE
3	PER TOWN COMMENT	6/6/25
2	PER TOWN COMMENT	5/8/25
1	ADDITIONAL INFO	4/2/25



PROJECT NUMBER: 2411-002
DATE OF ISSUE: MARCH 20, 2025
SCALE: 1"=50'
DESIGNED BY: ED CHECKED BY: ED
PREPARED ON BEHALF OF: EAGLE ROCK CORP. 30 ELLIS ROAD NEWTON, MA 02465
EAGLE ROCK PASSIVE HOMES FLEXIBLE DEVELOPMENT 0 EAGLE ROCK ROAD STOUGHTON, MASSACHUSETTS 02072 MAP 8 LOTS 16 & 17

EROSION & SEDIMENT CONTROL DETAILS	D-3
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PERMIT SET - NOT FOR CONSTRUCTION

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TOWN OF STOUGHTON
Massachusetts
PLANNING BOARD

Special Permit Approval
Eagle Rock Flexible Development
Eagle Rock Road
for
Case # SPP24-003

Date: July 17, 2025
Applicant: VFW Brucewood LLC
30 Ellis Road
Newton MA, 02465

Owner: Eagle Rock Corp.
30 Ellis Road
Newton MA, 02465

Representative: Barry R. Crimmins, Esq.
909 Washington Street
Stoughton, MA 02072

Property: Eagle Rock Road
Stoughton, MA 02072
Assessors Map 8; Lot 17

Title Reference: Book 42301, Page: 162

I) Project Summary

On September 12, 2024, applicant, VFW Brucewood LLC ("Applicant"), filed an application for Special Permit per Section 7.1, for a Flexible Residential Development. The proposal is to create a 20 single family dwelling unit residential development on the approximate 28-acre parcel with associated infrastructure ("Project"), at and upon land known and numbered as 0 Eagle Rock Road (Assessors Map 8 Lot 17- the "Property"). The combined properties are 265,824 +/- SF. The Project is located within the Residential-Suburban A (RA) Zoning District.

II) Procedural History

A) Pre Application meeting was held on February 9, 2023.

A True Copy
Attest:

Stoughton Town Clerk 02072

I hereby certify that no appeal has been filed with the Office of the Town Clerk within the twenty day appeal period.
Town Clerk
Date 8/13/2025

Case #: SPP24-003 - Special Permit - Eagle Rock Flexible Development

WILLIAM P. O'DONNELL, REGISTER
NORFOLK COUNTY REGISTRY OF DEEDS
RECEIVED & RECORDED ELECTRONICALLY

Bk 42610 Pg37 #59326

14. All construction shall be in strict conformance with the approved plans as follows:
- Plan Set entitled "Site Development Plans for Eagle Rock Passive Homes Flexible Development" prepared by Strongpoint Engineering Solutions dated March 20, 2025, revised through July 15, 2025.
 - Landscape Plan set prepared by MDLA dated June 26, 2025.
15. The applicant shall record the Site Operation & Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit. (See Exhibit "A" attached hereto).
16. The applicant shall clean the entire drainage system at the end of construction.
17. A Final As-built Plan shall be submitted for review by the Engineering Department prior to the issuance of a Certificate of Occupancy.
18. The Planning Board requires a cash bond in the amount to cover 50% of the replacement cost of all landscaping prior to the issuance of a Certificate of Occupancy. The bond will be held by the Planning Board for one full growing season after the landscaping is installed.

B) Special Conditions

- Prior to the start of construction, the applicant shall submit plans and specifications, and receive approval from the Fire Department for the 10,000-gallon cistern being used for fire protection.
- The project shall be required to have a backup generator for the community septic system meeting the Board of Health requirements.
- The driveways and all utilities within the development shall remain private and be subject to a Homeowners Association.
- The grant of this special permit for a Flexible Development, a minimum of ten (10%) of the total number of dwelling units shall be restricted in perpetuity. The restriction shall be approved as to form by legal counsel to the Planning Board, at the applicant's expense, and a right of first refusal upon the transfer of such restricted units shall be granted to the local Housing Authority for a period not less than 120 days after notice thereof.
- The applicant shall provide to the Planning Board for its approval Homeowner Association documents to provide for the maintenance of the roads, stormwater management facilities, fire cistern, septic system, all utilities, trash pickup, and any common areas in the Development.
- Open Space Conditions:
 - A minimum of twenty (20%) percent of the parcel shown on the development plan shall be contiguous open space. Any proposed contiguous open space, unless conveyed to the Town or its

