

SITE REDEVELOPMENT PLAN

3 & 23 MORTON STREET, STOUGHTON, MA
PARCELS: 54-421 & 54-422

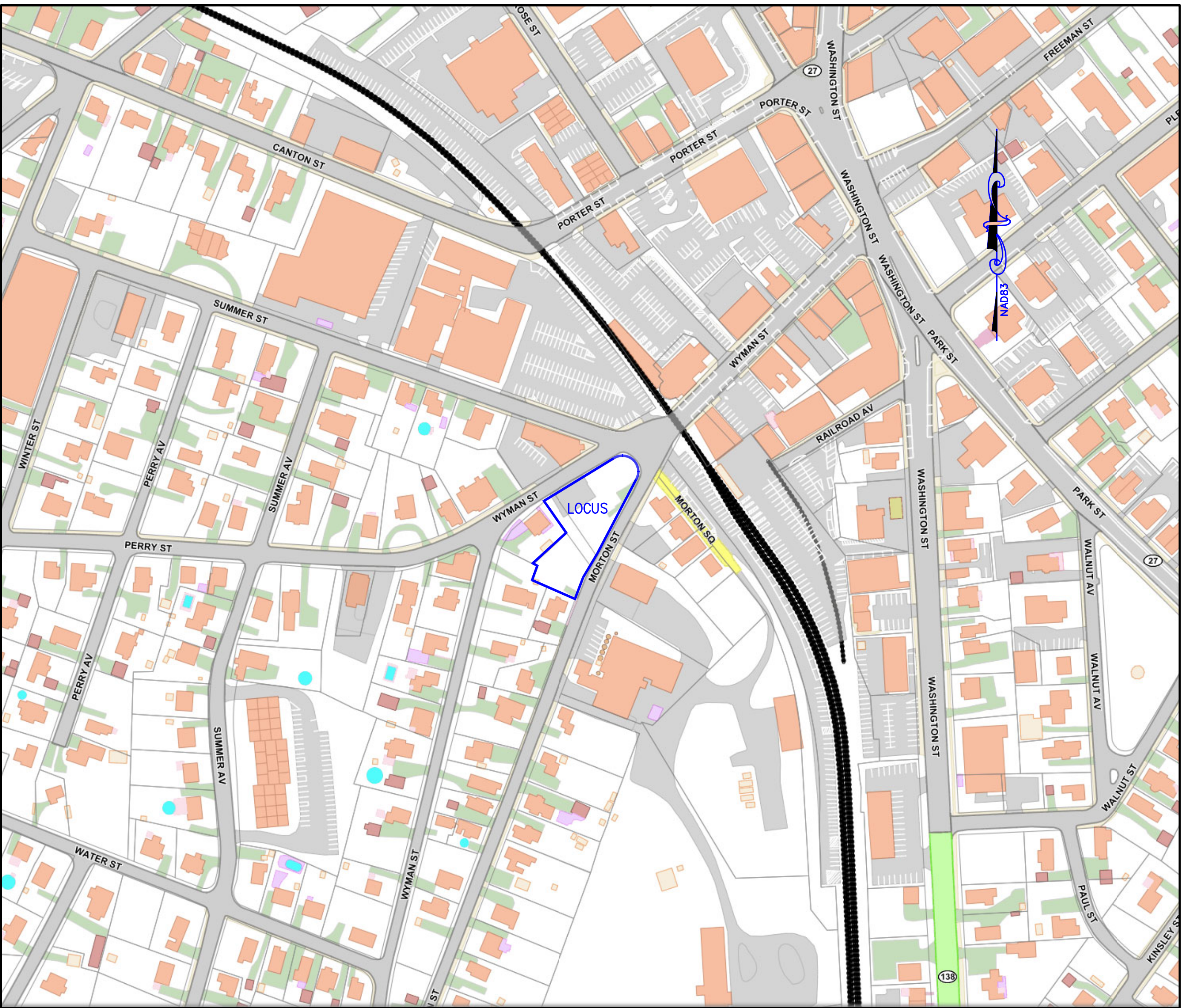
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WAIVER REQUESTS

ZONING BYLAW SECTION 6.0 GENERAL REGULATIONS
§ 6.1.7.9 - PARKING SPACES SHALL NOT BE LOCATED WITHIN REQUIRED FRONT YARD AREA - 10.0 FEET REQUIRED, 6.0 FEET PROPOSED (SPACE #16)
§ 6.1.7.10 - PARKING AND LOADING SPACES SHALL BE ARRANGED AS TO NOT PERMIT BACKING OF AUTOMOBILES INTO STREET - REFUSE TRUCK ACCESS DRIVE NECESSITATES BACKING INTO WYMAN STREET
§ 6.4.4 - CLEARING OF TREES 6" DBH OR GREATER AND WHOLESALE CLEARING OF AN AREA IN EXCESS OF 3,000 S.F. PROHIBITED - LOT 54-421 WHERE PARKING IS LOCATED SHALL BE COMPLETELY CLEARED (~7,400 S.F.)

ZONING BYLAW SECTION 10.6 SITE PLAN APPROVAL
§ 10.6.10.1 - TRAFFIC IMPACT ASSESSMENT - REQUEST TO WAIVE TRAFFIC STUDY AS PART OF SITE PLAN APPROVAL APPLICATION



LOCUS MAP - SCALE ~1"=150'
SOURCE: STOUGHTON GEOGRAPHIC INFORMATION SYSTEM

PLAN DATE
MARCH 24, 2025
REVISED: MAY 5, 2025
REVISED: MAY 23, 2025

SITE PLAN APPROVAL

TOWN OF STOUGHTON
PLANNING BOARD

DATE:

APPLICANT

ROMA REALTY TRUST
15 FELIX STREET
DEDHAM, MA 02026

CIVIL ENGINEER

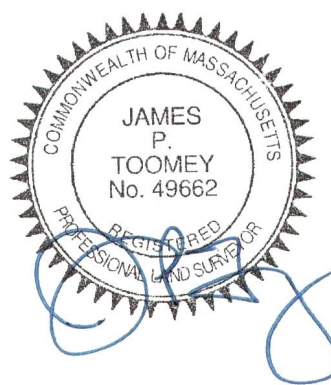
HENDERSON CONSULTING SERVICES LLC
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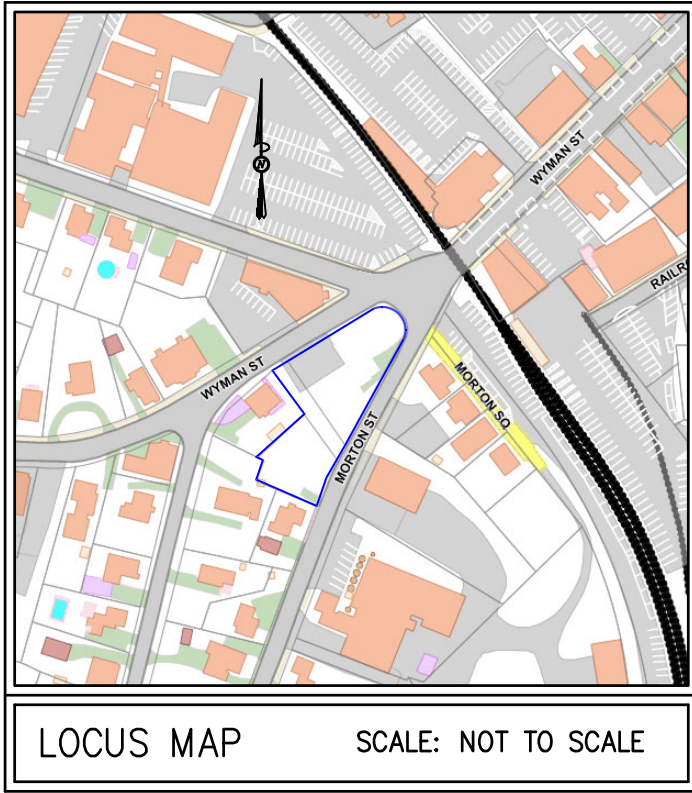
SURVEYOR

TOOMEY LAND SURVEYING LLC
48 SUMMIT AVENUE
WALPOLE, MA 02081
JTOOMEY@TOOMEYSURVEYING.COM
(617) 877-1043

LANDSCAPE ARCHITECT

SEAN PAPICH LANDSCAPE ARCHITECTURE
222 NORTH STREET
HINGHAM, MA 02043
(781) 741-5455





ABBREVIATIONS

APPROX	APPROXIMATE
ASPH	ASPHALT
BD	BOUND
BLDG	BUILDING
BIT CONC	BITUMINOUS CONCRETE
BM	BENCHMARK
BS	BOTTOM OF SLOPE
CB	CATCH BASIN
CB/DH	CONC. BOUND/DRILL HOLE
COB	CAPE COD BERM
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC	CONCRETE
Δ	DELTA ANGLE
D	DRAIN
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
EP	EDGE PAVEMENT
E	ELECTRIC
ELEV	ELEVATION
E/T/C	ELECTRIC, TELEPHONE, & CABLE TV
EXIST	EXISTING
FND	FOUND
FND	FOUNDATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
G	GAS
GG	GAS GATE
GS	GAS SERVICE
GRANL	GRANITE
HCR	HANDICAP RAMP
HOR	HORIZONTAL
HYD	HYDRANT
INV	INVERT
L.S.	LANDSCAPING
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PL	PROPERTY LINE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
PVMT	PAVEMENT
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SEWER
SB	STONE BOUND
SB/DH	STONE BOUND/DRILL HOLE
SMH	SEWER MANHOLE
SS	SEWER SERVICE
TR	TREE
VGC	VERTICAL GRANITE CURB
W	WATER MAIN
WG	WATER GATE

UNDERGROUND UTILITIES

— E —	ELECTRIC
— G —	GAS
— T —	TELEPHONE/COMMUNICATION
— W —	WATER
R= (RIM ELEVATION)	

LEGEND

⊙	DRAIN MANHOLE
⊗	MANHOLE
⊕	ELECTRIC MANHOLE
⊖	SEWER MANHOLE
⊙	TELEPHONE MANHOLE
⊕ ⊖	CATCH BASIN
⊙ ⊖	GAS GATE
⊙ ⊖ ⊕ ⊖	WATER GATES
☆	LIGHT POLE
⊕ H	ELECTRIC HANDHOLE
X	SPOT GRAVE LOCATION
V	VENT
GM	GAS METER
RD	ROOF DRAIN
EM	ELECTRIC METER
AC	AIR CONDITIONER
OH	OIL TANK
BH	BULK HEAD

PLAN REFERENCES:

NORFOLK COUNTY
REGISTRY OF DEEDS
PLAN NO. 512 OF 1944
PLAN NO. 1127 OF 1987
PLAN NO. 154 OF 1992
PLAN NO. 60 OF 2006

RECORD OWNER:

H & R CONSTRUCTION CORP.
1204 WASHINGTON STREET
STOUGHTON, MA 02072
DEED BOOK 25109, PAGE 118
DEED BOOK 25736, PAGE 277

STORM DRAIN NOTES

- ALL STORMWATER CONVEYANCE PIPES SHALL BE ADS N-12 CORRUGATED, SMOOTH INTERIOR SOLID WALL HDPE OR APPROVED EQUAL.
- BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD.
- UNSATURABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
- ALL CATCH BASIN GRATES SHALL BE TYPICAL SQUARE OPENING GRATES UNLESS OTHERWISE NOTED.
- ALL CATCH BASINS SHALL HAVE A MINIMUM 4' SUMP AND OUTLETS FROM CATCH BASINS SHALL BE FITTED WITH A HOOD AS SPECIFIED IN THE CONSTRUCTION DETAILS.
- ALL DRAINAGE STRUCTURES SHALL BE 4' INTERIOR DIAMETER, PRE-CAST CONCRETE UNLESS OTHERWISE NOTED.
- ALL CASTING SHALL BE FURNISHED FROM AN APPROVED VENDOR THAT MEETS AASHTO REQUIREMENTS FOR H-20 TRAFFIC LOADING.
- ROOF DRAINS SHALL BE CONNECTED TO INFILTRATION SYSTEM VIA 12" DIAMETER HDPE ROOF LEADERS. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN & LEADER LOCATIONS.

GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- ALL ABANDONED STRUCTURES SHOULD BE REMOVED OR FILLED WITH DENSE GRADE AND STONE.

WATER QUALITY -- CULTEC SEPARATOR ROW

- STORMWATER RUNOFF QUALITY DEPENDS UPON THE FUNCTION OF THE SEPARATOR ROW INCLUDED IN THE SUBSURFACE INFILTRATION SYSTEM. SITE OWNER IS RESPONSIBLE FOR PERFORMING REGULAR MAINTENANCE AS DETAILED IN THE STORMWATER REPORT FILED WITH THE SITE REDEVELOPMENT PLANS.
- ACCESS TO THE SEPARATOR ROW IS VIA THE DRAIN MANHOLE LOCATED AT THE SOUTHWEST END OF THE PARKING LOT.

WATER & SEWER NOTES

- PROPOSED WATER MAIN AND DOMESTIC SERVICE SIZES AND LOCATIONS SHALL BE COORDINATED WITH THE STOUGHTON WATER DEPARTMENT AND STOUGHTON FIRE DEPARTMENT.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER PIPE, THE ELEVATION OF THE CROWN OF THE SEWER PIPE SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE.
- ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35.
- WHERE SANITARY SEWERS CROSS WATER SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER PIPE AND THE SEWER PIPE SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- LOCATION AND SPECIFICATIONS OF THE RELOCATED FIRE HYDRANT SHALL BE COORDINATED WITH THE STOUGHTON FIRE DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS.
- THE SIZE OF THE PROPOSED DOMESTIC WATER AND FIRE PROTECTION SERVICES SHALL BE CONFIRMED BY THE PROJECT MEP ENGINEER PRIOR TO CONSTRUCTION.
- IT IS ASSUMED THAT ADEQUATE FLOW RATE AND PRESSURE ARE AVAILABLE IN THE WATER MAIN LOCATED IN WYMAN STREET. FLOW TESTING, IF REQUIRED, SHALL BE COMPLETED BY A LICENSED MEP ENGINEER PRIOR TO CONSTRUCTION.

SITE SECURITY NOTES

- THE CONTRACTOR SHALL INSTALL A SECURITY FENCE AROUND THE ENTIRE SITE PERIMETER PER ALL APPLICABLE FEDERAL, STATE AND LOCAL STANDARDS, INCLUDING OSHA REGULATIONS. FENCE SHALL BE SECURED DURING ALL NON-WORKING HOURS TO PREVENT TRESPASS ONTO THE CONSTRUCTION SITE.

- DURING CONSTRUCTION HOURS, ALL SITE VISITORS ARE REQUIRED TO CHECK-IN WITH THE PROJECT SUPERVISOR ON-SITE AND BE CLEARED TO ENTER THE WORK ZONE. OSHA TRAINING AND APPROPRIATE PROTECTIVE GEAR IS REQUIRED FOR ALL SITE VISITORS

SITE PREPARATION NOTES

- EROSION CONTROL AND PERIMETER FENCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION.
- ALL DEMOLITION AND MATERIAL DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- MATERIAL STOCKPILE AREAS SHALL BE SURROUNDED WITH TEMPORARY EROSION CONTROLS. SOIL STOCKPILES SHALL BE COVERED WITH A TARP AT THE END OF EACH DAY.

LANDSCAPE PLANTING SCHEDULE

- ALL PLANTS ARE TO BE INSTALLED ONLY BETWEEN APRIL 1 TO JUNE 15 OR SEPTEMBER 1 TO NOVEMBER 1.
- NO PLANTS ARE TO BE INSTALLED WHILE SUBSOIL OR PLANTING MIX/TOPSOILS IS SATURATED, MUDDY OR IN FROZEN CONDITION.
- ALL PLANTINGS WILL BE INSPECTED IN THE SPRING AND FALL OF EVERY YEAR FOR A MINIMUM OF THREE YEARS FOLLOWING THE COMPLETION OF THE PROJECT TO ENSURE THAT THE PLANTINGS ARE HEALTHY. INSPECTION REPORTS SHALL BE SUBMITTED TO THE DEDHAM PLANNING DEPARTMENT FOR REVIEW ANNUALLY.
- ANY DEAD OR DYING PLANTINGS SHALL BE REPLACED IN KIND AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN.

SNOW REMOVAL

- SNOW STORAGE ON-SITE IS LIMITED TO AREAS SHOWN ON SHEETS C4 AND WILL NOT ACCOMMODATE HEAVY SNOWFALL EVENTS. EXCESS SNOW SHALL BE COLLECTED AND TRUCKED OFF-SITE PURSUANT TO ALL LOCAL AND STATE REGULATIONS.

PARKING CALCULATIONS

SECTION 9.3 OF THE STOUGHTON ZONING BYLAWS -- TABLE 9.3.11 SCD PARKING SCHEDULE

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY		
13 -- 1 BEDROOM UNITS	1 SPACES PER 1 BEDROOM UNIT = 13 SPACES	1 SPACE PER 1 BEDROOM UNIT = 14 SPACES
4 -- 2 BEDROOM UNITS	1 SPACES PER 2 BEDROOM UNIT = 4 SPACES	1 SPACES PER 2 BEDROOM UNIT = 4 SPACES
TOTAL	17 SPACES	18 SPACES

NOTES:

- 5 REDUCED SIZE PARKING SPACES ARE PROPOSED = 28% OF TOTAL PARKING
- MINIMUM REDUCED PARKING SPACE DIMENSIONS = 18 FT x 8 FT
- 1 HANDICAP ACCESSIBLE VAN SPACE PROVIDED (1 REQUIRED)

SITE NOTES

- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY TOOMEY LAND SURVEYING LLC IN DECEMBER, 2024 & JANUARY, 2025.
- THERE WERE NO WETLAND RESOURCE AREAS OBSERVED DURING THE FIELD SURVEY.
- ELEVATIONS, SHOWN HEREON, REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BY GRAPHIC PLOTTING ONLY, LOCUS IS LOCATED WITHIN ZONE "X" (UNSHADED), AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR STOUGHTON MASSACHUSETTS, MAP NO. 25021C0376E, DATED JULY 17, 2012.
- LOCATION OF SUBSURFACE UTILITIES ARE BASED ON OBSERVABLE ABOVE GROUND EVIDENCE AND AVAILABLE TOWN AND PRIVATE UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. TOOMEY LAND SURVEYING LLC CANNOT BE HELD RESPONSIBLE FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE NOT SHOWN OR SHOWN INACCURATELY. THE CONTRACTOR SHOULD HAVE THE UTILITIES PROPERLY LOCATED PRIOR TO THE BEGINNING OF CONSTRUCTION BY CONTACTING DIGSAFE (888-344-7233). THE CONTRACTOR SHOULD ALSO EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.

HANDICAP PARKING

1 HANDICAP ACCESSIBLE SPACES PROVIDED
(1 VAN SPACES)

FOR A PARKING LOT WITH 15 TO 25 SPACES, 1 HANDICAP ACCESSIBLE SPACES MUST BE PROVIDED, 1 OF WHICH MUST BE VAN ACCESSIBLE.

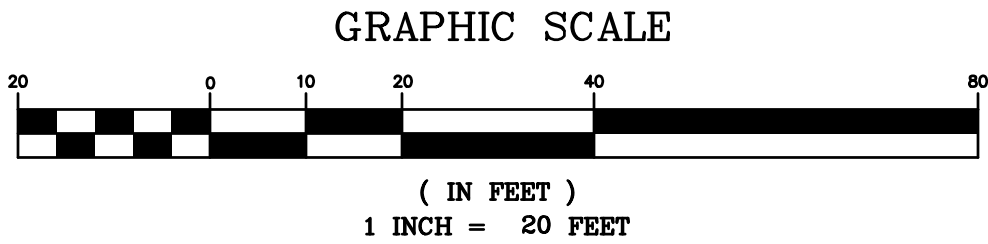
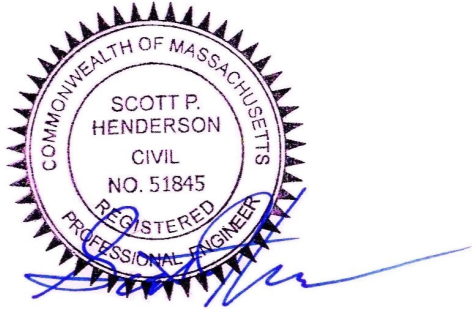
ALL PROPOSED HANDICAP PARKING SPACES ON THE SITE SHALL COMPLY WITH ADA & MAAB DIMENSIONAL REQUIREMENTS. VAN ACCESSIBLE SPACES ARE DEMARCATED ON THE PLAN WITH "VAN" AND ALL OTHER SPACES ARE CAR ACCESSIBLE. THE FOLLOWING DIMENSIONS APPLY:

VAN ACCESSIBLE: 96" MINIMUM SPACE WIDTH
96" MINIMUM ACCESS AISLE WIDTH

CAR ACCESSIBLE: 96" MINIMUM SPACE WIDTH
60" MINIMUM ACCESS AISLE WIDTH

ALL PROPOSED ACCESSIBLE PARKING SPACES SHALL BE GRADED SUCH THAT GRADES DO NOT EXCEED A 2% CROSS SLOPE IN ANY DIRECTION.

STANDARD ADA, MAAB, AND MUTCD SIGNAGE WILL BE INSTALLED FOR ALL PROPOSED ACCESSIBLE SPACES. VAN ACCESSIBLE SPACES WILL BE MARKED WITH SIGNAGE INDICATING "VAN ACCESSIBLE."