Case #: SPP24-003 - Special Permit - Eagle Rock Flexible Development

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- B) Application for Special Permit was filed by the above referenced applicant with the Planning Board on September 12, 2024.
- C) The hearing was advertised on September 25, 2024 and October 2, 2024 in the Patriot Ledger.
- D) Public hearings on the Special Permit were held on 10/10/24, 2/27/25, 4/24/25, 5/22/25, and 6/26/25.
- E) On July 17, 2025, the public hearing was closed and on July 17, 2025, the Planning Board voted to approve the Special Permit.

III) Application Submittals

- Special Permit Application submitted September 12, 2024.
- Plan Set entitled "Site Development Plans for Eagle Rock Passive Homes Flexible Development" prepared by Strongpoint Engineering Solutions dated March 20, 2025, revised through July 15, 2025.
- Stormwater Management Report prepared by Strongpoint Engineering Solutions dated April 3, 2025 and revised June 6, 2025.
- Landscape Plan set prepared by MDLA dated June 26, 2025.
- Response letter to Technical Review letter #2 prepared by Strongpoint Engineering Solutions dated May 8, 2025.
- Response letter to Technical Review letter #3 prepared by Strongpoint Engineering Solutions dated June 6, 2025.
- Response letter to Technical Review letter #4 prepared by Strongpoint Engineering Solutions dated July 10, 2025.
- Watershed 5 Analysis prepared by Strongpoint Engineering Solutions dated July 15, 2025.

IV) Related Documents

- Copy of the Legal Public Hearing notice from the edition of the Patriot Ledger dated May 29, 2025 & June 4, 2025.
- Three Technical Engineering Review Letters dated April 16, 2025, May 15, 2025, and June 16, 2025 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner.

V) Findings and Determinations

After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 7.1 Flexible Residential Development, Section 10.6, and finds as follows:

Case #: SPP24-003 - Special Permit - Eagle Rock Flexible Development

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Bk 42610 Pg38 #59326

Conservation Commission, shall be subject to a recorded restriction enforceable by the Town, providing that such land shall be perpetually kept in an open state, that it shall be preserved for exclusively agricultural, horticultural, educational or recreational purposes, and that it shall be maintained in a manner which will ensure its suitability for its intended purposes.

- The contiguous open space shall be used for conservation, historic preservation and education, outdoor education, recreation, park purposes, agriculture, horticulture, forestry, or for a combination of these uses, and shall be served by suitable access for such purposes.
 - The contiguous open space shall remain unbuilt upon, provided that the Planning Board may permit up to twenty (20%) percent of such open space to be paved or built upon for structures accessory to the dedicated use or uses of such open space, pedestrian walks, and bike paths.
 - Underground utilities to serve the Flexible Development site may be located within the contiguous open space.
7. Ownership of the open space shall be conveyed to:
- The Town or its Conservation Commission;
 - A nonprofit organization, the principal purpose of which is the conservation of open space and any of the purposes for such open space set forth above;
 - A corporation or trust owned jointly or in common by the owners of lots within the Flexible Development. If such corporation or trust is utilized, ownership thereof shall pass with conveyance of the lots in perpetuity. Maintenance of such open space and facilities shall be permanently guaranteed by such corporation or trust which shall provide for mandatory assessments for maintenance expenses to each lot. Each such trust or corporation shall be deemed to have assented to allow the Town to perform maintenance of such open space and facilities, if the trust or corporation fails to provide adequate maintenance, and shall grant the town an easement for this purpose. In such event, the town shall first provide fourteen (14) days written notice to the trust or corporation as to the inadequate maintenance, and, if the trust or corporation fails to complete such maintenance, the town may perform it. Each individual deed, and the deed or trust or articles of incorporation, shall include provisions designed to effect these provisions. Documents creating such trust or corporation shall be submitted to the Planning Board for review and approval by the Town Attorney, at the applicant's expense, and shall thereafter be recorded.
8. The applicant shall provide a cash bond in the amount to cover 50% of the replacement cost of the landscaping associated with the main access driveway prior to the issuance of a Certificate of Occupancy. The bond will