DRAWN BY: SCOTT P. HENDERSON, P.E.	PROJECT: MORTON STREET
SCALE: 1"=20'	ISSUE DATE: 3/24/2025
REVISION: 5/5/2025 - FIRST TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION: 5/23/25 - SECOND TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION:	
REVISION:	

SITE PLAN APPROVAL

TOWN OF STOUGHTON
PLANNING BOARD

DATE:

TOOMEY LAND SURVEYING LLC

PROFESSIONAL LAND SURVEYING

48 SUMMIT AVENUE, WALPOLE, MA 02081

JTOOMEY@TOOMEYSURVEYING.COM (617) 877-1043



HENDERSON CONSULTING SERVICES

Professional Civil Engineering & Land Planning

P.O. Box 626, Lexington, MA 02420

(774) 993-9903 hcscivil@gmail.com

PROJECT:

SITE DEVELOPMENT PLAN
3 & 23 MORTON STREET
ASSESSOR'S PARCELS 54-421 & 54-422
STOUGHTON, MASSACHUSETTS

APPLICANT:

ROMA REALTY TRUST

15 FELIX STREET

DEDHAM, MA 02026

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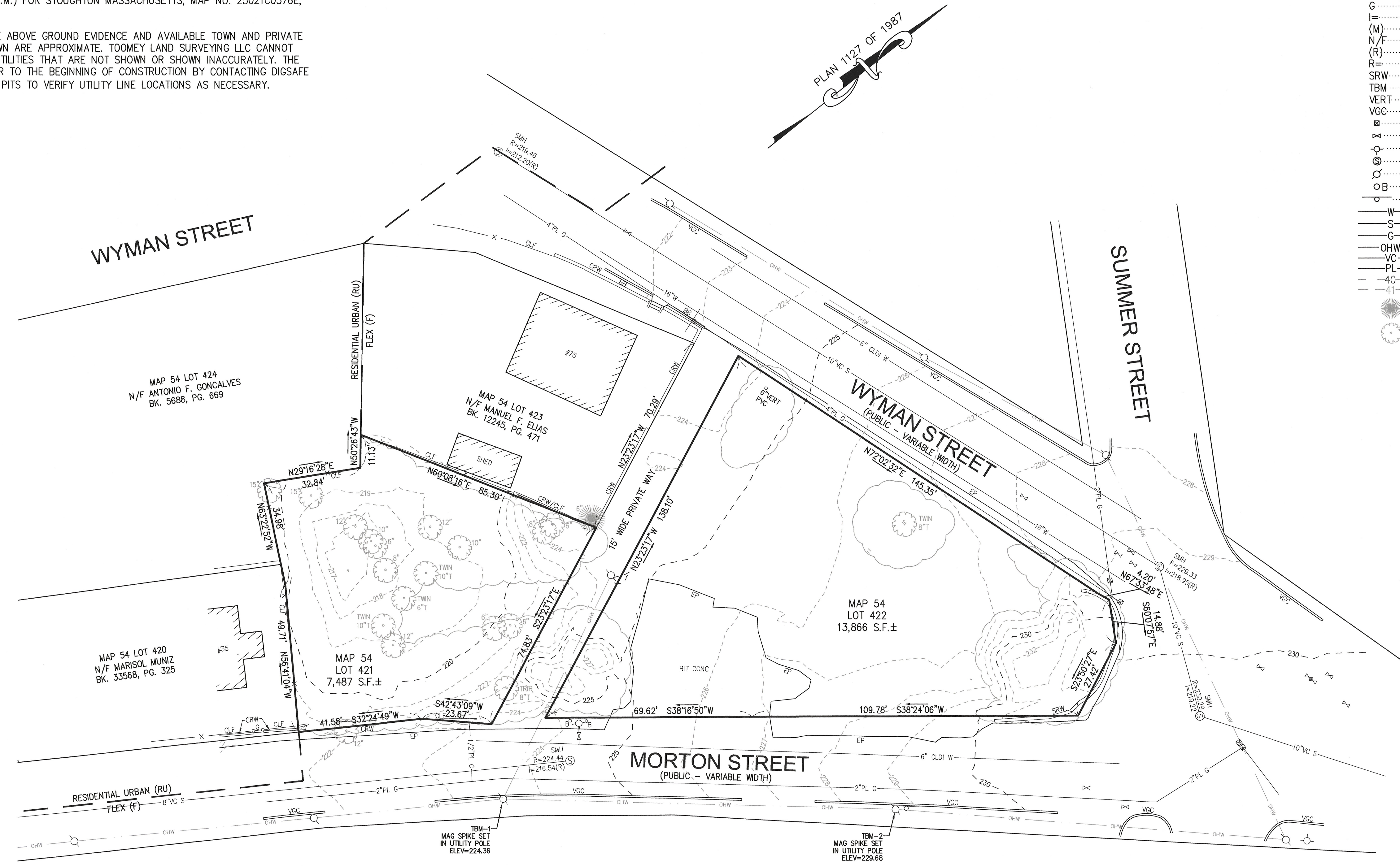
Index & Notes

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NOTES:
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY TOOMEY LAND SURVEYING LLC IN DECEMBER, 2024 & JANUARY, 2025.
2. THERE WERE NO WETLAND RESOURCE AREAS OBSERVED DURING THE FIELD SURVEY.
3. ELEVATIONS, SHOWN HEREON, REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. BY GRAPHIC PLOTTING ONLY, LOCUS IS LOCATED WITHIN ZONE "X" (UNSHADED), AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR STOUGHTON MASSACHUSETTS, MAP NO. 25021C0376E, DATED JULY 17, 2012.
5. LOCATION OF SUBSURFACE UTILITIES ARE BASED ON OBSERVABLE ABOVE GROUND EVIDENCE AND AVAILABLE TOWN AND PRIVATE UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. TOOMEY LAND SURVEYING LLC CANNOT BE HELD RESPONSIBLE FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE NOT SHOWN OR SHOWN INACCURATELY. THE CONTRACTOR SHOULD HAVE THE UTILITIES PROPERLY LOCATED PRIOR TO THE BEGINNING OF CONSTRUCTION BY CONTACTING DIGSAFE (888-344-7233). THE CONTRACTOR SHOULD ALSO EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.

- LEGEND
- BB.....BITUMINOUS BERM
 - BIT.....BITUMINOUS
 - CLF.....CHAINLINK FENCE
 - CONC.....CONCRETE
 - CRW.....CONCRETE RETAINING WALL
 - ELEV.....ELEVATION
 - EP.....EDGE OF PAVEMENT
 - FND.....FOUND
 - G.....GATE
 - I=.....INVERT ELEVATION
 - (M).....MARKED
 - N/F.....NOW OR FORMERLY
 - (R).....RECORD
 - R=.....RIM ELEVATION
 - SRW.....STONE RETAINING WALL
 - TBM.....TEMPORARY BENCHMARK
 - VERT.....VERTICAL
 - VGC.....VERTICAL GRANITE CURBING
 - W.....WATER LINE
 - S.....SEWER LINE
 - G.....GAS LINE
 - OHW.....OVERHEAD WIRE
 - VC.....VITRIFIED CLAY
 - PL.....PLASTIC
 - 40-.....INDEX CONTOUR
 - 41-.....INTERMEDIATE CONTOUR
 - 15'.....CONIFEROUS TREE/SIZE
 - 15'.....DECIDUOUS TREE/SIZE



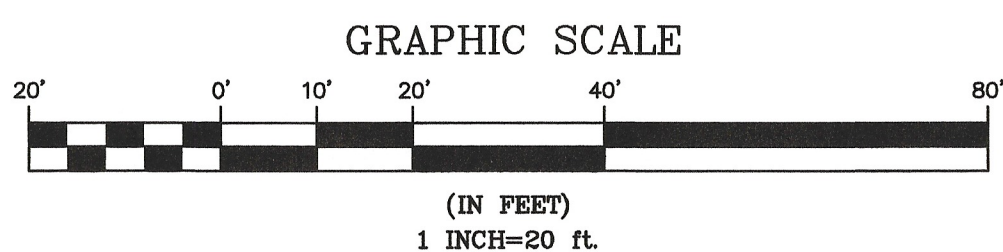
ZONING:
STOUGHTON CENTER DISTRICT (SCD) – FLEX SUBDISTRICT (F)

CRITERIA:	REQUIRED:
MINIMUM LOT AREA	3,500 S.F.
MINIMUM LOT WIDTH	20 FT.
MINIMUM LOT FRONTAGE	20 FT.
MINIMUM LOT DEPTH	75 FT.
MINIMUM FRONT SETBACK	*10 FT.
MINIMUM SIDE YARD SETBACK	5 FT.
MINIMUM REAR YARD SETBACK	**10 FT.
MAXIMUM BUILDING HEIGHT	45 FT.
MAXIMUM STORIES	4
MAXIMUM BUILDING AREA	80%
MINIMUM OPEN SPACE	10%

*WITHIN THE SCD, THERE IS ALSO A REQUIRED MAXIMUM FRONT YARD DEPTH OF 20 FEET. SEE SECTION 9.3.7, NOTE 1.
**WHERE ABUTTING A LOT OUTSIDE THE SCD, THE REQUIRED REAR YARD IS 15 FEET. SEE SECTION 9.3.7, NOTE 4.

RECORD OWNER:
H & R CONSTRUCTION CORP.
1204 WASHINGTON STREET
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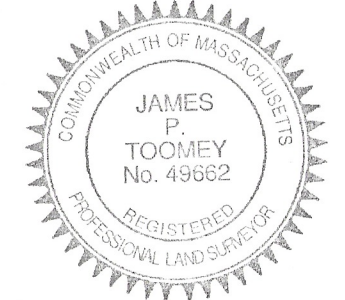
PLAN REFERENCES:
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PLAN NO. 512 OF 1944
PLAN NO. 1127 OF 1987
PLAN NO. 154 OF 1992
PLAN NO. 60 OF 2006



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY.

JAMES P. TOOMEY, PLS
(MA LIC. NO. 49662)

03/23/25
DATE



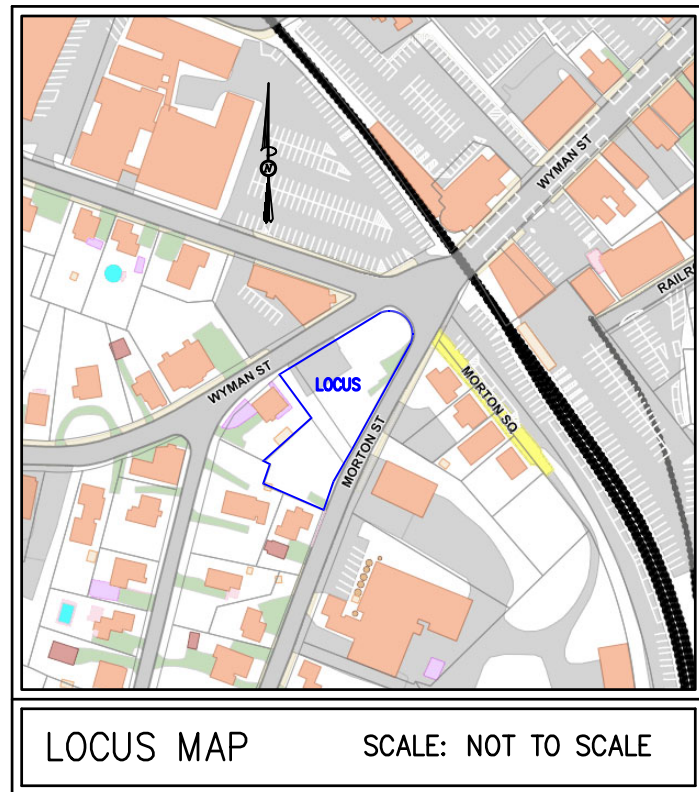
EXISTING CONDITIONS PLAN
3 MORTON STREET
STOUGHTON, MA

TOOMEY LAND SURVEYING LLC
PROFESSIONAL LAND SURVEYING
48 SUMMIT AVENUE, WALPOLE, MA 02081
JTOOMEY@TOOMEYSURVEYING.COM
(617) 877-1043

JOB: 24-69

DATE: JANUARY 7, 2025

SHEET 3 OF 9



ABBREVIATIONS

APPROX	APPROXIMATE
ASPH	ASPHALT
BD	BOUND
BLDG	BUILDING
BIT CONC	BITUMINOUS CONCRETE
BM	BENCHMARK
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HCR	HANDICAP RAMP
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OHW	OVERHEAD WIRE
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PVC	POLYVINYL CHLORIDE PIPE
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SB/DH	STONE BOUND/DRILL HOLE
SMH	SEWER MANHOLE
SS	SEWER SERVICE
TR	TREE
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W	WATER MAIN
WG	WATER GATE

UNDERGROUND UTILITIES

— E —	ELECTRIC
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— W —	WATER
R= (RIM ELEVATION)	

LEGEND

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⊙	MANHOLE
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⊙	CATCH BASIN
⊙	GAS GATE
⊙	WATER GATES
⊙	LIGHT POLE
⊙	ELECTRIC HANDHOLE
⊙	SPOT GRADE LOCATION
⊙	VENT
⊙	GAS METER
⊙	ROOF DRAIN
⊙	ELECTRIC METER
⊙	AIR CONDITIONER
⊙	OIL TANK
⊙	BULK HEAD

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PARKING CALCULATIONS

SECTION 9.3 OF THE STOUGHTON ZONING BYLAWS – TABLE 9.3.11 SCD PARKING SCHEDULE

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY		
13 – 1 BEDROOM UNITS	1 SPACES PER 1 BEDROOM UNIT = 13 SPACES	1 SPACE PER 1 BEDROOM UNIT = 14 SPACES
4 – 2 BEDROOM UNITS	1 SPACES PER 2 BEDROOM UNIT = 4 SPACES	1 SPACES PER 2 BEDROOM UNIT = 4 SPACES
TOTAL	17 SPACES	18 SPACES

NOTES:

- 5 REDUCED SIZE PARKING SPACES ARE PROPOSED = 28% OF TOTAL PARKING
- MINIMUM REDUCED PARKING SPACE DIMENSIONS = 18 FT x 8 FT
- 1 HANDICAP ACCESSIBLE VAN SPACE PROVIDED (1 REQUIRED)

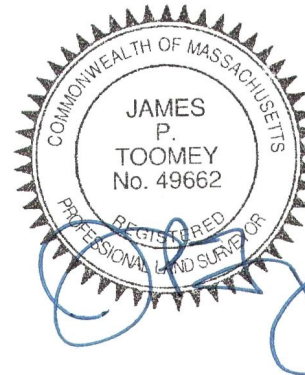
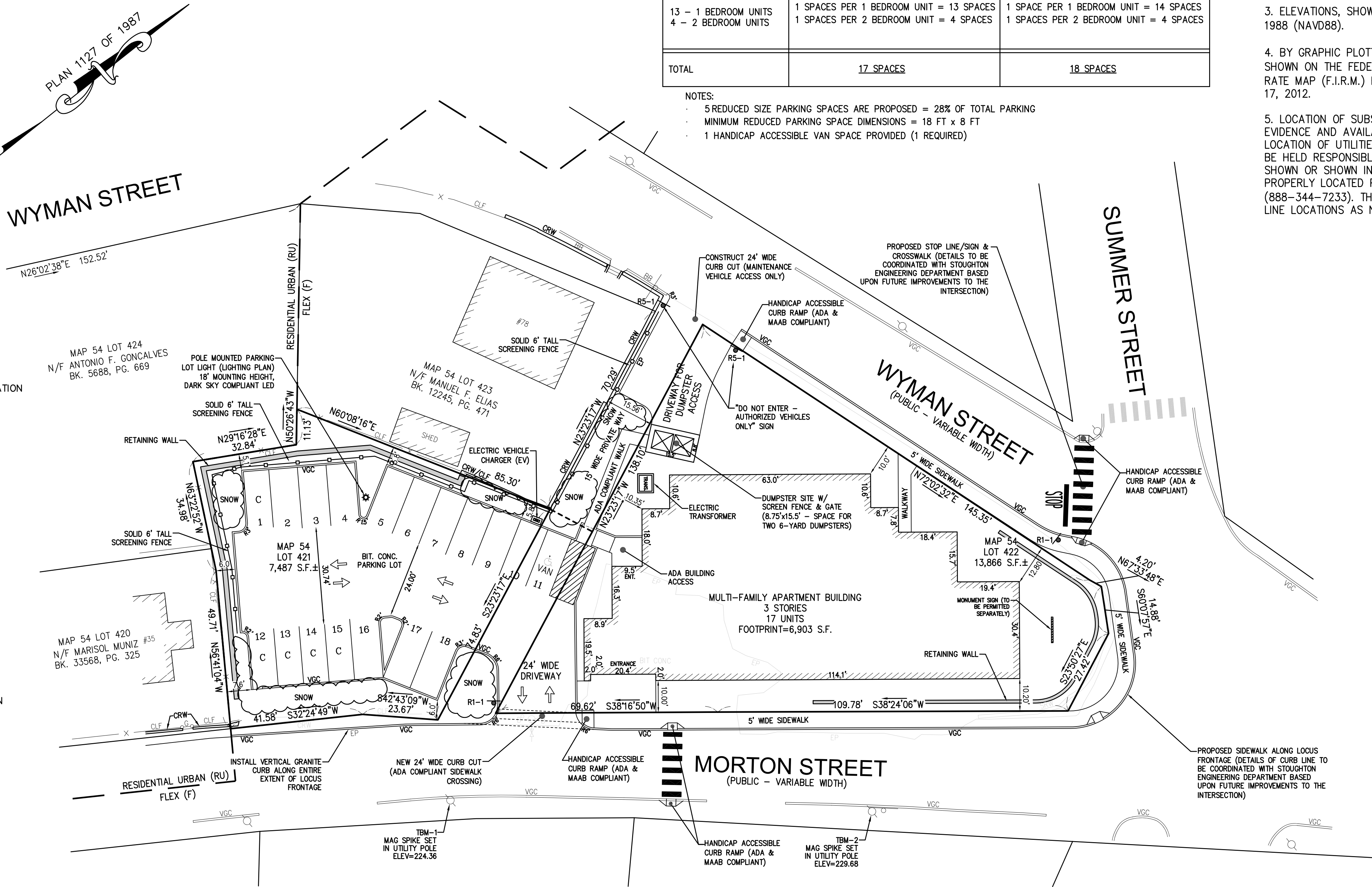
SITE NOTES

- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY TOOMEY LAND SURVEYING LLC IN DECEMBER, 2024 & JANUARY, 2025.
- THERE WERE NO WETLAND RESOURCE AREAS OBSERVED DURING THE FIELD SURVEY.
- ELEVATIONS, SHOWN HEREON, REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BY GRAPHIC PLOTTING ONLY, LOCUS IS LOCATED WITHIN ZONE "X" (UNSHADED), AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR STOUGHTON MASSACHUSETTS, MAP NO. 25021C0376E, DATED JULY 17, 2012.
- LOCATION OF SUBSURFACE UTILITIES ARE BASED ON OBSERVABLE ABOVE GROUND EVIDENCE AND AVAILABLE TOWN AND PRIVATE UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. TOOMEY LAND SURVEYING LLC CANNOT BE HELD RESPONSIBLE FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE NOT SHOWN OR SHOWN INACCURATELY. THE CONTRACTOR SHOULD HAVE THE UTILITIES PROPERLY LOCATED PRIOR TO THE BEGINNING OF CONSTRUCTION BY CONTACTING DIGSAFE (888-344-7233). THE CONTRACTOR SHOULD ALSO EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.

SITE PLAN APPROVAL

TOWN OF STOUGHTON
PLANNING BOARD

DATE: _____



GRAPHIC SCALE



(IN FEET)
1 INCH = 20 FEET

DRAWN BY: SCOTT P. HENDERSON, P.E.	PROJECT: MORTON STREET
SCALE: 1"=20'	ISSUE DATE: 3/24/2025
REVISION: 5/5/2025 - FIRST TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION: 5/23/25 - SECOND TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION:	
REVISION:	

ZONING:

STOUGHTON CENTER DISTRICT (SCD) – FLEX SUBDISTRICT (F)

CRITERIA:	REQUIRED:	PROPOSED:
MINIMUM LOT AREA	3,500 S.F.	21,353 S.F.
MINIMUM LOT WIDTH	20 FT.	55 FT.
MINIMUM LOT FRONTAGE	20 FT.	149.55 FT.
MINIMUM LOT DEPTH	75 FT.	55 FT.
MINIMUM FRONT SETBACK	*10 FT.	10.00 FT.
MINIMUM SIDE YARD SETBACK	5 FT.	5 FT.
MINIMUM REAR YARD SETBACK	*10 FT.	10.35 FT.
MAXIMUM BUILDING HEIGHT	45 FT.	36± FT.
MAXIMUM STORIES	4	3
MAXIMUM BUILDING AREA	80%	32.3%
MINIMUM OPEN SPACE	10%	35.9%

*WITHIN THE SCD, THERE IS ALSO A REQUIRED MAXIMUM FRONT YARD DEPTH OF 20 FEET. SEE SECTION 9.3.7, NOTE 1.

**WHERE ABUTTING A LOT OUTSIDE THE SCD, THE REQUIRED REAR YARD IS 15 FEET. SEE SECTION 9.3.7, NOTE 4.

HANDICAP PARKING

1 HANDICAP ACCESSIBLE SPACES PROVIDED
(1 VAN SPACES)

FOR A PARKING LOT WITH 15 TO 25 SPACES, 1 HANDICAP ACCESSIBLE SPACES MUST BE PROVIDED, 1 OF WHICH MUST BE VAN ACCESSIBLE.

ALL PROPOSED HANDICAP PARKING SPACES ON THE SITE SHALL COMPLY WITH ADA & MAAB DIMENSIONAL REQUIREMENTS. VAN ACCESSIBLE SPACES ARE DEMARCATED ON THE PLAN WITH "VAN" AND ALL OTHER SPACES ARE CAR ACCESSIBLE. THE FOLLOWING DIMENSIONS APPLY:

VAN ACCESSIBLE: 96" MINIMUM SPACE WIDTH
96" MINIMUM ACCESS AISLE WIDTH

CAR ACCESSIBLE: 96" MINIMUM SPACE WIDTH
60" MINIMUM ACCESS AISLE WIDTH

ALL PROPOSED ACCESSIBLE PARKING SPACES SHALL BE GRADED SUCH THAT GRADES DO NOT EXCEED A 2% CROSS SLOPE IN ANY DIRECTION.

STANDARD ADA, MAAB, AND MUTCD SIGNAGE WILL BE INSTALLED FOR ALL PROPOSED ACCESSIBLE SPACES. VAN ACCESSIBLE SPACES WILL BE MARKED WITH SIGNAGE INDICATING "VAN ACCESSIBLE."

TOOMEY LAND SURVEYING LLC

PROFESSIONAL LAND SURVEYING

48 SUMMIT AVENUE, WALPOLE, MA 02081

JTOOMEY@TOOMEYSURVEYING.COM (617) 877-1043

HENDERSON CONSULTING SERVICES

Professional Civil Engineering & Land Planning

P.O. Box 626, Lexington, MA 02420

(774) 993-9903 hcscivil@gmail.com



PROJECT:

SITE DEVELOPMENT PLAN
3 & 23 MORTON STREET
ASSESSOR'S PARCELS 54-421 & 54-422
STOUGHTON, MASSACHUSETTS

APPLICANT:

ROMA REALTY TRUST
15 FELIX STREET
DEDHAM, MA 02026

DRAWING TITLE

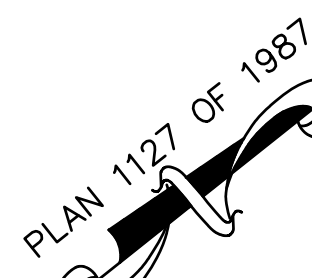
Layout Plan

SHEET #

4 of 11

GROUND COVER STATISTICS (LOCUS & PRIVATE WAY)

AREA COMPONENT	PROPOSED
BUILDING ROOF	6,903 S.F.
PAVEMENT & HARDSCAPE	8,253 S.F.
LAWN & LANDSCAPE	8,322 S.F.
TOTAL	23,478 S.F.
IMPERVIOUS	15,156 S.F. (64.6%)



MAP 54 LOT 423
N/F MANUEL F. ELIAS
BK. 12245, PG. 471

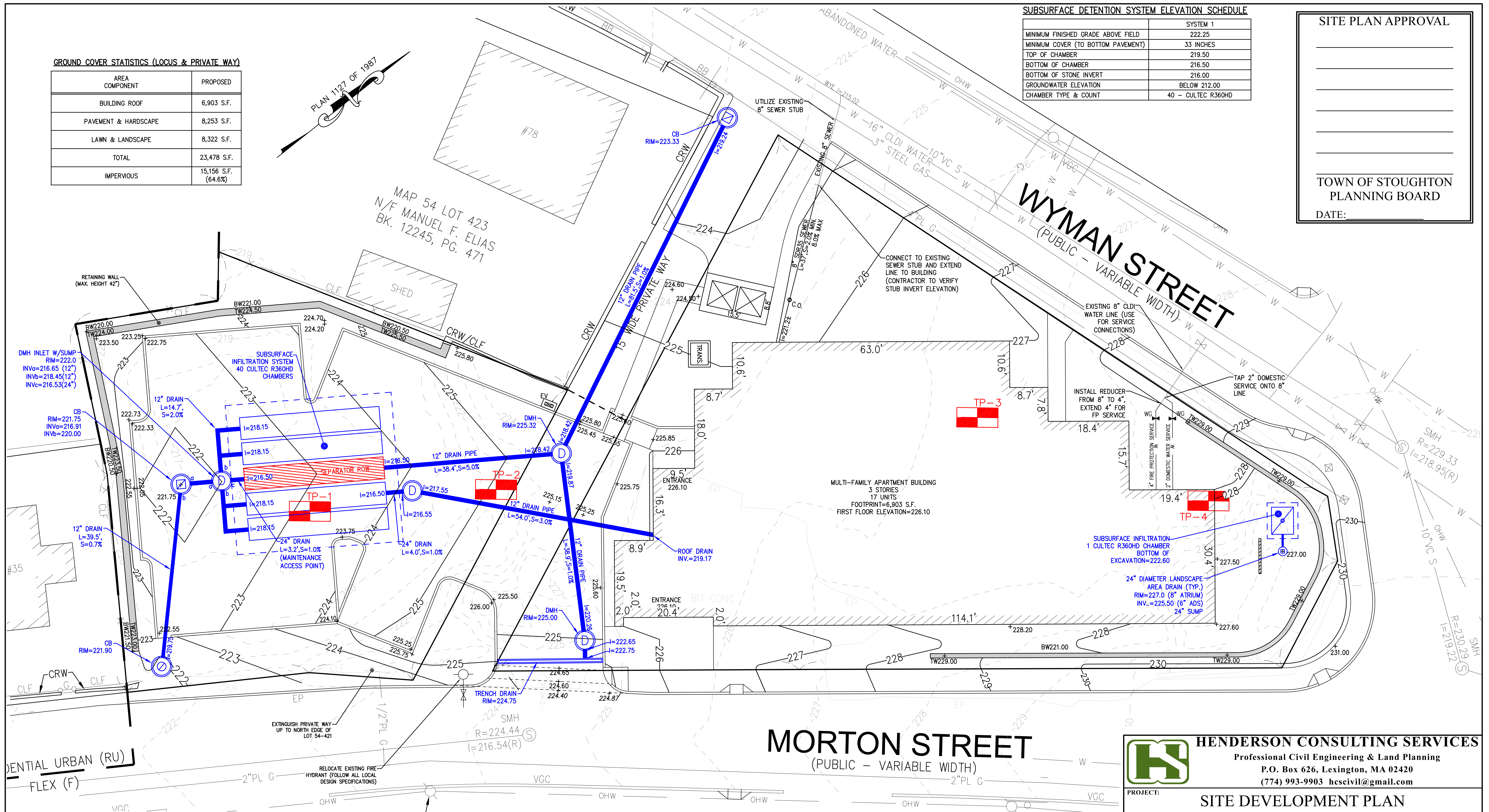
SUBSURFACE DETENTION SYSTEM ELEVATION SCHEDULE

	SYSTEM 1
MINIMUM FINISHED GRADE ABOVE FIELD	222.25
MINIMUM COVER (TO BOTTOM PAVEMENT)	33 INCHES
TOP OF CHAMBER	219.50
BOTTOM OF CHAMBER	216.50
BOTTOM OF STONE INVERT	216.00
GROUNDWATER ELEVATION	BELOW 212.00
CHAMBER TYPE & COUNT	40 - CULTEC R360HD