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- The location of the uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.
- Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff, and glare of lights.
- Adequate facilities drainage, snow storage and/or removal, fire protection, and methods of solid waste disposal are provided. As demonstrated by the Special Permit Plan and accompanying submissions, the Project amply satisfies these interests.
- Pedestrian ways, access/egress driveways, and internal circulation are properly designed and operated for public convenience, universal accessibility and public safety. As demonstrated by the Special Permit Plan and accompanying submissions, the Project amply satisfies these interests.
- Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Special Permit.
- After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department, and the Planning Department, the Planning Board analyzed all the comments, and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
- The project meets the 10% affordable component by providing two affordable units, Section 7.1.8.
- The proposed buildings are single family homes; therefore, meeting Section 7.1.9.
- The applicant is conditioned to provide a Home Owners Association, meeting Section 7.1.10.
- The project provides the 20% minimum open space and is conditioned as to its ownership, meeting Section 7.1.13 and 7.1.14.
- The Planning Board, in granting the Applicant's request for a Special Permit found that the Project would not result in any substantial detriment to the district for all of the reasons stated above.

VI) Conditions

A) General Conditions

- This decision for Special Permit Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has

Case #: SPP24-003 - Special Permit - Eagle Rock Flexible Development

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be held by the Planning Board for one full growing season after the landscaping is installed.

- This approval shall be subject to the performance guarantee requirements for the construction of the main access driveway as set forth under Regulations Section IV.C.8 and M.G.L. Ch. 41, Sec. 81U, Par. 7 and that the applicant shall, at all times, maintain sufficient surety and shall provide additional surety, should the applicant be notified in writing that the surety is deficient in amount or nature, after being provided an opportunity to be heard by the Board.

VII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Stormwater Management Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.

On this day of July 17, 2025.

Daniel Kelly, Chairman

Paul Demusz, Vice Chairman

Paul Beliveau

Richard Terry

Peter Murphy

cc: Town Clerk, Applicant, Interested Parties

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on 7-23-25.

FOR THE PLANNING BOARD

Daniel Kelly, Chairman

A True Copy
Attest:
Stoughton Town Clerk 02072

I hereby certify that no appeal has been filed with the Office of the Town Clerk within the twenty day appeal period.
Town Clerk
Date 8/13/2025

Case #: SPP24-003 - Special Permit - Eagle Rock Flexible Development

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commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.

- Any modification(s) affecting the approved Special Permit, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
- The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
- All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
- The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval, and decisions.
- No site activity shall take place at the property under the Special Permit without proper authorization and permitting from all local and state agencies, as required.
- Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first, in accordance with the fee schedule dated March 23, 2017.
- The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
- Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit, or the initiation of site work, whichever of these occurs first.
- Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
- A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.

Case #: SPP24-003 - Special Permit - Eagle Rock Flexible Development

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PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

7	PB DECISION	8/27/25
6	PER TOWN COMMENT	7/15/25
5	PER TOWN COMMENT	7/10/25
4	PER TOWN COMMENT	6/19/25
3	PER TOWN COMMENT	6/6/25
REV	DESCRIPTION	DATE



PROJECT NUMBER:	2411-002
DATE OF ISSUE:	MARCH 20, 2025
SCALE:	1"=50'
DESIGNED BY:	ED
CHECKED BY:	ED
PREPARED ON BEHALF OF:	EAGLE ROCK CORP. 30 ELLIS ROAD NEWTON, MA 02465
	EAGLE ROCK PASSIVE HOMES FLEXIBLE DEVELOPMENT 0 EAGLE ROCK ROAD STOUGHTON, MASSACHUSETTS 02072 MAP 8 LOTS 16 & 17

PLANNING
BOARD
DECISION

PB-1

PERMIT SET - NOT FOR CONSTRUCTION

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