SITE PLAN APPROVAL

TOWN OF STOUGHTON
PLANNING BOARD

DATE: _____



SOIL TEST DATA

SOIL TESTING AND EVALUATION BY:
SCOTT P. HENDERSON, S.E. #13694 ON 11/18/24

TP-1	APPROX. GRADE EL. 218.4±
FILL SANDY MATERIAL	36"
C1 HORIZON GRAVEL	50"
C2 HORIZON GRAVELLY SAND	82"
NO MOTTLING OBSERVED NO GROUNDWATER OBSERVED E.S.H.G.W. = BELOW 82" (EL. 211.6) FALLING HEAD PERMEABILITY 64.7 in/hr @ 50"	

TP-2	APPROX. GRADE EL. 221.5±
FILL SANDY MATERIAL	18"
C1 HORIZON GRAVELLY SAND	42"
C2 HORIZON GRAVEL	72"
C3 HORIZON GRAVELLY SAND	96"
NO MOTTLING OBSERVED NO GROUNDWATER OBSERVED E.S.H.G.W. = BELOW 96" (EL. 213.5) FALLING HEAD PERMEABILITY 110.9 in/hr @ 48"	

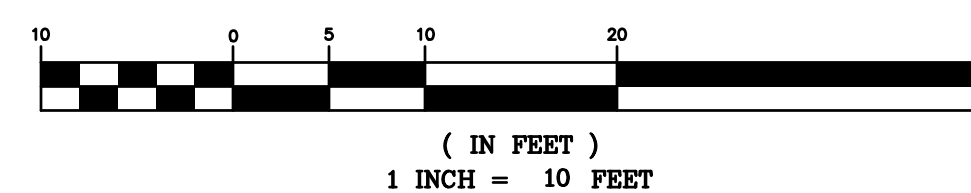
TP-3	APPROX. GRADE EL. 226.1±
FILL URBAN FILL	52"
C HORIZON LOAMY SAND	72"
REFUSAL	
NO MOTTLING OBSERVED NO GROUNDWATER OBSERVED	

TP-4	APPROX. GRADE EL. 227.6±
FILL GRAVELLY MATERIAL	60"
C HORIZON GRAVELLY SAND	96"
NO MOTTLING OBSERVED NO GROUNDWATER OBSERVED	



MORTON STREET
(PUBLIC - VARIABLE WIDTH)

GRAPHIC SCALE



HENDERSON CONSULTING SERVICES

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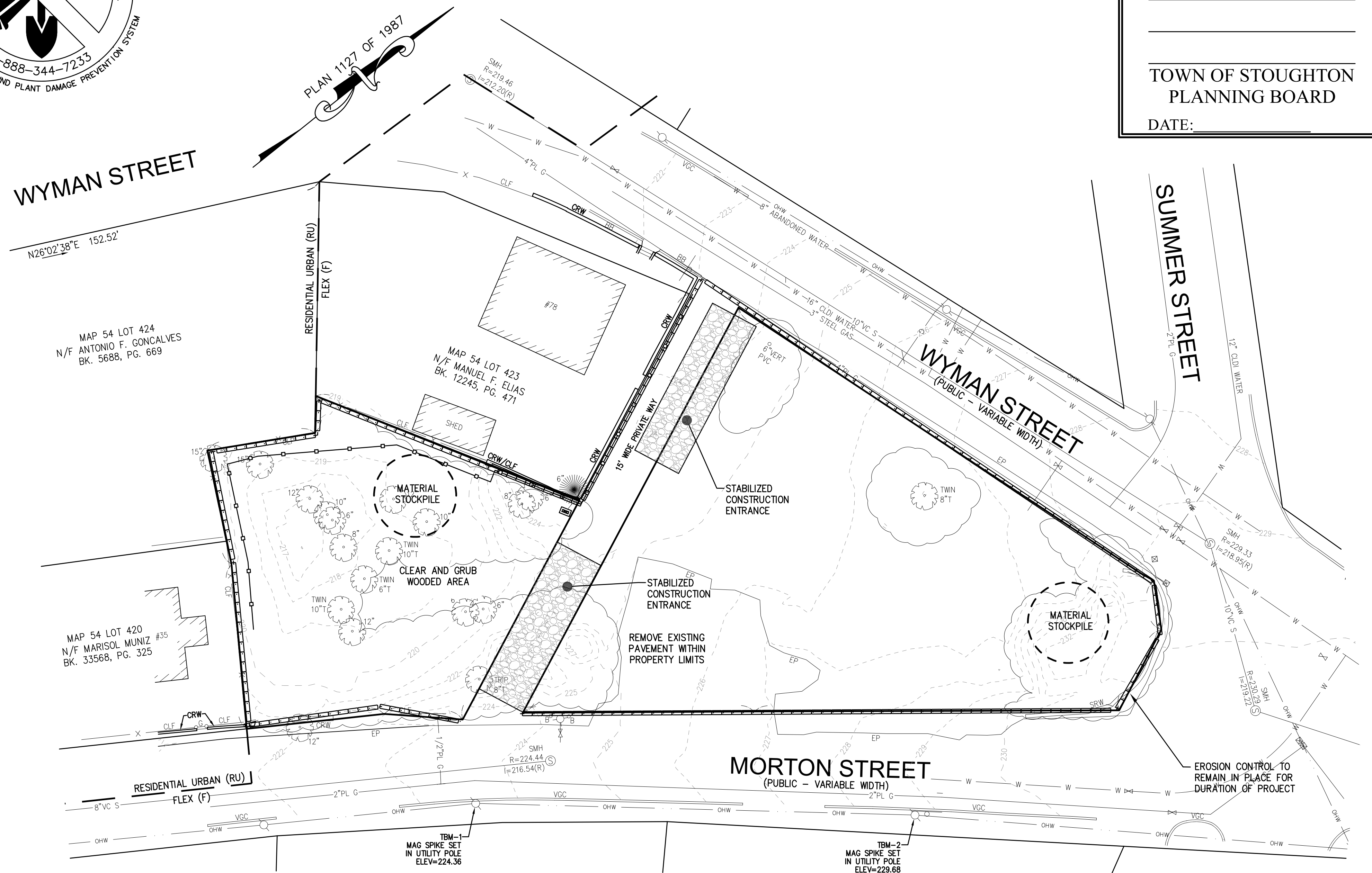
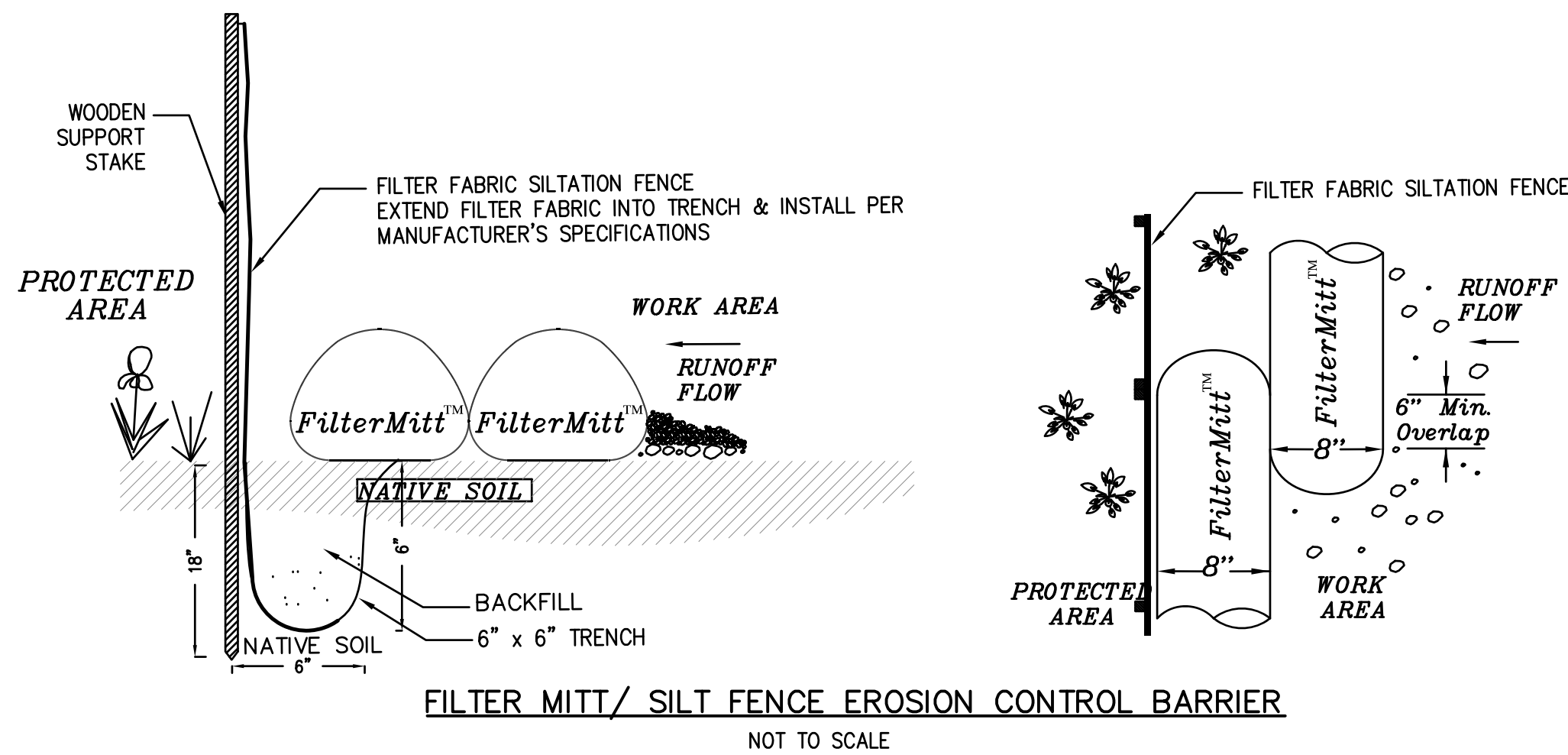
DRAWING TITLE

Grading & Utility Plan

SHEET #

5 of 11

PERMIT SET



GENERAL UTILITY NOTES

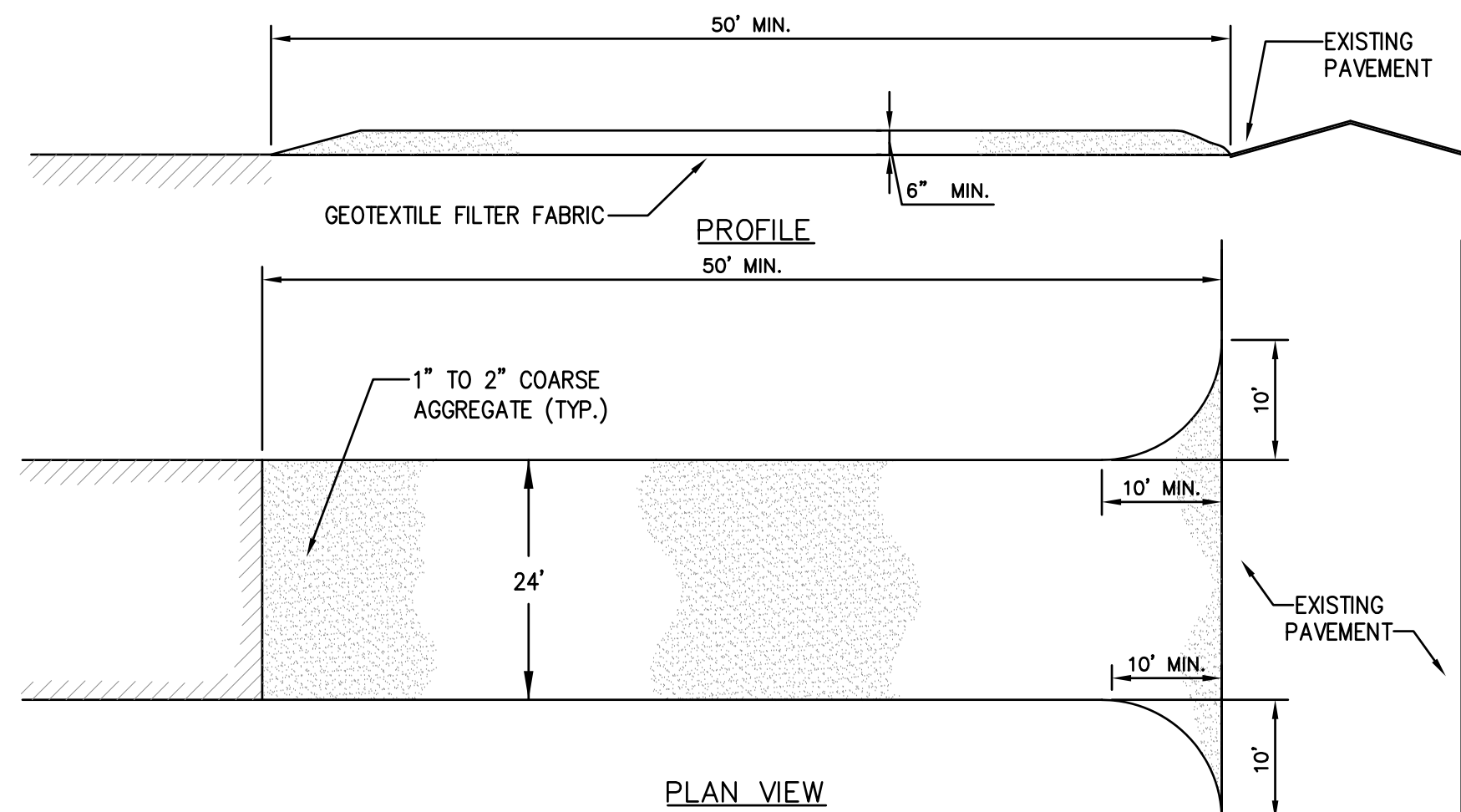
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. ALL ABANDONED STRUCTURES SHOULD BE REMOVED OR FILLED WITH DENSE GRADE AND STONE.

SITE SECURITY NOTES

1. THE CONTRACTOR SHALL INSTALL A SECURITY FENCE AROUND THE ENTIRE SITE PERIMETER PER ALL APPLICABLE FEDERAL, STATE AND LOCAL STANDARDS, INCLUDING OSHA REGULATIONS. FENCE SHALL BE SECURED DURING ALL NON-WORKING HOURS TO PREVENT TRESPASS ONTO THE CONSTRUCTION SITE.
2. DURING CONSTRUCTION HOURS, ALL SITE VISITORS ARE REQUIRED TO CHECK-IN WITH THE PROJECT SUPERVISOR ON-SITE AND BE CLEARED TO ENTER THE WORK ZONE. OSHA TRAINING AND APPROPRIATE PROTECTIVE GEAR IS REQUIRED FOR ALL SITE VISITORS

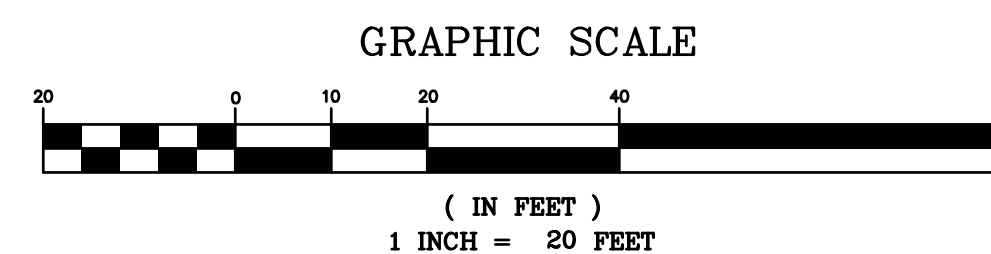
SITE PREPARATION NOTES

1. EROSION CONTROL AND PERIMETER FENCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION.
2. ALL DEMOLITION AND MATERIAL DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WILL ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
3. MATERIAL STOCKPILE AREAS SHALL BE SURROUNDED WITH TEMPORARY EROSION CONTROLS. SOIL STOCKPILES SHALL BE COVERED WITH A TARP AT THE END OF EACH DAY.



CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 18 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



DRAWN BY: SCOTT P. HENDERSON, P.E.	PROJECT: MORTON STREET
SCALE: 1"=20'	ISSUE DATE: 3/24/2025
REVISION: 5/5/2025 - FIRST TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION: 5/23/25 - SECOND TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION:	
REVISION:	



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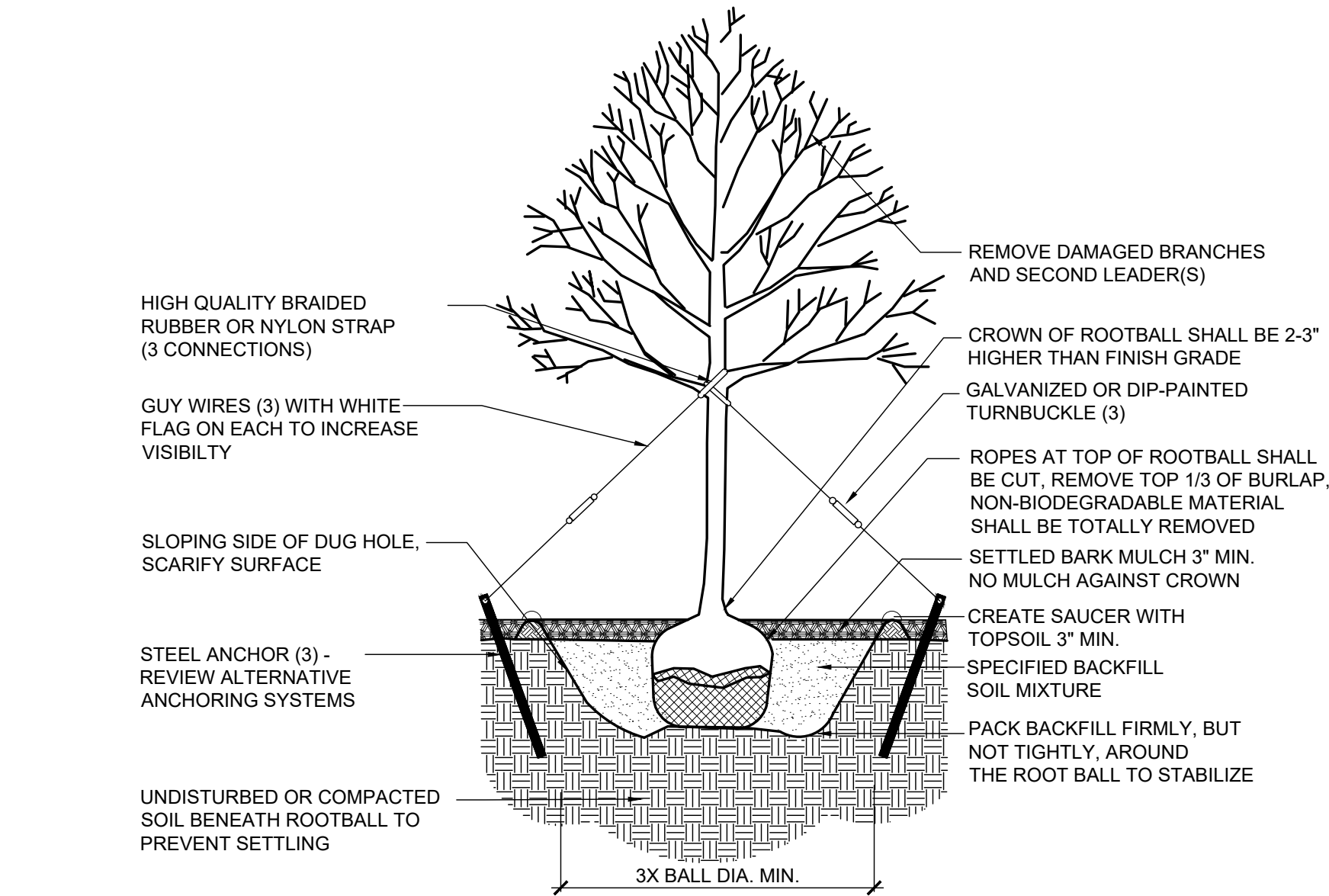
DRAWING TITLE
Site Preparation Plan

SHEET #
8 of 11

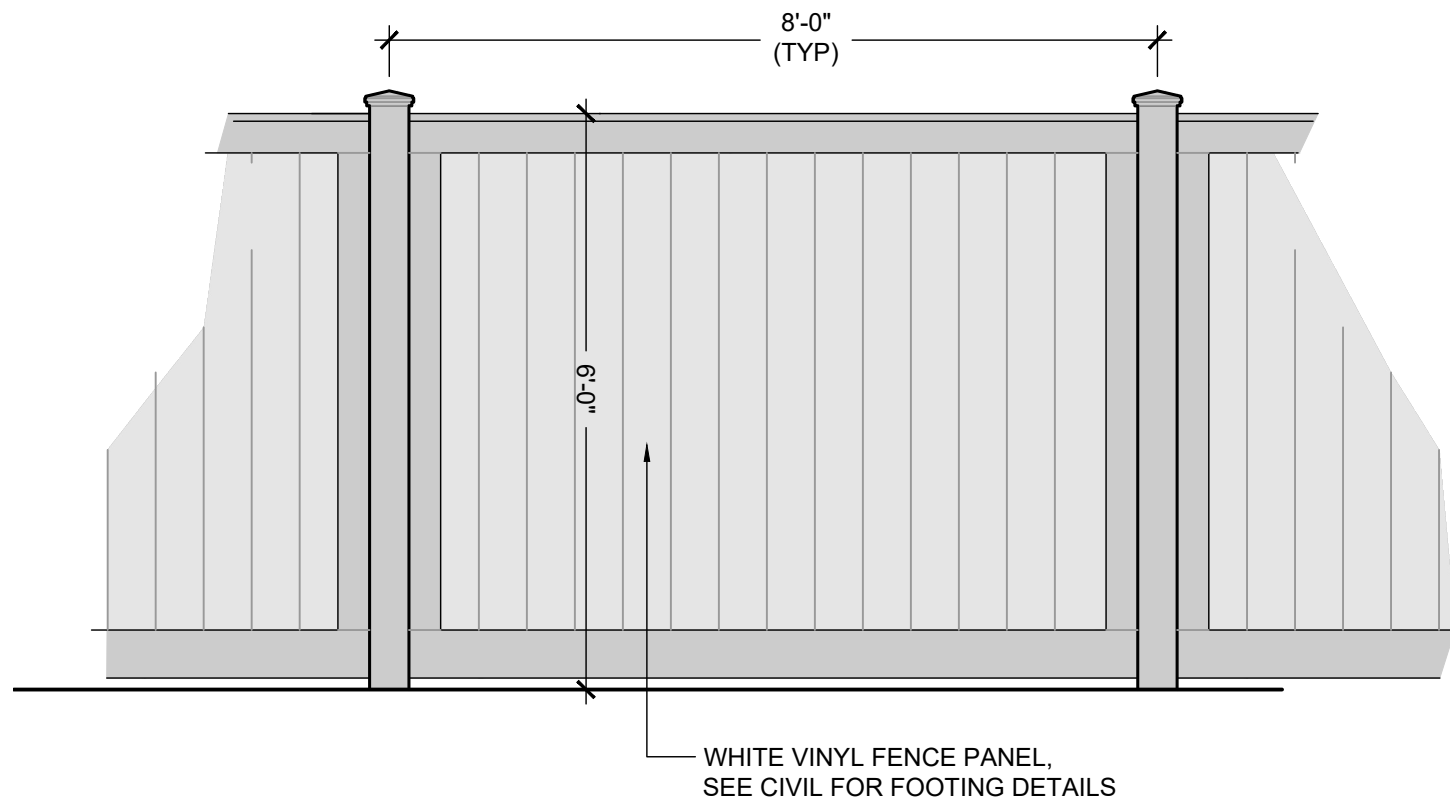
SITE PLAN APPROVAL

TOWN OF STOUGHTON
PLANNING BOARD

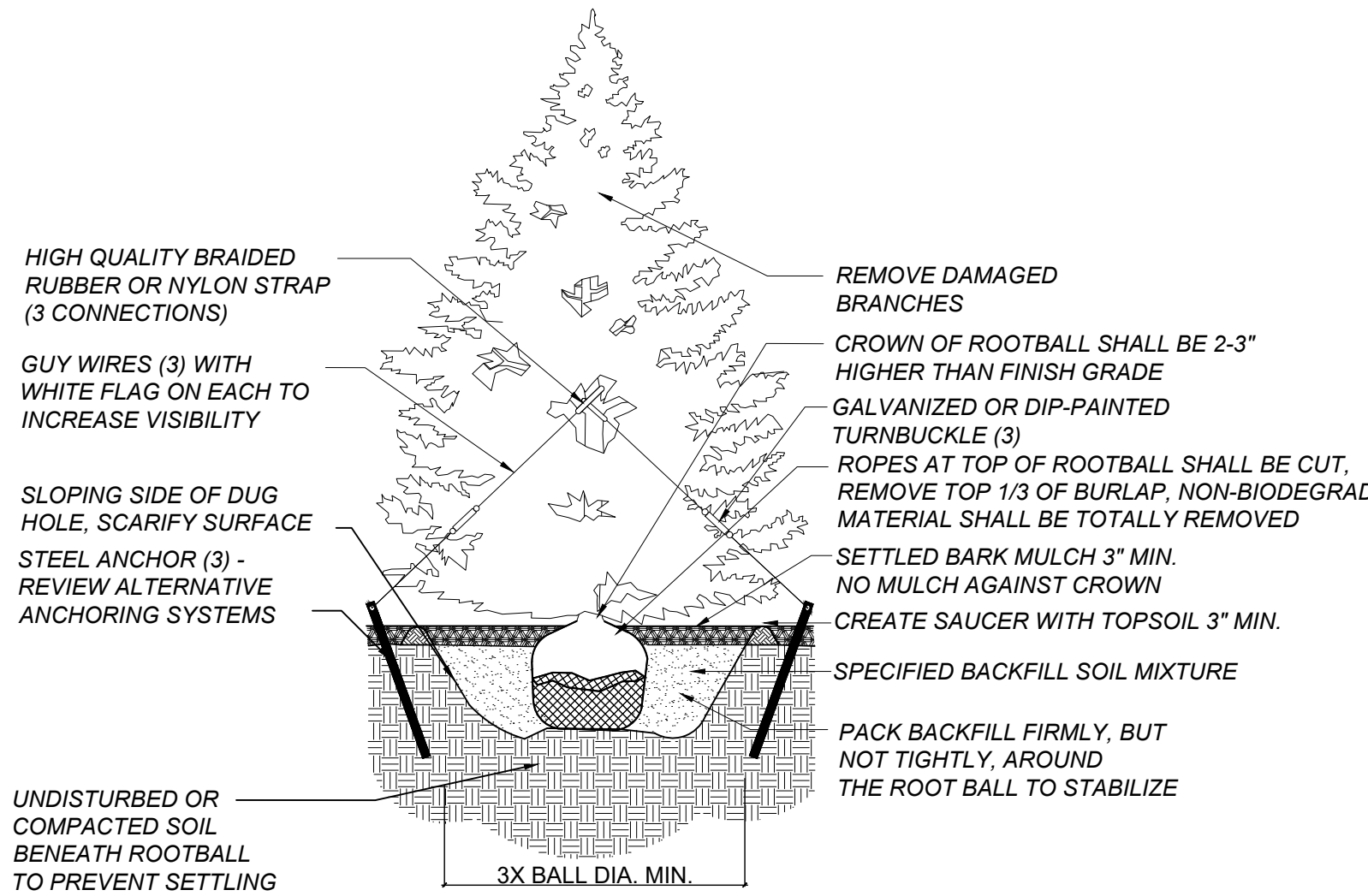
DATE:



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



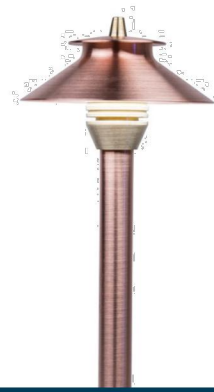
FENCE ELEVATION
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

FXLuminaire.

PF LED Path Light DESIGNER PREMIUM



PROJECT
CATALOG #
TYPE
NOTES

The luxurious PF is a scaled down version of the DM and GN. The design of the PF resembles the cantilevered elements of a Thai temple. It's a perfect complement to all craftsman style architecture. Like all FX lighting instruments, the PF is suggestive to a variety of outdoor garden and architectural themes but it is never predictable, which prevents the PF from becoming mundane. Use the PF in combination with its bigger brothers, by using the DM and GN to address different size areas with a unified fixture design style.

Quick Facts

- Copper/brass construction
- Natural, powder coated, or antiqued copper/brass
- Cree® Integrated LEDs
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

Note: Example model shown has a 12" riser.

Footcandles (Lux)	12" Riser	18" Riser
0.1 fc (1.1 lx)	6.5' (2.0 m)	8.4' (2.6 m)
0.3 fc (3.2 lx)	5.0' (1.5 m)	6.6' (2.0 m)
0.5 fc (5.4 lx)	4.5' (1.4 m)	6.0' (1.8 m)
0.8 fc (8.6 lx)	4.3' (1.3 m)	5.0' (1.5 m)
1.0 fc (10.8 lx)	4.0' (1.2 m)	4.5' (1.4 m)

0.1 fc (1.1 lx) minimum spacing recommended for residential projects
0.3 fc (3.2 lx) minimum spacing recommended for commercial projects

LANDSCAPE AND ARCHITECTURAL LIGHTING

Learn more. Visit: fxl.com | +1 760.744.5240

1 of 7

Generated 16 Oct 2024 15:25:41

PATH LIGHT
NOT TO SCALE

FXLuminaire.

Up Lights



Optional Long Shroud

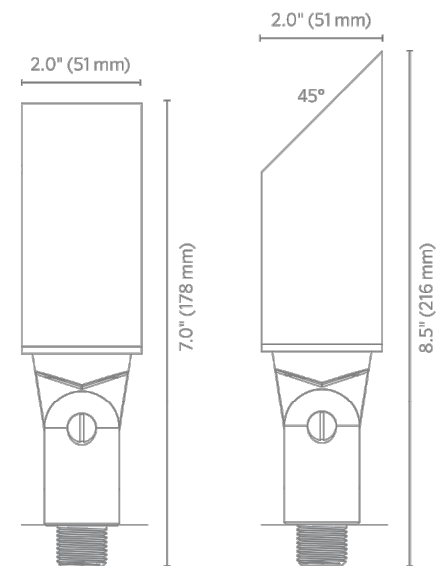
PROJECT
CATALOG #
TYPE
NOTES

MR Up Light STANDARD PREMIUM

This MR copper/brass up light brings the elegance and performance of precious metals to the FX Luminaire line.

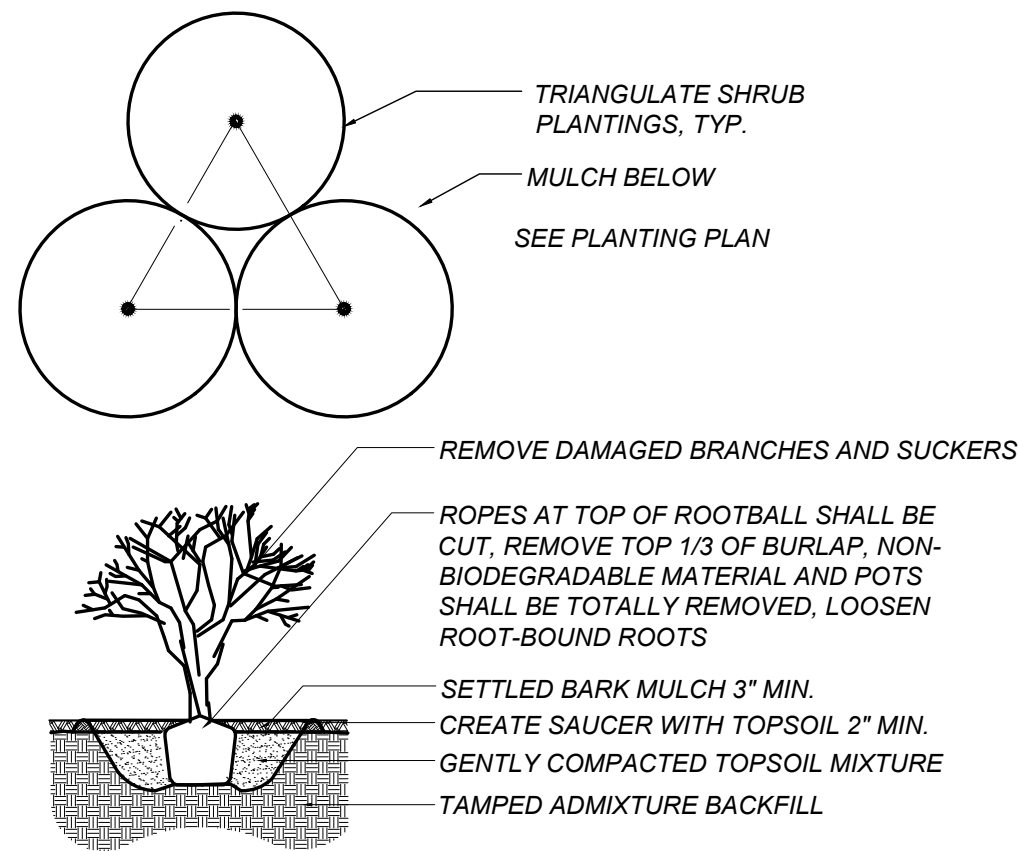
Quick Facts

- Copper/brass construction
- Natural copper/brass or antique finishes
- Accepts MR-11 LED lamps
- ProAim® adjustability
- Phase dimmable
- Input voltage: 10 to 15 V



LANDSCAPE & ARCHITECTURAL LIGHTING

UPLIGHT
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

DETAILS

3 MORTON STREET
STOUGHTON, MA

SEAN PAPICH
landscape architecture

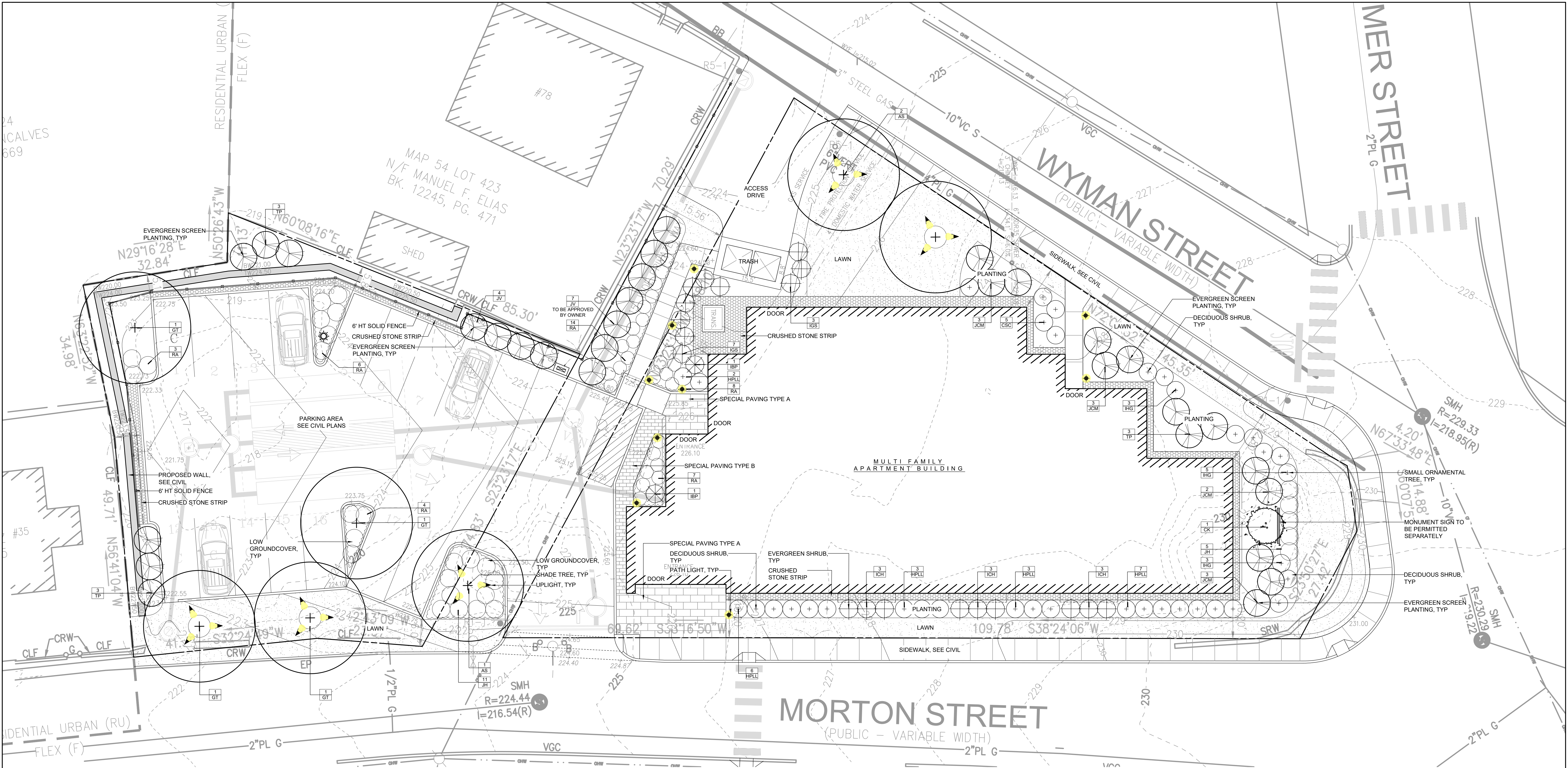
222 north street
T781.741.5455

hingham.ma 02043
www.seanpapich.com

DATE: MAY 5, 2025
MAY 19, 2025
MAY 27, 2025

SCALE: AS NOTED

PROJECT NO. 2504



PLANTING LEGEND

MASTER PLANT LIST				27-May-25
3 Morton Street, Stoughton, MA				
prepared by: SEAN PAPICH landscape architecture				
SYM	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
EVERGREEN TREES				
JV	11 <i>Juniperus virginiana</i>	Eastern Red Cedar	7-8' ht	B&B
JCM	11 <i>Juniperus chinensis</i> 'Mountbattan'	Mountbattan Juniper	7-8' ht	B&B
TP	9 <i>Thuja plicata</i> 'Steeplechase'	Steeplechase Western Arborvitae	7-8' ht	B&B
LARGE SHADE TREES				
AS	3 <i>Acer saccharum</i>	Sugar Maple	3" cal.	B&B
GT	4 <i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster Thornless Honey Locust	3" cal.	B&B
ORNAMENTAL TREES				
CK	1 <i>Cornus 'Rutgan'</i> Stellar Pink	Stellar Pink Dogwood	7-8' clump	B&B
SHRUBS				
CSC	5 <i>Clethra alnifolia</i> 'Sixteen Candles'	Sixteen Candles Summersweet	#7	CONTAINER OR B&B
HPLL	21 <i>Hydrangea paniculata</i> 'Little Lime'	Little Lime Hydrangea	#7	CONTAINER OR B&B
ICH	9 <i>Ilex crenata</i> 'Hoogendorn'	Hoogendorn Japanese Holly	2-3' ht.	CONTAINER OR B&B
IGS	10 <i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	2-3' ht.	CONTAINER OR B&B
IBP	2 <i>Ilex meserveae</i> 'Blue Princess'	Blue Princess Holly	2-3' ht.	CONTAINER OR B&B
IHG	11 <i>Itea virginica</i> 'Henry's Garnet'	Henry's Garnet Sweetspire	#3	CONTAINER OR B&B
JH	16 <i>Juniperus horizontalis</i>	Creeping Juniper	#3	CONTAINER OR B&B
RA	42 <i>Rhus aromatica</i> 'Gro-Low'	Gro Low Fragrant Sumac	#5	CONTAINER OR B&B

LANDSCAPE PLAN

3 MORTON STREET
STOUGHTON, MA

SEAN PAPICH
landscape architecture

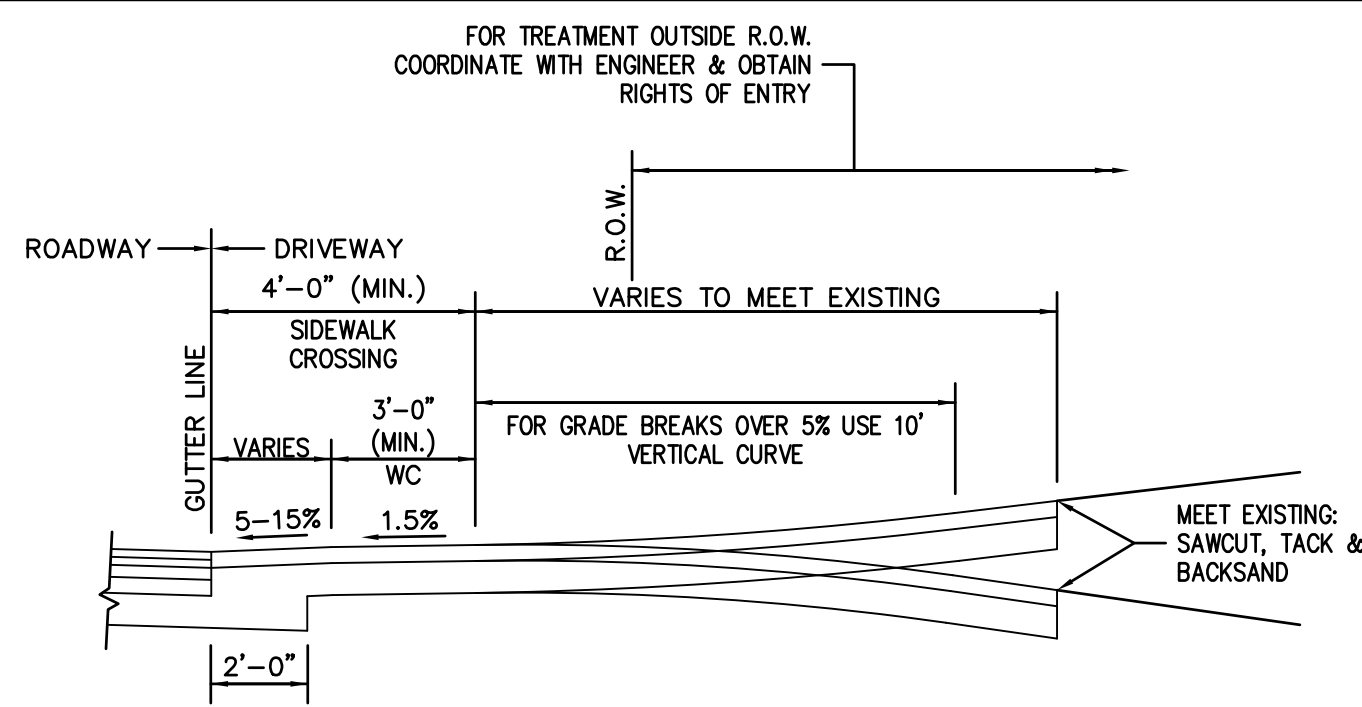
222 north street
T781.741.5455

hingham.ma 02043
www.seanpapich.com

DATE: MARCH 20, 2025
APRIL 21, 2025
MAY 5, 2025
MAY 19, 2025
MAY 27, 2025

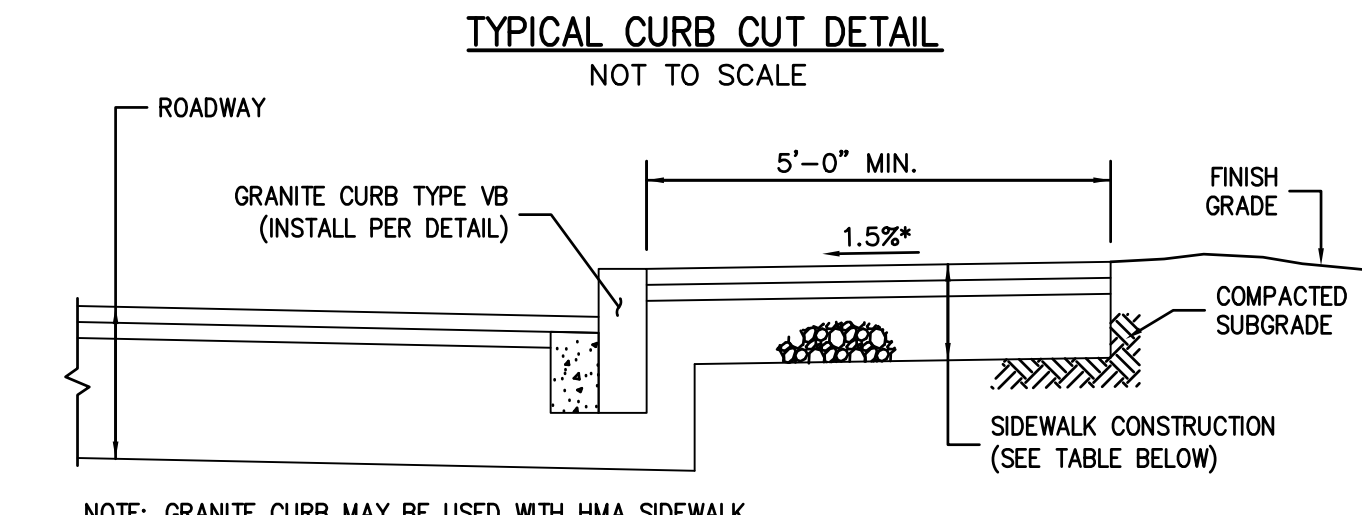
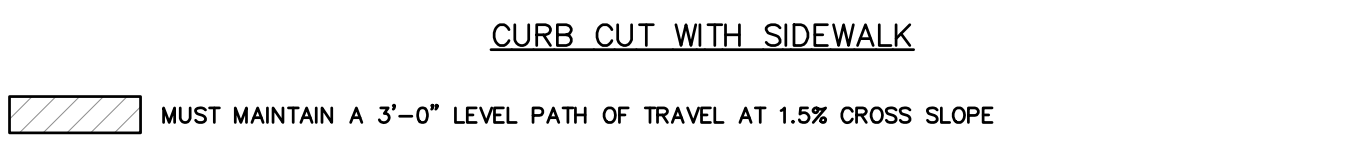
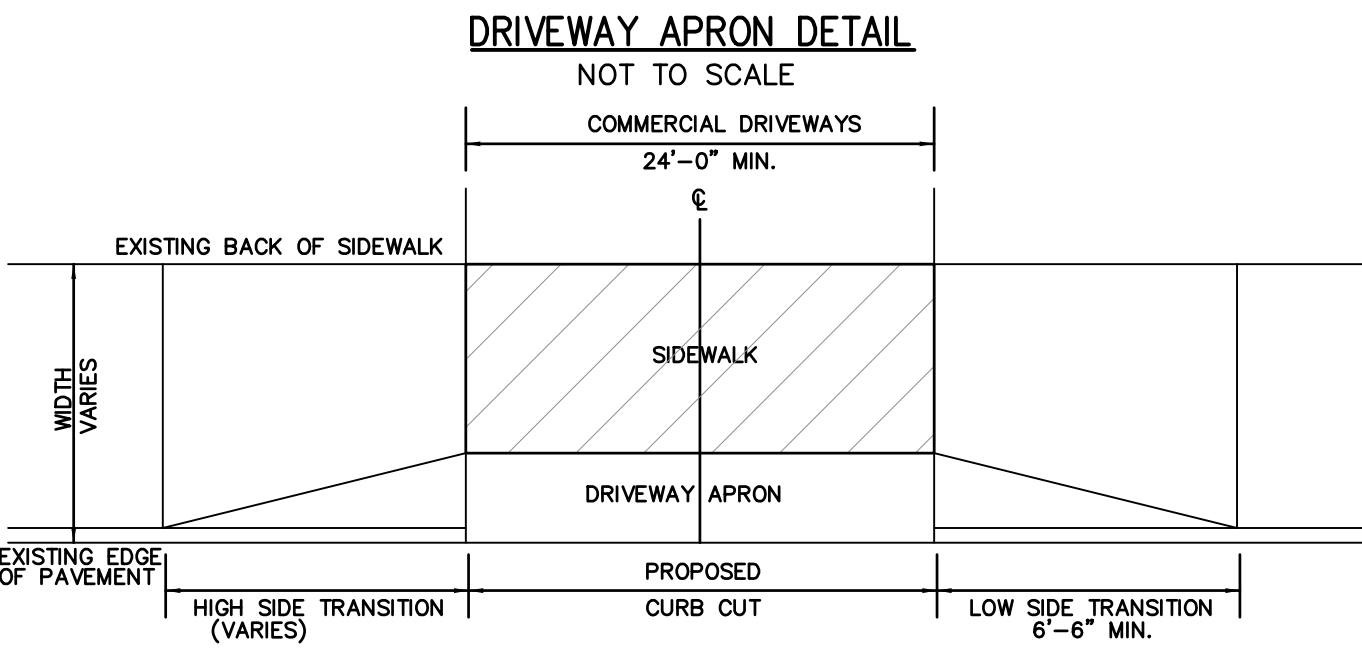
SCALE: 1" = 10'-0"

PROJECT NO. 2504



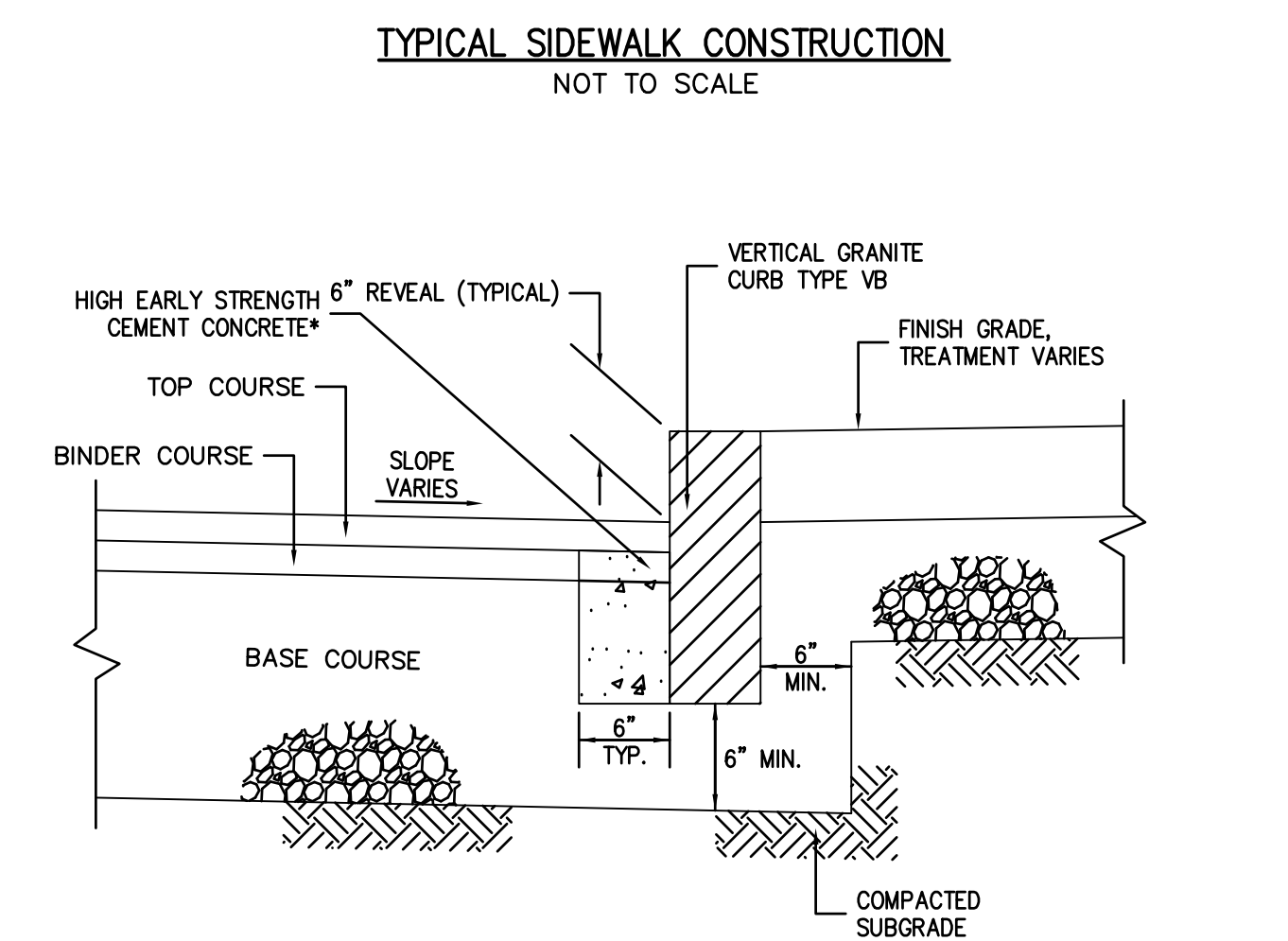
DRIVEWAY APRON CONSTRUCTION	
SURFACE:	3-1/2" HOT MIX ASPHALT (1-1/2" TOP COURSE MATERIAL OVER 2" BINDER COURSE MATERIAL)
SUBBASE:	8" GRAVEL BORROW (TYPE "B")

WC = WHEELCHAIR (PATHWAY)
R.O.W. = RIGHT OF WAY



HOT MIX ASPHALT SIDEWALK	
SIDEWALK CONSTRUCTION	
SURFACE:	2.5" HOT MIX ASPHALT (1.25" TOP COURSE MATERIAL OVER 1.25" BINDER COURSE MATERIAL)
SUBBASE:	8" GRAVEL BORROW (TYPE "B")

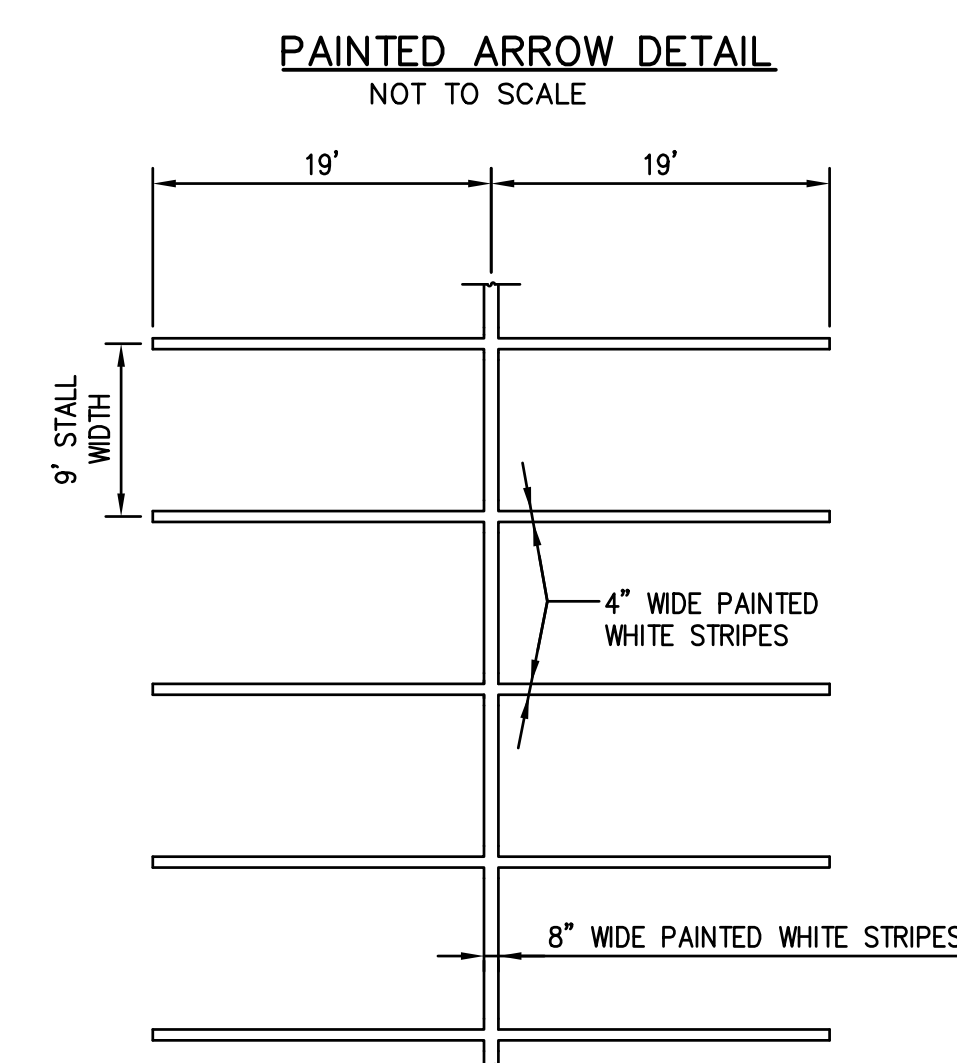
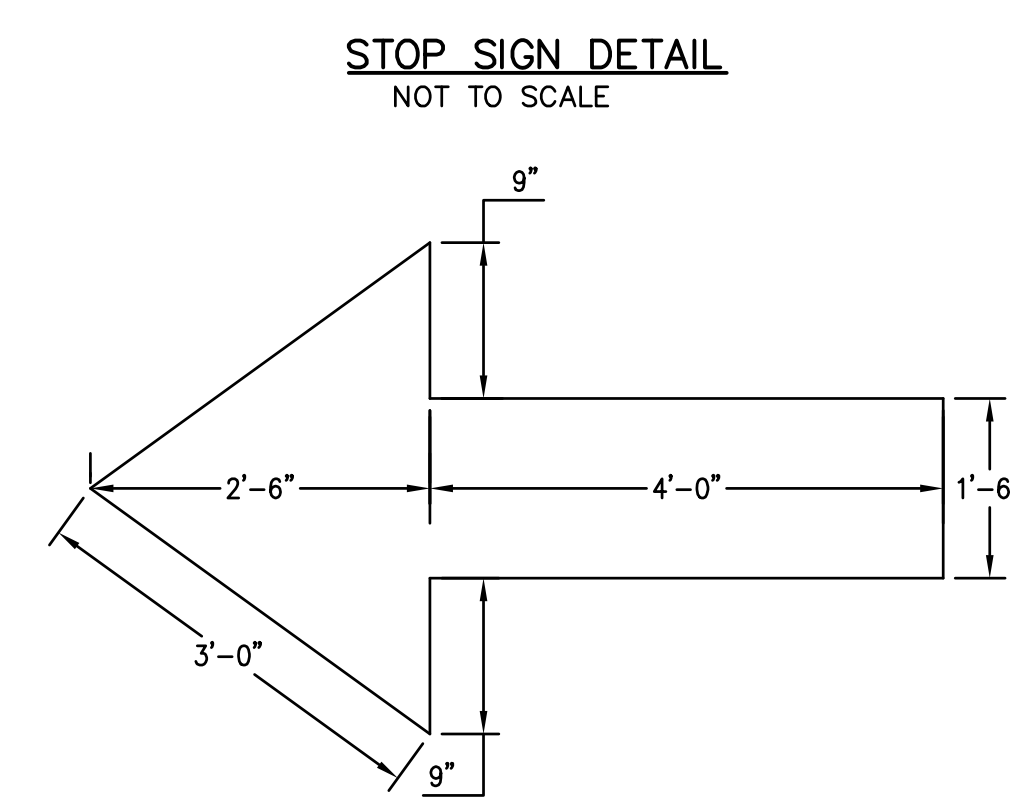
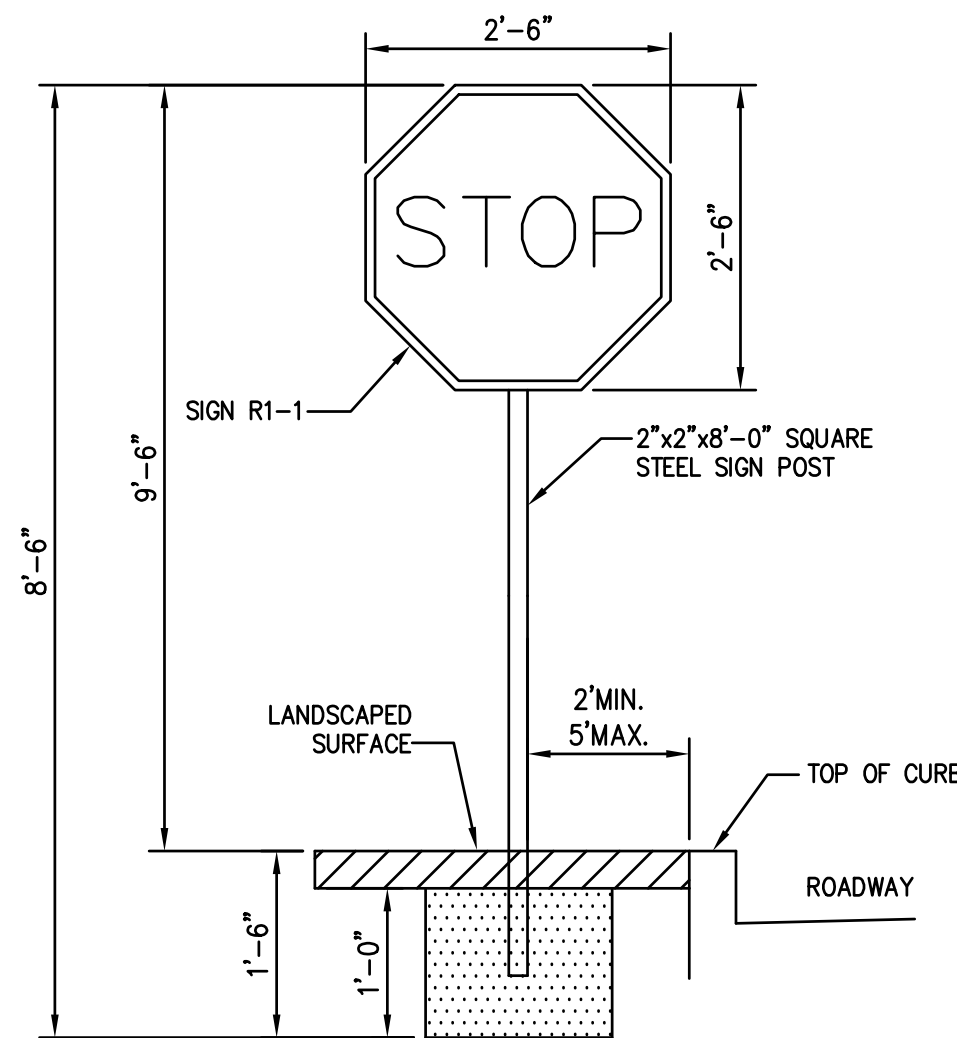
* - TOLERANCE FOR CONSTRUCTION ±0.5%



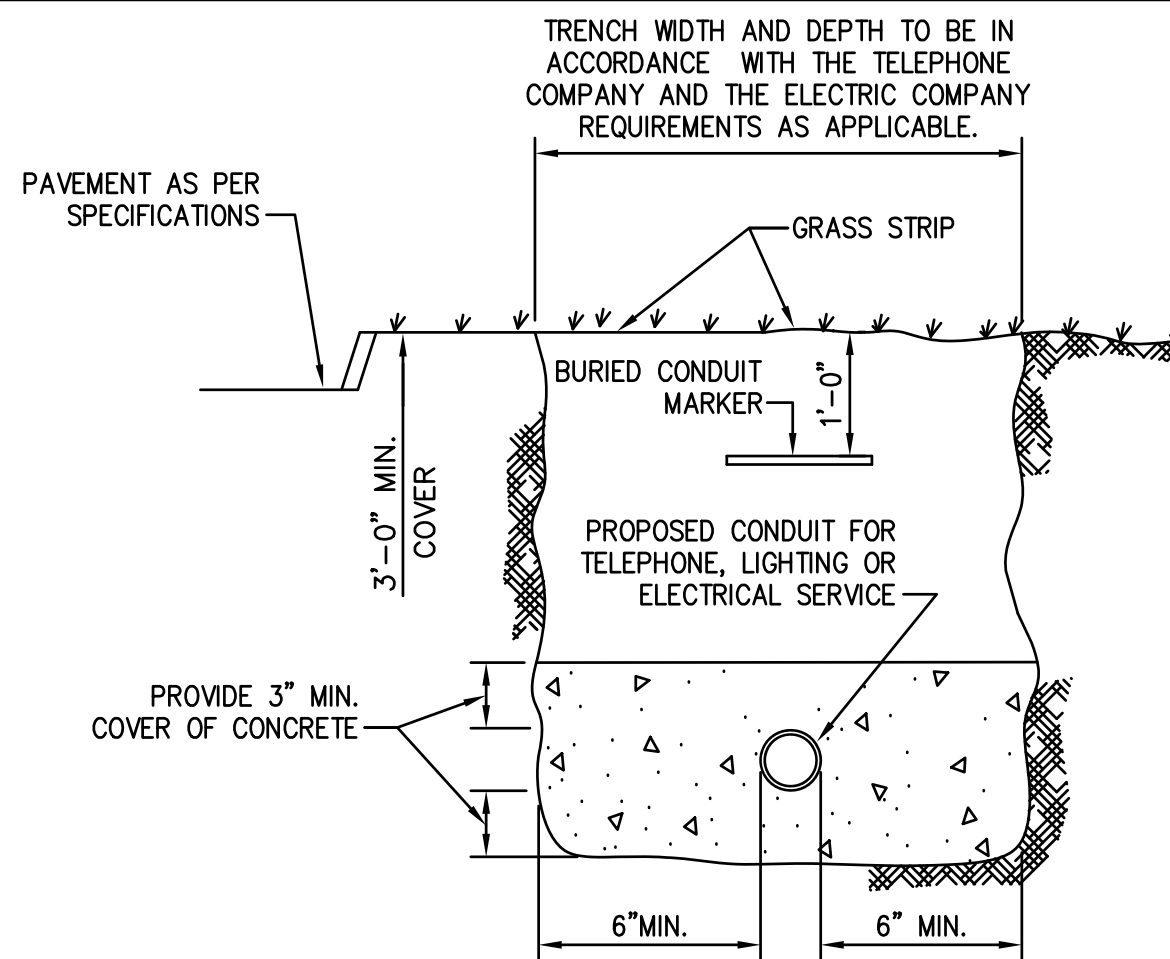
* - CEMENT CONCRETE TO BE USED IF CURB IS SET AFTER BASE AND/OR BINDER IS IN PLACE. PAYMENT FOR CEMENT CONCRETE SHALL BE INCLUDED IN THE PRICE PER LINEAR FOOT OF CURB.



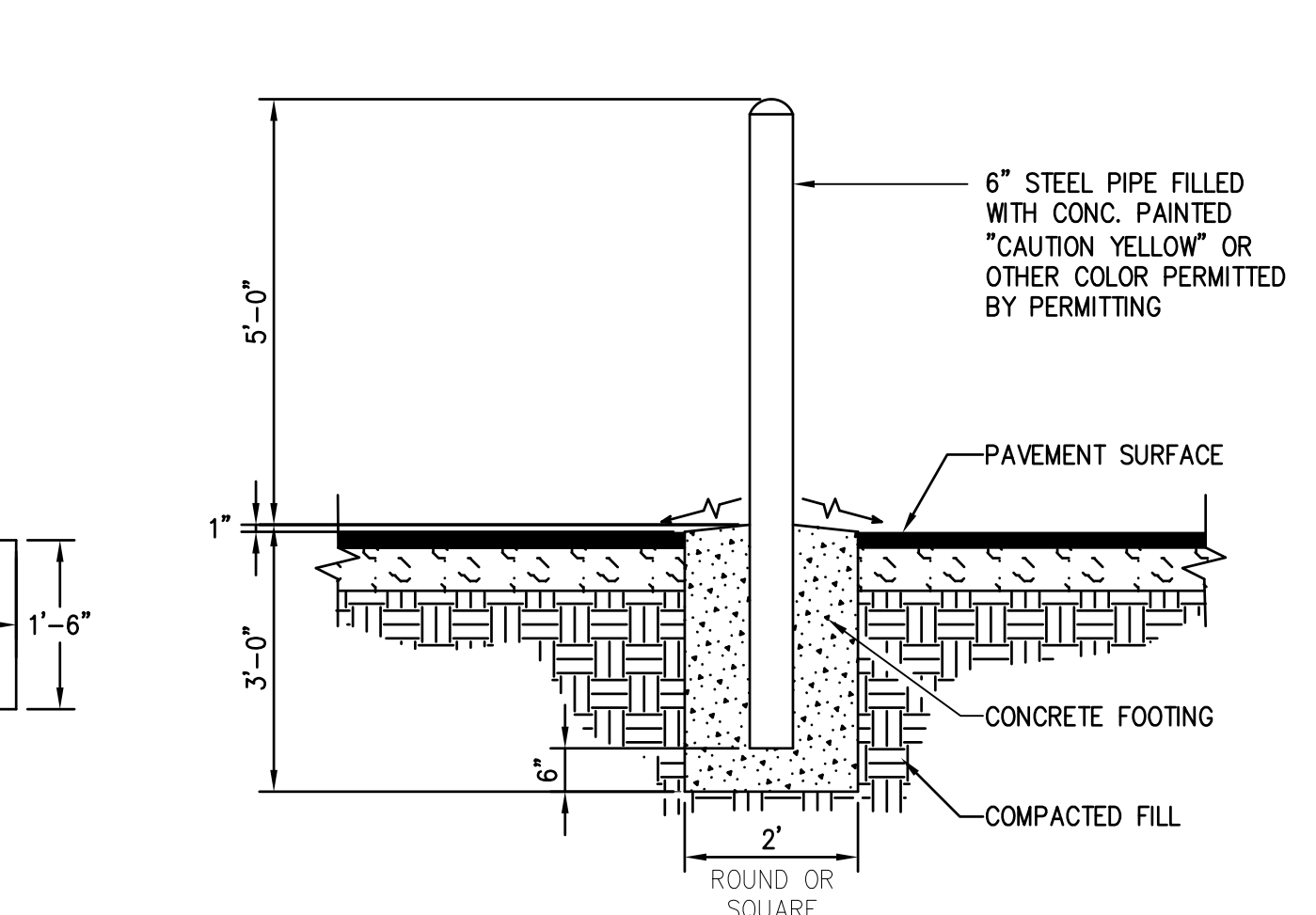
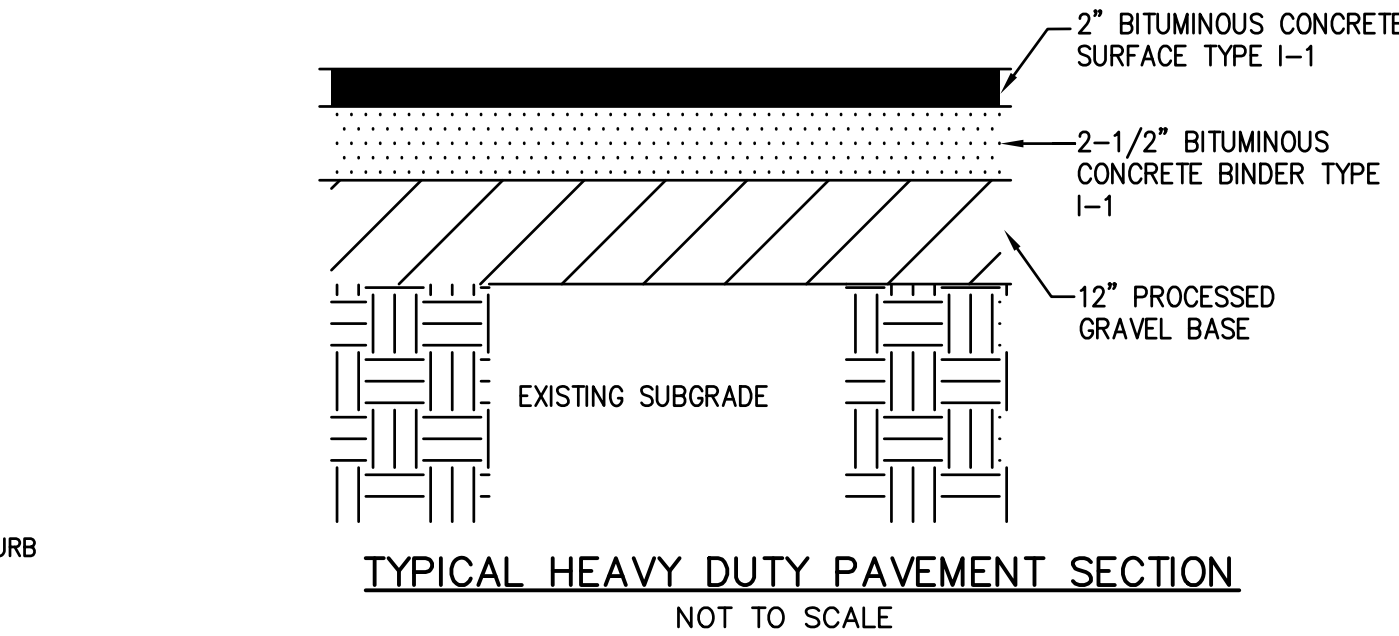
R5-1 MUTCD SIGN
NOT TO SCALE



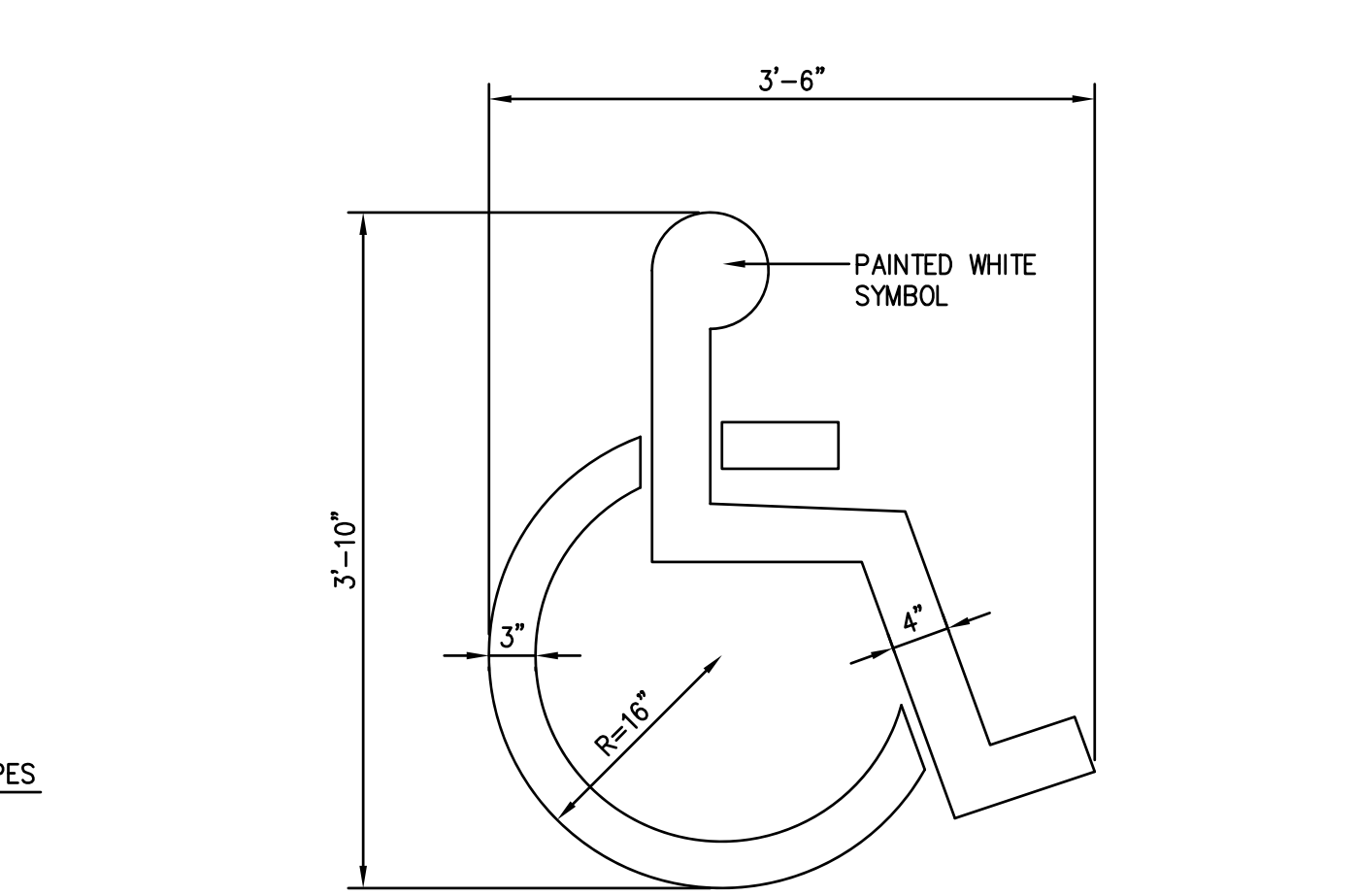
TYPICAL STRIPING DETAIL
NOT TO SCALE



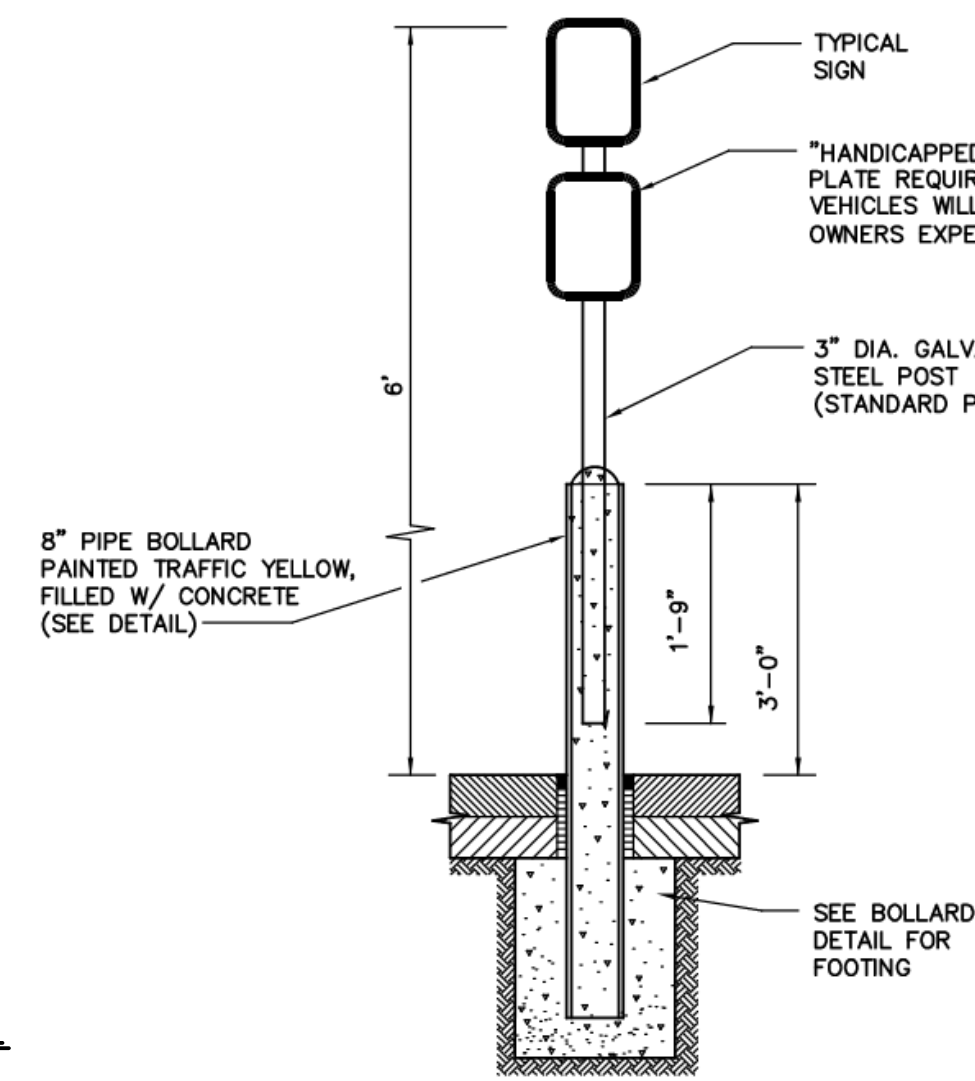
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NOT TO SCALE



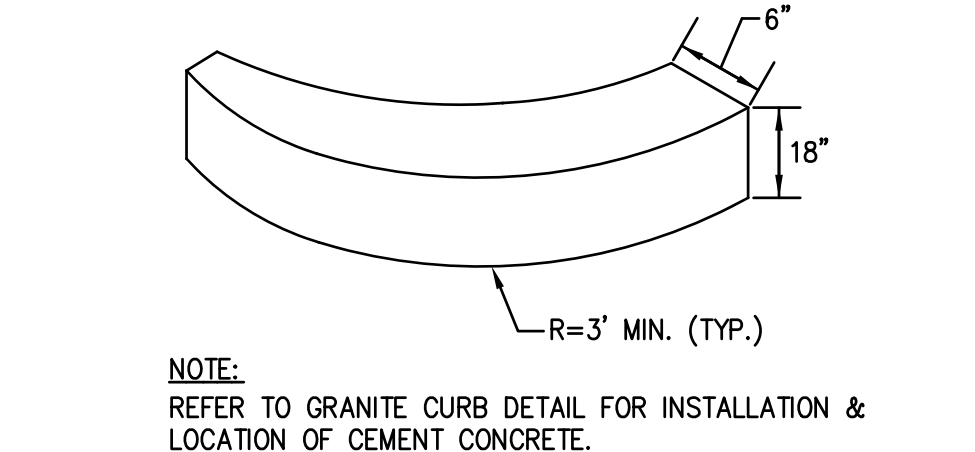
TYPICAL BOLLARD DETAIL
NOT TO SCALE



PAINTED HANDICAP SYMBOL DETAIL
NOT TO SCALE



HANDICAP PARKING BASE SIGN
NOT TO SCALE



GRANITE BULLNOSE CURB DETAIL
NOT TO SCALE



PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DAR-ON-LIGHT.

SECTION A-A

50% TO 60% OF THE BASE DIAMETER

0.9"-1.4"

0.2"

LEGEND:

W = SIDEWALK WIDTH

Wc = CURB WIDTH

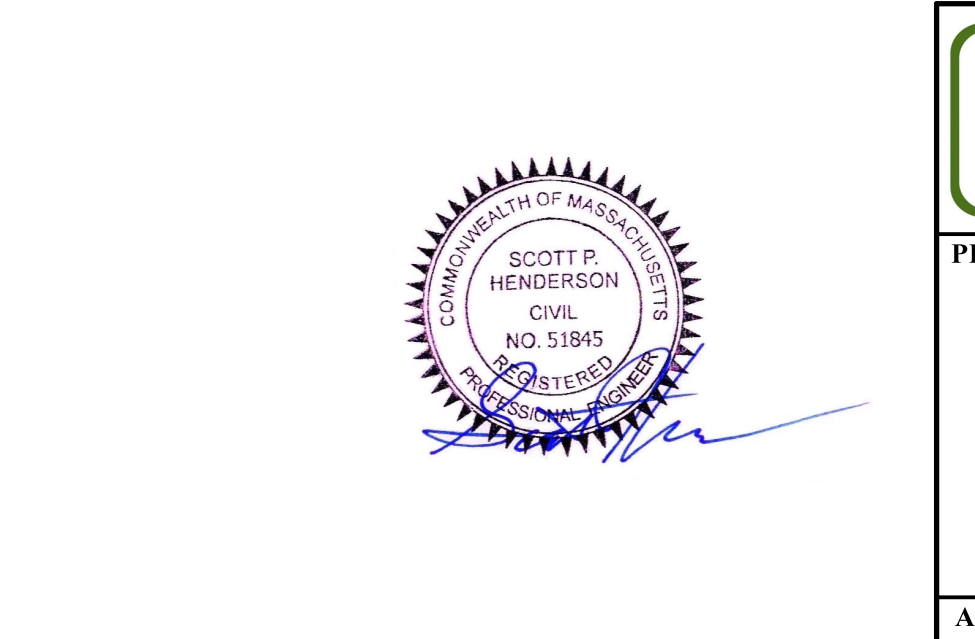
* = TOLERANCE FOR CONSTRUCTION ±0.5%

- USABLE SIDEWALK WIDTH PER AAB = W - Wc

- USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"

SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD, THE AMERICANS WITH DISABILITIES ACT AND THE CURRENT MassDOT CONSTRUCTION STANDARDS.

TYPICAL WHEELCHAIR RAMP
NOT TO SCALE



TYPICAL WHEELCHAIR RAMP
NOT TO SCALE

DRAWN BY: SCOTT P. HENDERSON, P.E.	PROJECT: MORTON STREET
SCALE: AS NOTED	ISSUE DATE: 3/24/2025
REVISION: 5/5/2025 - FIRST TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION: 5/23/25 - SECOND TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION:	
REVISION:	

TYPICAL WHEELCHAIR RAMP
NOT TO SCALE

SITE PLAN APPROVAL

TOWN OF STOUGHTON
PLANNING BOARD

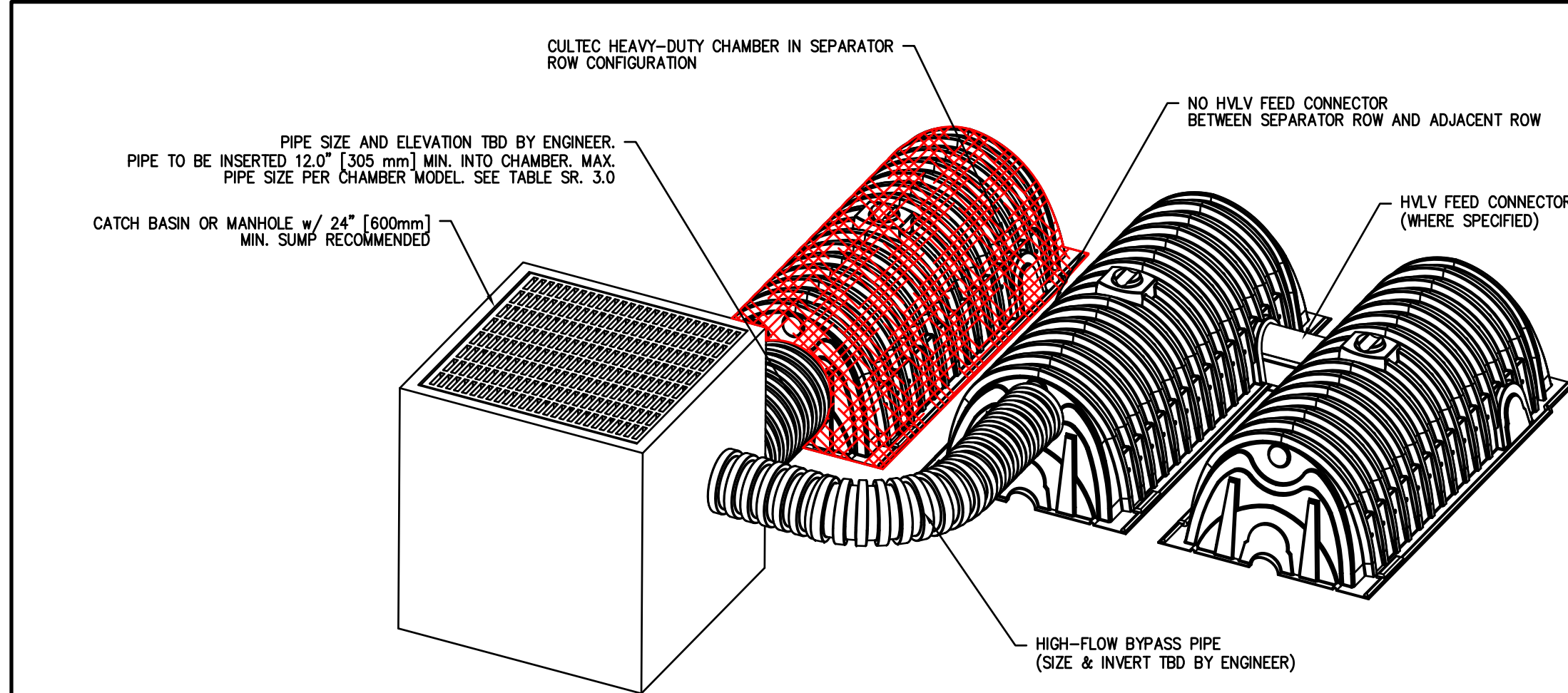
DATE: _____

HENDERSON CONSULTING SERVICES
Professional Civil Engineering & Land Planning
P.O. Box 626, Lexington, MA 02420
(774) 993-9903 hscivil@gmail.com

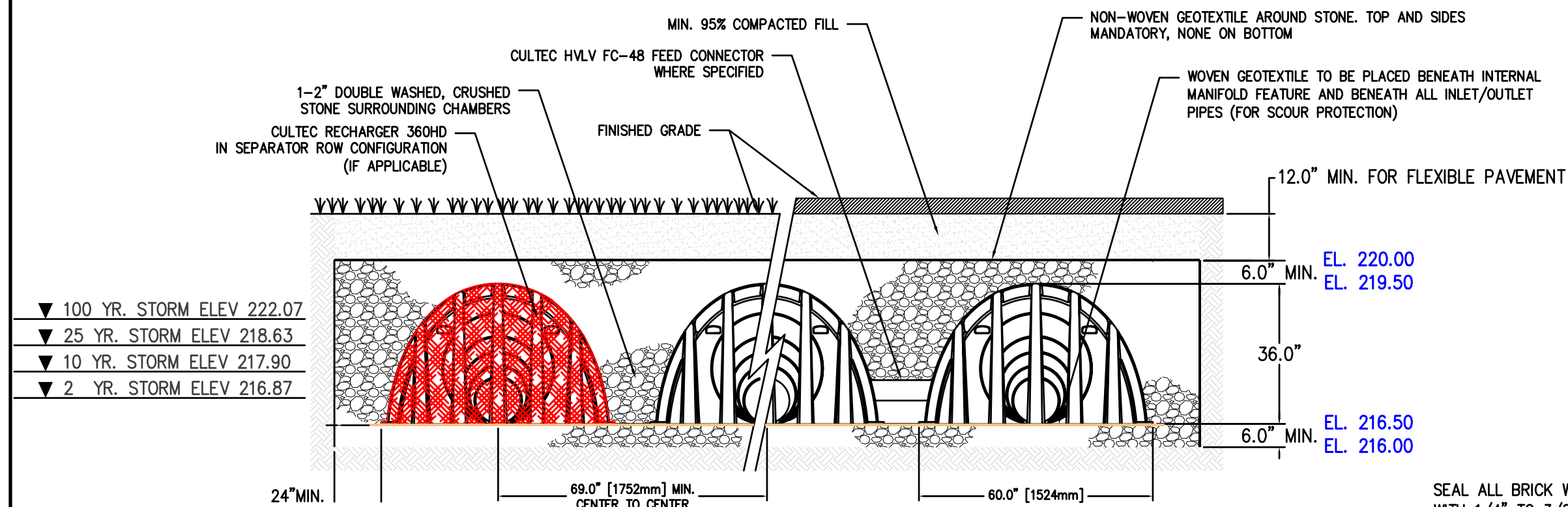
PROJECT: SITE DEVELOPMENT PLAN
3 & 23 MORTON STREET
ASSESSOR'S PARCELS 54-421 & 54-422
STOUGHTON, MASSACHUSETTS

APPLICANT: ROMA REALTY TRUST
15 FELIX STREET
DEDHAM, MA 02026

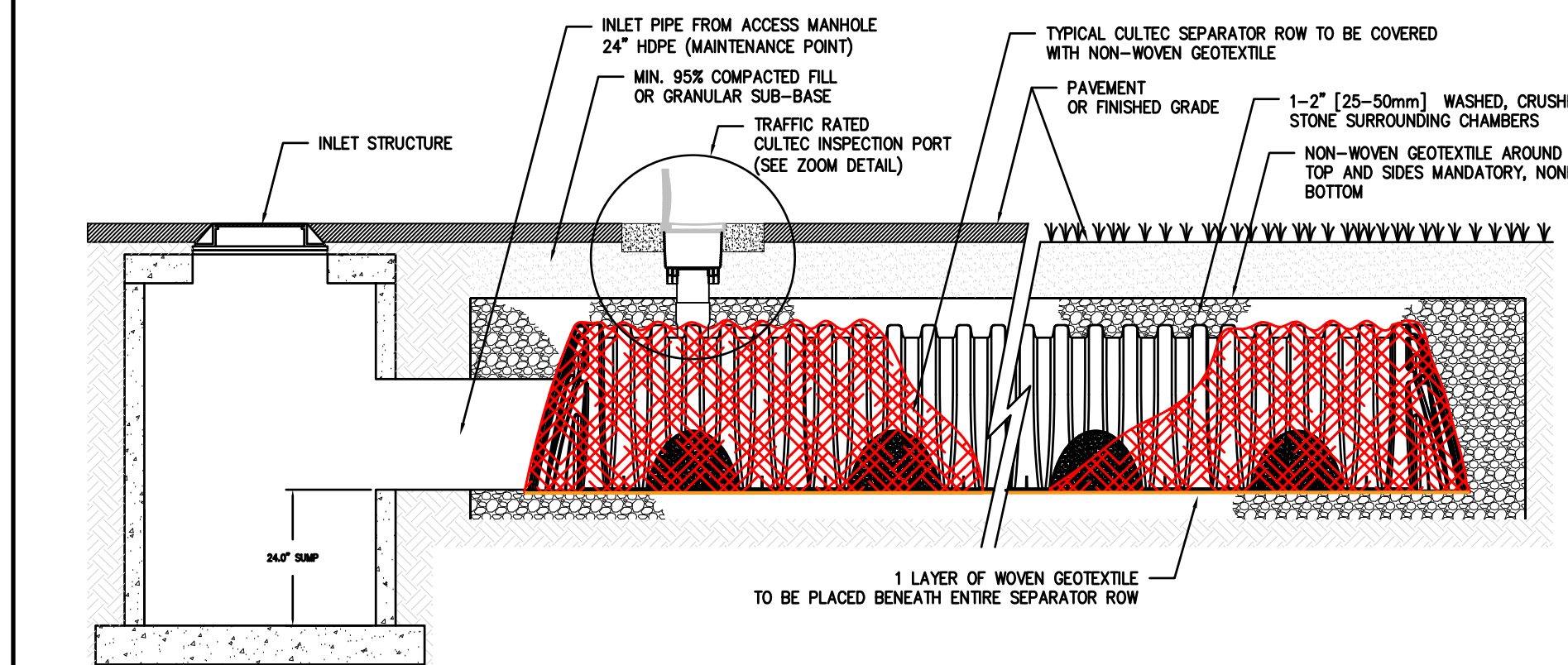
DRAWING TITLE	SHEET #
Construction Details	9 of 11



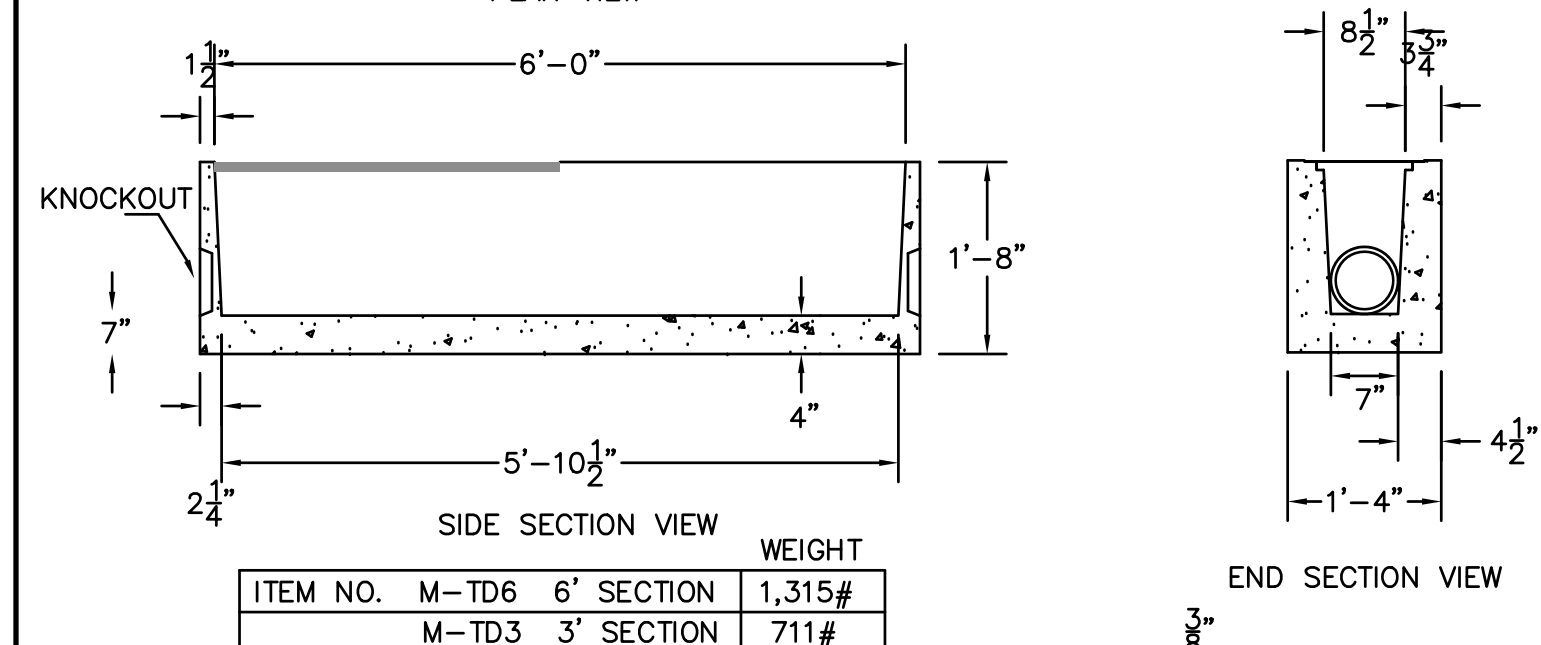
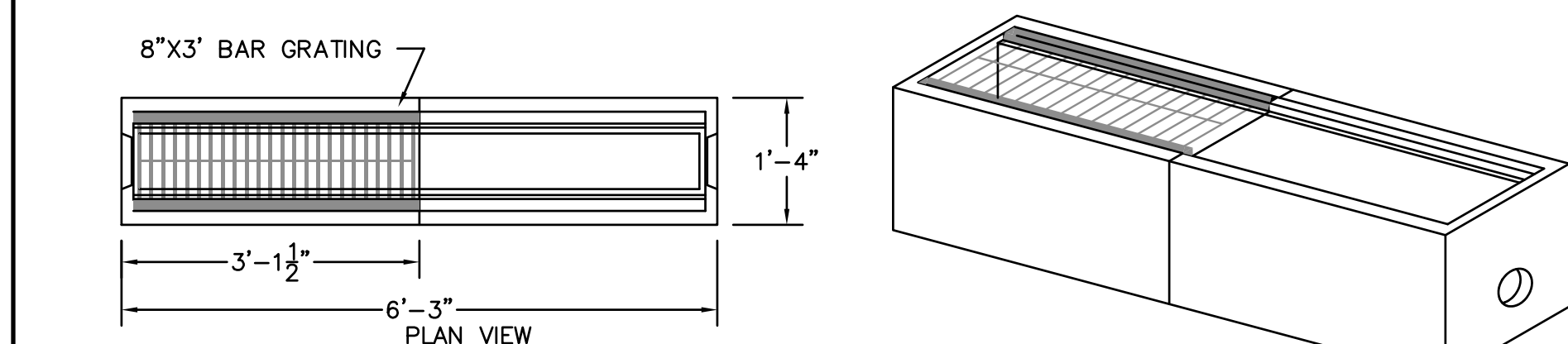
CULTEC TYPICAL SEPARATOR ROW CONFIGURATION INLET CONNECTION
NOT TO SCALE



CULTEC RECHARGER 360HD CROSS SECTION
NOT TO SCALE

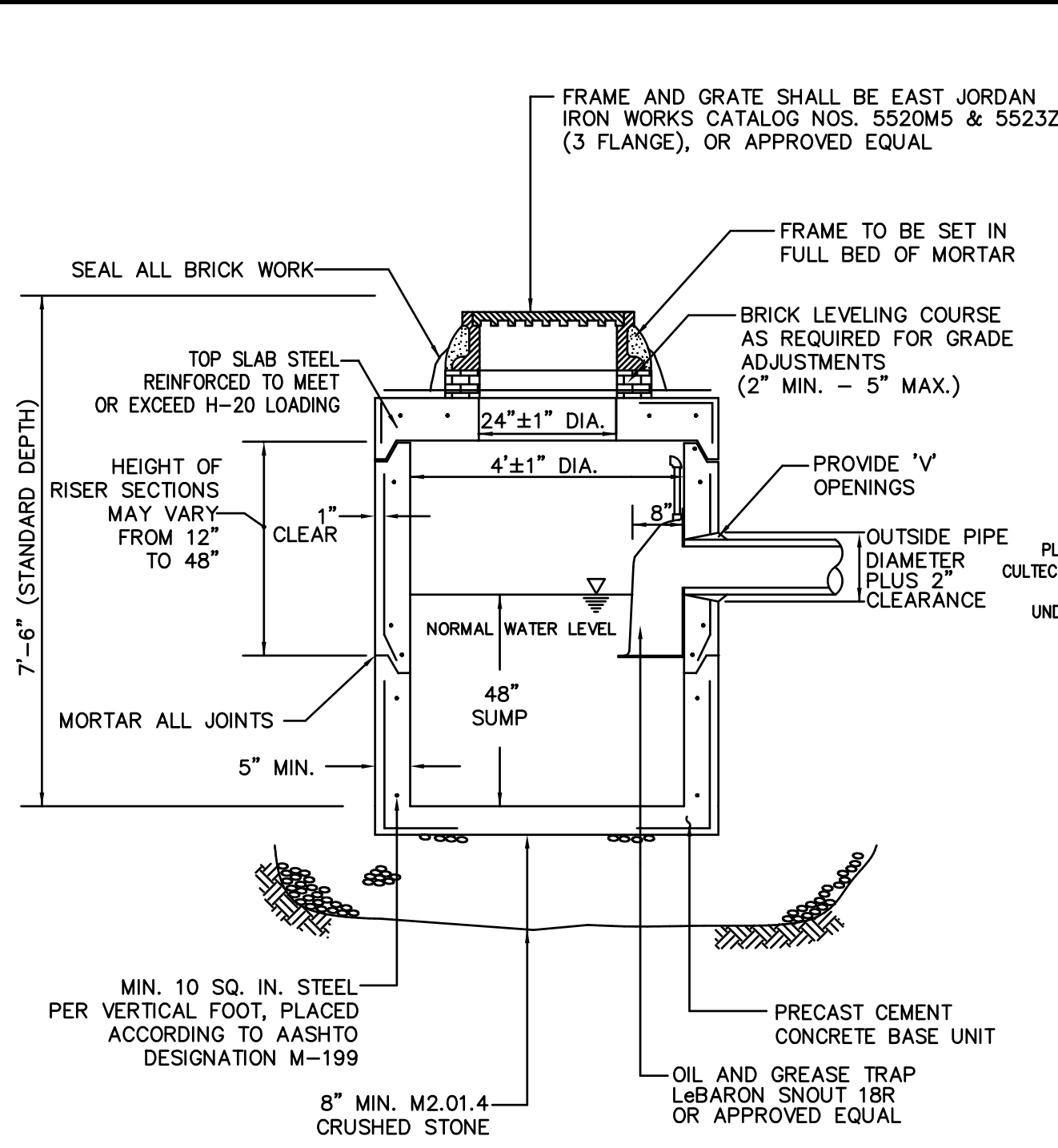


CULTEC TYPICAL SEPARATOR ROW CONFIGURATION PROFILE VIEW
NOT TO SCALE

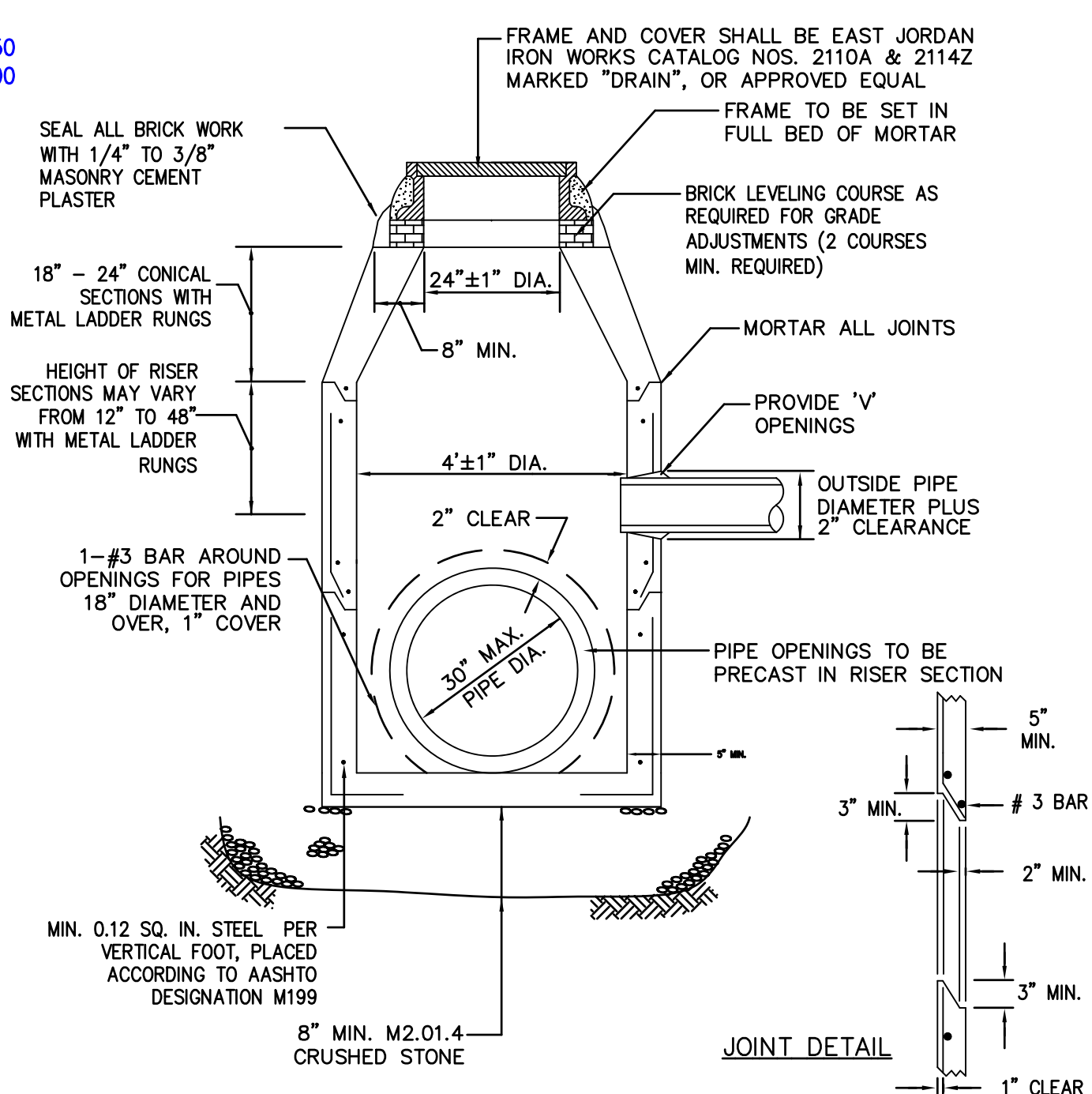


- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. AVAILABLE IN 3' AND 6' SECTIONS.
 3. AVAILABLE IN END OR MIDDLE SECTIONS.
 4. CONFORMS TO H-20 LOADING.

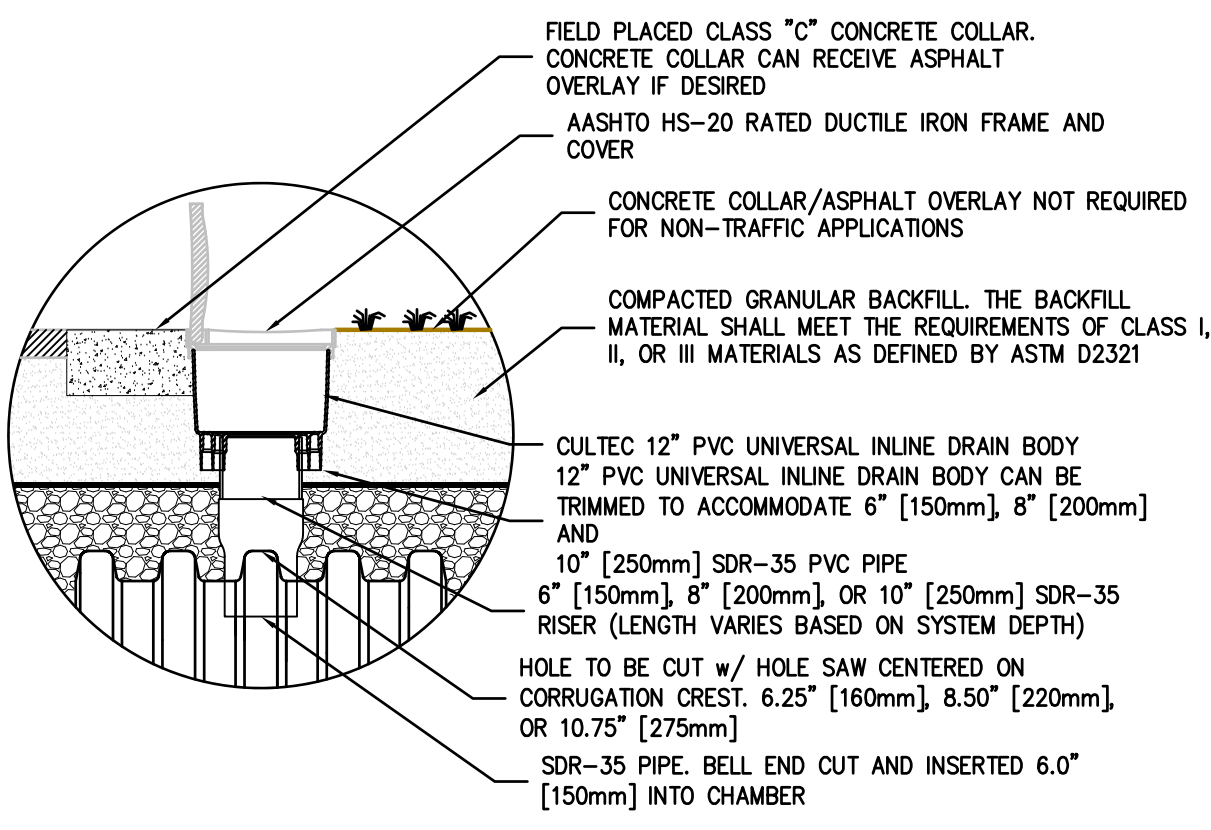
PRECAST CONCRETE TRENCH DRAIN
NOT TO SCALE



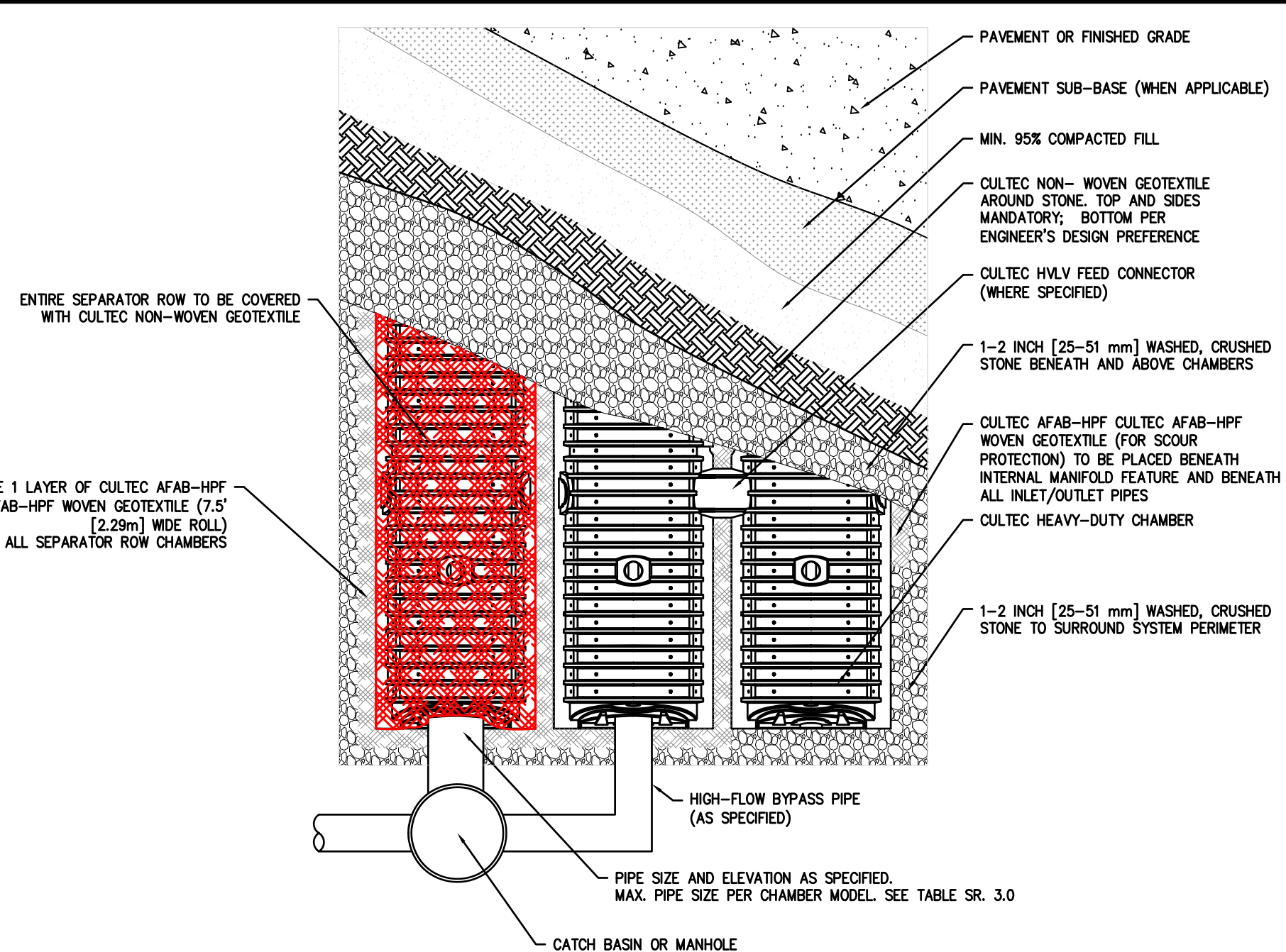
CATCH BASIN W/ DEEP SUMP & HOODED OUTLET (H-20 LOADING)
NOT TO SCALE



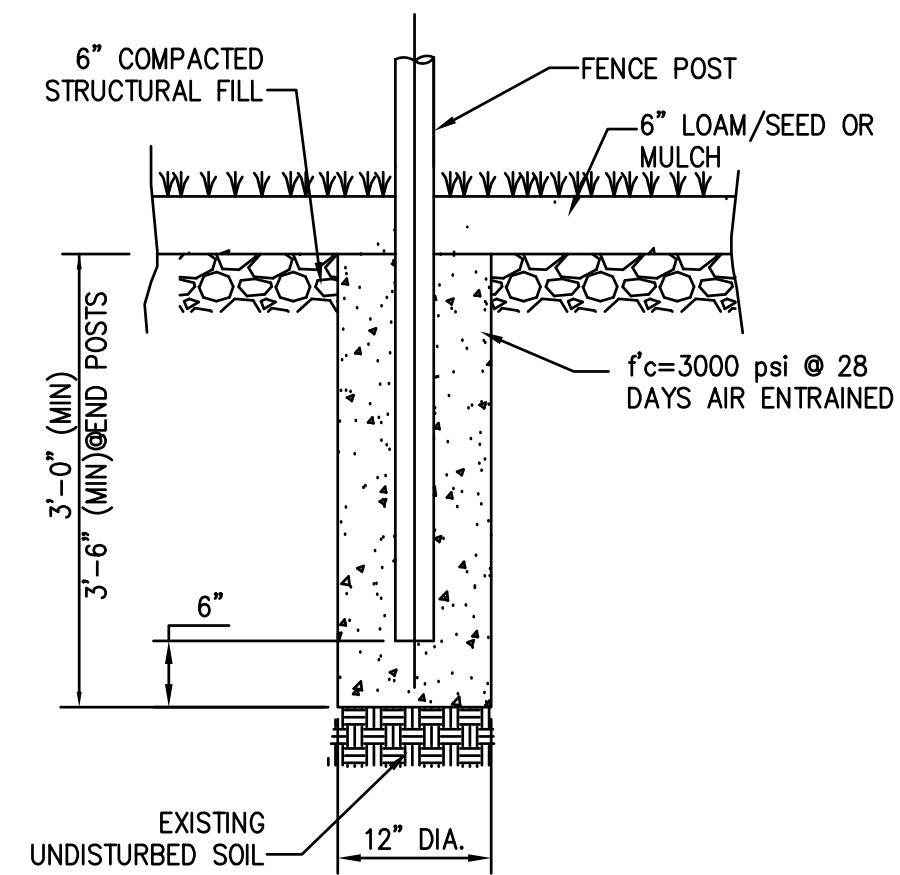
PRECAST DRAIN MANHOLE
NOT TO SCALE



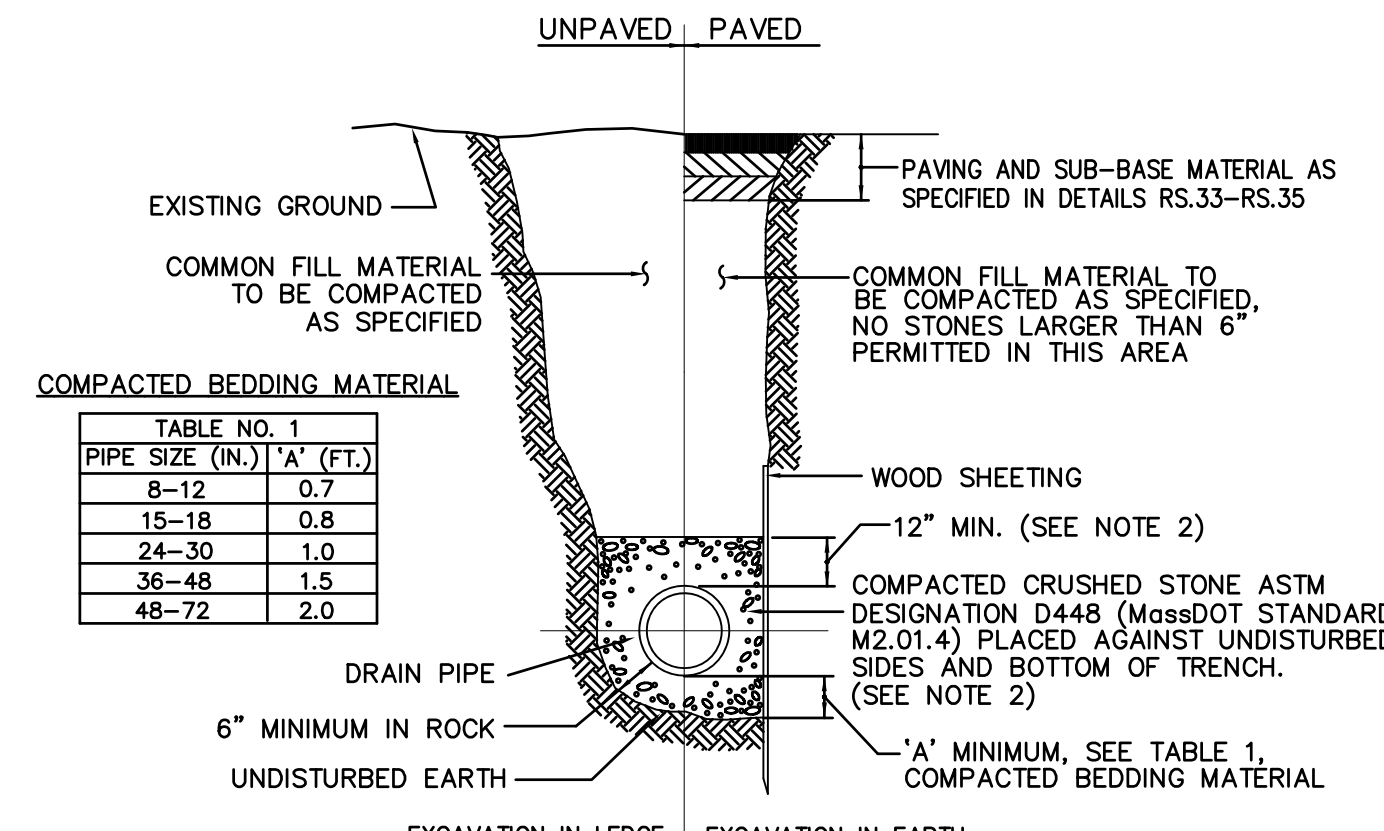
INSPECTION PORT DETAIL
NOT TO SCALE



CULTEC TYPICAL SEPARATOR ROW CONFIGURATION PLAN VIEW
NOT TO SCALE



SECTION VIEW
FENCE FOOTING DETAIL
SCALE: NOT TO SCALE



- NOTES:
1. SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
 2. WHEN APPROVED BY THE ENGINEER FOR NON-PLASTIC PIPES, SELECTED GRAVEL FILL MATERIAL MAY BE USED FROM SPRINGLINE OF PIPE TO 12\"/>

DRAIN PIPE TRENCH
NOT TO SCALE

SITE PLAN APPROVAL

TOWN OF STOUGHTON PLANNING BOARD

DATE:



HENDERSON CONSULTING SERVICES

Professional Civil Engineering & Land Planning
P.O. Box 626, Lexington, MA 02420
(774) 993-9903 hscivil@gmail.com

PROJECT:

SITE DEVELOPMENT PLAN
3 & 23 MORTON STREET
ASSESSOR'S PARCELS 54-421 & 54-422
STOUGHTON, MASSACHUSETTS

APPLICANT:

ROMA REALTY TRUST
15 FELIX STREET
DEDHAM, MA 02026

DRAWING TITLE

Construction Details

SHEET #

10 of 11

DRAWN BY: SCOTT P. HENDERSON, P.E.	PROJECT: MORTON STREET
SCALE: AS NOTED	ISSUE DATE: 3/24/2025
REVISION: 5/5/2025 - FIRST TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION: 5/23/25 - SECOND TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION:	
REVISION:	





TOWN OF STOUGHTON
PLANNING BOARD

Date: June 12, 2025
Applicant: Antonio Reda, Trustee, Roma Realty Trust
15 Felix Street
Dedham, MA 02026
Owner: H & R Construction Corp
409 Canton Street, Unit 1
Stoughton, MA 02072
Representative: Barry R. Crimmins, P.C.
909 Washington Street
Stoughton, MA 02072
Property: 3 and 23 Morton Street
Stoughton, MA 02072
Assessors Map 54 Lots 421 & 422
Title: Book: 25736, Page: 277 and Book: 25109, Page: 118

I) Project Summary

On March 27, 2025, applicant, Antonio Reda, Trustee, Roma Realty Trust ("Applicant"), filed an application for Site Plan Approval under Section 10.6 and a Special Permit under Section 6.1.7 of the Town of Stoughton's Zoning Bylaws ("Zoning Bylaws"). The Site Plan Review under Section 10.6 to construct a 17-unit, 3-story multi-family building with 18 parking spaces, landscaping, drainage and other site improvements ("Project"), at and upon land known and numbered as 3 and 23 Morton Street (Assessors Map 54; Lots 421 & 422 - the "Property"). The Special Permit request is to allow for the following waivers: Section 6.1.7.9 to allow the parking within the Front Yard Setback, Section 6.1.7.10 to allow the refuse truck to back into Wyman Street, Section 6.4.4 to allow the clearing of the trees on the lot. The combined properties are a total of 23,353 +/- SF. The Project is located within the Stoughton Center District - Flex Zone.

Case #: SP25-007 & SPP25-002- Multi-Family Development - 3 & 23 Morton Street

Bk 42509 Pg271 #45097

- The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.
- Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
- The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
- Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
- Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
- A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.
- All construction shall be in strict conformance with the plans the approved Site Plan entitled "Site Redevelopment Plan, 3 & 23 Morton Street, Stoughton, Massachusetts", prepared by Henderson Consulting Services, LLC dated March 24, 2025 and revised May 23, 2025.
- The applicant shall record the Site Operation & Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit.
- The applicant shall clean the entire drainage system at the end of construction.
- All required inspection fees shall be paid through the Engineering Office prior to construction.
- A Final As-built Plan shall be submitted for review by the Engineering Department prior to the issuance of a Certificate of Occupancy.

Case #: SP25-007 & SPP25-002- Multi-Family Development - 3 & 23 Morton Street

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II) Procedural History

- A Pre Application meeting was held on February 27, 2025.
- Applications for Site Plan and Special Permit Approvals were made by the above referenced applicant and filed with the Planning Board on March 27, 2025.
- The land shown on the Site Plan is located at 3 and 23 Morton Street and shown on Assessors Map 54; Lots 421 & 422. The property is located within the Stoughton Center District - Flex Zone.
- Public hearings on the Site Plan and Special Permit Applications were held on April 24, 2025, May 22, 2025, and June 12, 2025. The hearing was advertised on April 9, 2025 & April 16, 2025 in the Patriot-Ledger.
- On June 12, 2025, the public hearing was closed and on June 12, 2025, the Planning Board voted to approve the Site Plan and Special Permit.

III) Application Submittals

- Site Plan and Special Permit Applications submitted March 25, 2025.
- Site Plan entitled "Site Redevelopment Plan, 3 & 23 Morton Street, Stoughton, Massachusetts", prepared by Henderson Consulting Services, LLC dated March 24, 2025 and revised May 23, 2025.
- Architectural Elevation Plans and color renderings prepared by McKay Architects dated March 19, 2025.
- Landscape Plan prepared by Sean Papich Landscape Architect dated March 20, 2025 and revised May 27, 2025.
- Lighting Plan prepared by Vincent A. Dilorio, Inc. dated April 23, 2025.
- Site Redevelopment Narrative and Waiver Request, prepared by Henderson Consulting Services, LLC dated March 24, 2025.
- Stormwater Report and Drainage Calculations, prepared by Henderson Consulting Services, LLC dated March 24, 2025 and revised May 6, 2025.
- Traffic Analysis, prepared by Henderson Consulting Services, LLC dated May 6, 2025.

IV) Related Documents

- Copy of the Legal Public Hearing notice from the edition of the Patriot-Ledger dated April 9, 2025 & April 16, 2025.
- Technical Engineering Review Letters dated April 8, 2025 and May 15, 2025 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner.

Case #: SP25-007 & SPP25-002- Multi-Family Development - 3 & 23 Morton Street

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Bk 42509 Pg272 #45097

- The Planning Board requires a cash bond in the amount to cover 50% of the replacement cost of all landscaping prior to the issuance of a Certificate of Occupancy. The bond will be held by the Planning Board for one full growing season after the landscaping is installed.
 - Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to issuance of a Building Permit.
- B) Special Conditions
- A Form A - ANR Plan shall be approved and recorded with the Registry of Deeds that combines the two lots and the portion of right of way to be abandoned into one lot. Proof of Recording shall be submitted to the Planning Board prior to issuance of a Building Permit.
 - Prior to installation of fencing and landscaping within the "Paper Street" adjacent to 77 Wyman, the applicant shall provide documentation from the property owner of 77 Wyman agreeing to the landscaping and fencing.

Case #: SP25-007 & SPP25-002- Multi-Family Development - 3 & 23 Morton Street

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V) Findings and Determinations

After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 10.6.1 as well as 10.6.9 through 10.6.12. Specifically, the Board has examined each of the criteria set forth in Section 10.6.1 and finds as follows:

- The location of the parking area, uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.
- Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff, and glare of lights.
- Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection, and methods of solid waste disposal are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
- Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed, and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
- Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The property was previously developed and is vacant.
- Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.
- After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department and the Planning Department, the Planning Board analyzed all the comments, and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
- The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Review," found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.

Case #: SP25-007 & SPP25-002- Multi-Family Development - 3 & 23 Morton Street

3

Bk 42509 Pg273 #45097

VIII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Special Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.

On this day of June 12, 2025.

Daniel Kelly, Chairman
Daniel Kelly, Chairman
Paul Demusz, Vice Chairman
Paul Demusz, Vice Chairman
Paul Bellevue
Paul Bellevue
Richard Terry
Richard Terry

Peter Murphy

Cc: Town Clerk
Applicant
Interested Parties

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on 6-17-25

FOR THE PLANNING BOARD

Daniel Kelly, Chairman
Daniel Kelly, Chairman

Case #: SP25-007 & SPP25-002- Multi-Family Development - 3 & 23 Morton Street

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VI) Special Permit Waivers

The Special Permit request is to Section 6.1.7 the Parking Standards to allow parking within the front setback, and to allow the refuse truck to back into Wyman Street.

Section 6.1.7(9 & 10) Parking and Loading Space Standards: The applicant has requested a waiver to allow parking within the front setback, and to allow the refuse truck to back into Wyman Street. A portion of one (1) parking space is proposed within the front setback and has a setback of six (6) feet. The applicant has a well-designed landscape plan that will provide an attractive appearance along the street; therefore, no negative impact with the reduced setback. The access off Wyman Street to the trash enclosures is via a "paper street" that is currently being used as parking for the adjacent property. The proposal is to formalize this access, widen it to allow for parallel parking for the adjacent neighbor and provide for a direct access to the trash enclosure. The trash pickup up will occur approximately once a week. Therefore, the impact is minimal and does not pose any significant traffic impacts to safety on Wyman Street.

The Planning Board after review of the application, and public testimony find that the requested waivers are reasonable and no substantial detriment would result. Therefore, the waiver requests are approved subject to the findings and conditions contained within this report.

VII) Conditions

A) General Conditions

- This decision for Site Plan and Special Permit Approvals shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
- Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
- The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
- All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.

Case #: SP25-007 & SPP25-002- Multi-Family Development - 3 & 23 Morton Street

4



HENDERSON CONSULTING SERVICES

Professional Civil Engineering & Land Planning
P.O. Box 626, Lexington, MA 02420
(774) 993-9903 hscivil@gmail.com

PROJECT:

SITE DEVELOPMENT PLAN
3 & 23 MORTON STREET
ASSESSOR'S PARCELS 54-421 & 54-422
STOUGHTON, MASSACHUSETTS

APPLICANT:

ROMA REALTY TRUST
15 FELIX STREET
DEDHAM, MA 02026

DRAWING TITLE

Planning Board Decision

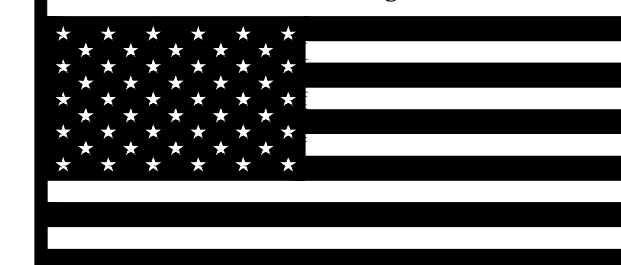
SHEET #

11 of 11

PERMIT SET

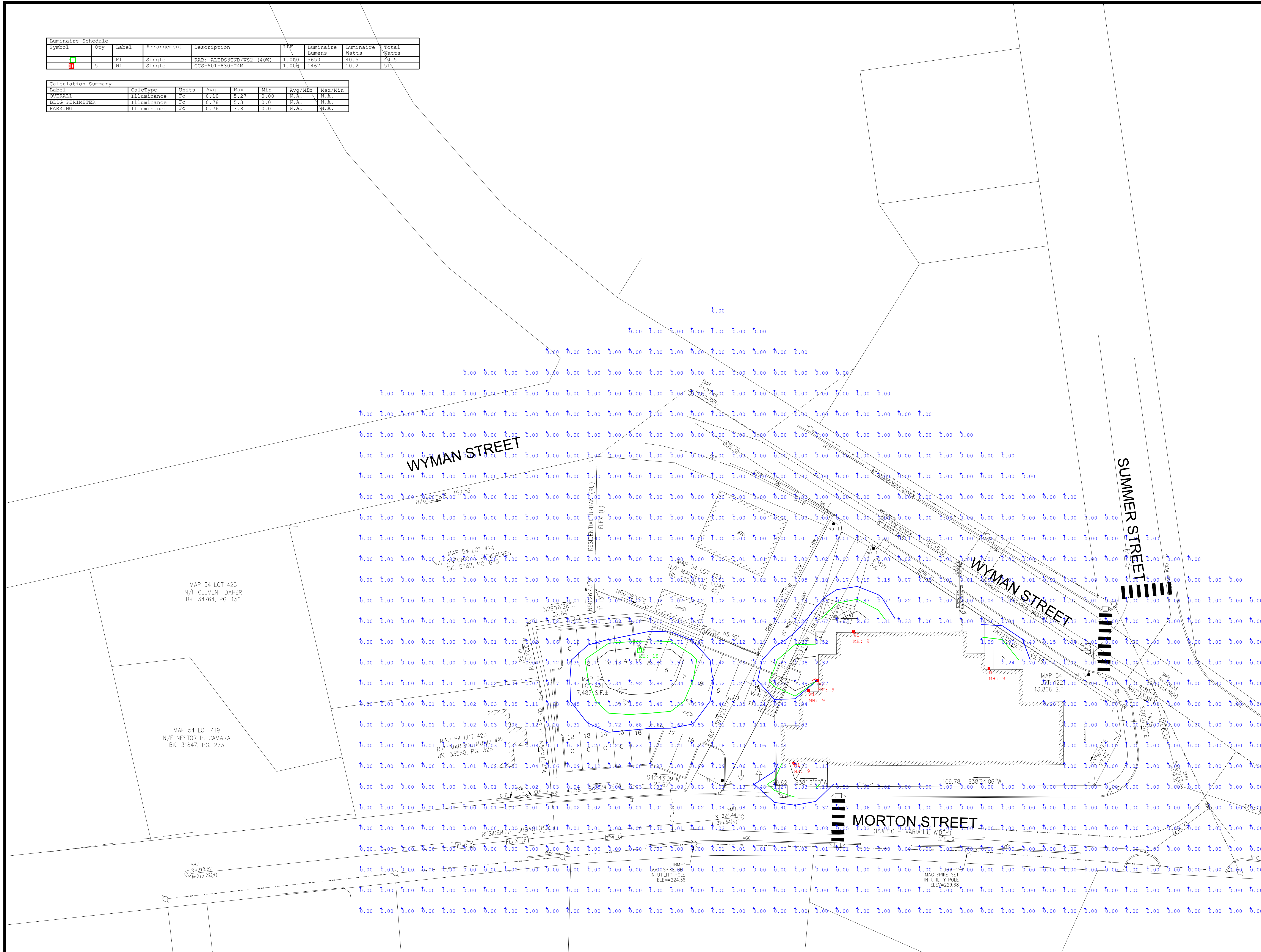
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BLDG PERIMETER	Illuminance	Fc	0.78	5.3	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	0.76	3.8	0.0	N.A.	N.A.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL	Illuminance	Fc	0.10	5.27	0.00	N.A.	N.A.
BLDG PERIMETER	Illuminance	Fc	0.78	5.3	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	0.76	3.8	0.0	N.A.	N.A.



REV.:	DATE:	DESCRIPTION
-------	-------	-------------

REV.	DATE	DESCRIPTION



ROMA REALTY TRUST

15 FELIX ST,
DEDHAM, MA. 02026

3 MORTON ST

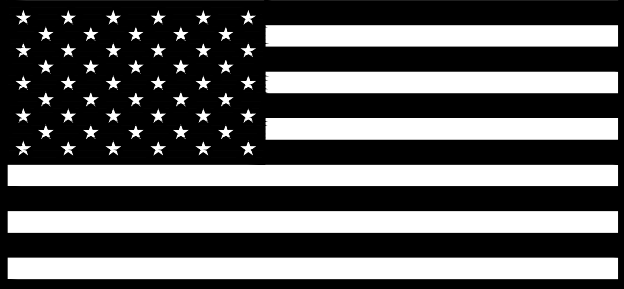
3 MORTON ST
STOUGHTON, MA.

DRAWING TITLE

**PHOTOMETRIC
CALCULATIONS**

DRAWN:	CDO
CHECKED:	VAD J
SCALE:	1" = 20'-0"
DATE:	APRIL 23, 2025

E1



REVISIONS:		
REV.:	DATE:	DESCRIPTION:

Wall Mount
GeoForm
GCS LED wall sconce

Gardco GeoForm cylinder small LED wall sconce features a compact geometric design that will complement a range of architectural styles. GeoForm is available with two light engines: highly efficient precision plus optics which feature type 2, 3, and 4 distributions, as well as light effects optics which offer wall wash, spot, and pencil beam distributions. GeoForm with light effects may be inverted for a wet location uplight option. Emergency battery backup option provides path-of-egress illumination and multiple control options further enhance energy savings.

Project: _____
Location: _____
Cat.No: _____
Type: _____
Lamps: _____ Qty: _____
Notes: _____

Ordering guide **example: GCS-A03-830-T3M-UNV-MG**

Luminaire	Configuration (nom. lumens)	Color Temperature	Distribution	Voltage	Dimming Controls ¹	Electrical	Options	Finish
GCS								
GCS GeoForm Cylinder Small	Precision Plus Optics A01* 1,500 lumens A02* 2,500 lumens A03 4,000 lumens A04 5,000 lumens A05 6,000 lumens	830 80CRI 3000K 840 80CRI 4000K 740 70CRI 4000K 750 70CRI 5000K	T3M Type 2 T3M Type 3 T4M Type 4	120 120V 208 208V 240 240V 277 277V UNV 120-277V 347 347V 480 480V HVV 347-480V	none Leave blank (0-10V dimming driver standard) DLEA* Dimming Leads Externally Accessible (controls by other d) FAMP* Field Adjustable Wattage Selector	none Leave blank (10kV surge protection standard) SP2 Surge Protector 200W/250A (option) FS1 Single Fuse (120, 277, or 347VAC) FS2 Double Fuse (208V, 240V, or 480V) PCB* Photocontrol Button (120-277V)	EM* Emergency Battery Pack (0-40°F) BAC* Meets the requirements of the Buy American Act of 1933 (BAA) Customer specified OC Specify optional color or RAL contact factory SC Special Color (must supply color chip, requires factory quote)	Textured BK Black WH White BZ Bronze DG Dark Gray MG Medium Gray
Light Effects Option								
	B01* 700 lumens B02* 1,300 lumens B03* 2,200 lumens	830 80CRI 3000K 840 80CRI 4000K	WW Wall Wash SPT Spot PEN Pencil Beam					

1. Only available from 120-277V, or in UNV.
2. Only one option can be selected from Dimming Controls column.
3. Not available with Emergency battery pack.
4. Only available from 120-277V, must specify voltage.

5. Failure to properly select the "BAC" suffix could result in you receiving product that is not BAA compliant product with no recourse for an RMA or refund. This BAC designation hereunder does not address (1) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (2) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of expending funds administered by the Department of Transportation or other federal agencies.
6. Consult Signify to confirm whether specific accessories are BAA-compliant.

Luminaire Accessories (order separately)*
GF-WS-BK Wall Mounted Box for surface conduit, painted black
GF-INV Inversion Mounting kit (required with inverted mounting)

GCS_GeoForm_Cylinder_Small 04/24 page 1 of 5

ALEDS3TNB/WS2

RAB

Color: Black Weight: 13.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current	Watts	80W
120V	0.67A	Color Temp	4000K (Neutral)
208V	0.40A	Color Accuracy	82 CRI
240V	0.34A	L70	100,000 Hours
277V	0.30A	Lumens	5650/7778/10458 lm
Input Watts	40.5/57.5/81.2W	Efficacy	139.5/135.3/128.8 lm/W

LED Info

Technical Specifications

Field Adjustable
Field Adjustable (Wattage):
Field adjustable light output in 3 discrete steps:
Small Housing: 80W/60W/40W (factory default 80W)

Compliance
UL Listed:
Suitable for wet locations

IP Rating:
Ingress protection rating of IP66 for dust and water

IESNA LM-79 & LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:
This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC S.1 requirements.
DLC Product Code: S-36ESGB

LED Characteristics
LEDs:
Long-life, high-efficacy, discrete, surface-mount LEDs

Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:
LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:
RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

Electrical
Driver:
40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

Dimming Driver:
Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:
2.02% at 120V, 8.16% at 277V

Power Factor:
99.9% at 120V, 96.5% at 277V

Surge Protection:
Line to Line: 10kV
Line to Ground: 6kV

Performance
Lifespan:
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:
Equivalent to 250W Metal Halide

Construction
IES Classification:
The Type III distribution is meant to be located near the side of an area, projecting the light outward to fill the area. Ideal for roadways, general parking areas, lighting applications and where a large pool of light is required.

Cold Weather Starting:
The minimum starting temperature is -40°C (-40°F)

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com
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CLIENT:
HENDERSON CONSULTING SVC'S
P.O.BOX 626
LEXINGTON, MA. 02420

PROJECT:
3 MORTON ST

3 MORTON ST
STOUGHTON, MA.

DRAWING TITLE
PHOTOMETRIC LIGHTING SPEC.'S

DRAWN: CDO
CHECKED: VAD Jr.
SCALE: NOT TO SCALE
DATE: APRIL 23, 2025

E2