

SITE REDEVELOPMENT PLAN

3 & 23 MORTON STREET, STOUGHTON, MA
PARCELS: 54-421 & 54-422

SITE PLAN APPROVAL	_____
_____	_____
_____	_____
_____	_____
_____	_____
TOWN OF STOUGHTON PLANNING BOARD	_____
DATE:	_____

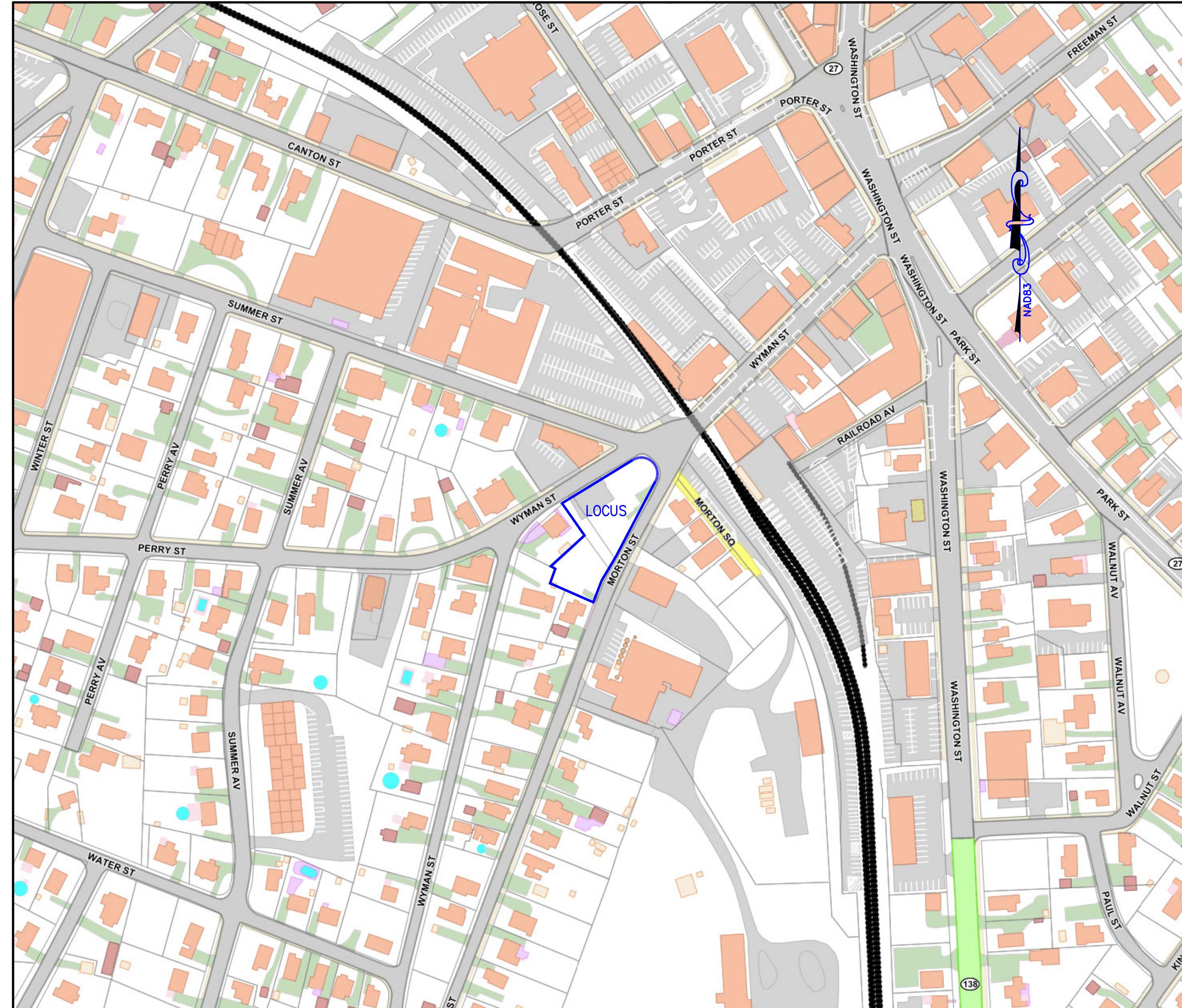
SHEET INDEX

- C1 - COVER SHEET
- C2 - INDEX & NOTES
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- C4 - LAYOUT PLAN
- C5 - GRADING & UTILITY PLAN
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- C7 - LANDSCAPE DETAILS
- C8 - SITE PREPARATION PLAN
- C9 - CONSTRUCTION DETAILS
- C10 - CONSTRUCTION DETAILS
- C11 - DECISION
- E1/E2 - LIGHTING PLAN

WAIVER REQUESTS

- ZONING BYLAW SECTION 6.0 GENERAL REGULATIONS
- § 6.1.7.9 - PARKING SPACES SHALL NOT BE LOCATED WITHIN REQUIRED FRONT YARD AREA - 10.0 FEET REQUIRED, 6.0 FEET PROPOSED (SPACE #16)
 - § 6.1.7.10 - PARKING AND LOADING SPACES SHALL BE ARRANGED AS TO NOT PERMIT BACKING OF AUTOMOBILES INTO STREET - REFUSE TRUCK ACCESS DRIVE NECESSITATES BACKING INTO WYMAN STREET
 - § 6.4.4 - CLEARING OF TREES 6" DBH OR GREATER AND WHOLESALE CLEARING OF AN AREA IN EXCESS OF 3,000 S.F. PROHIBITED - LOT 54-421 WHERE PARKING IS LOCATED SHALL BE COMPLETELY CLEARED (~7,400 S.F.)

- ZONING BYLAW SECTION 10.6 SITE PLAN APPROVAL
- § 10.6.10.1 - TRAFFIC IMPACT ASSESSMENT - REQUEST TO WAIVE TRAFFIC STUDY AS PART OF SITE PLAN APPROVAL APPLICATION



LOCUS MAP - SCALE ~1"=150'
SOURCE: STOUGHTON GEOGRAPHIC INFORMATION SYSTEM

PLAN DATE

MARCH 24, 2025

REVISED: MAY 5, 2025

REVISED: MAY 23, 2025

APPLICANT

ROMA REALTY TRUST
15 FELIX STREET
DEDHAM, MA 02026

CIVIL ENGINEER

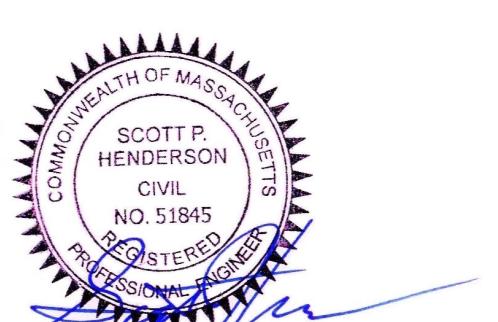
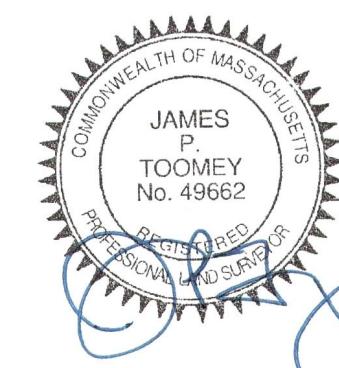
HENDERSON CONSULTING SERVICES LLC
P.O. BOX 626
LEXINGTON, MA 02420
HCSCIVIL@GMAIL.COM
(774) 993-9903

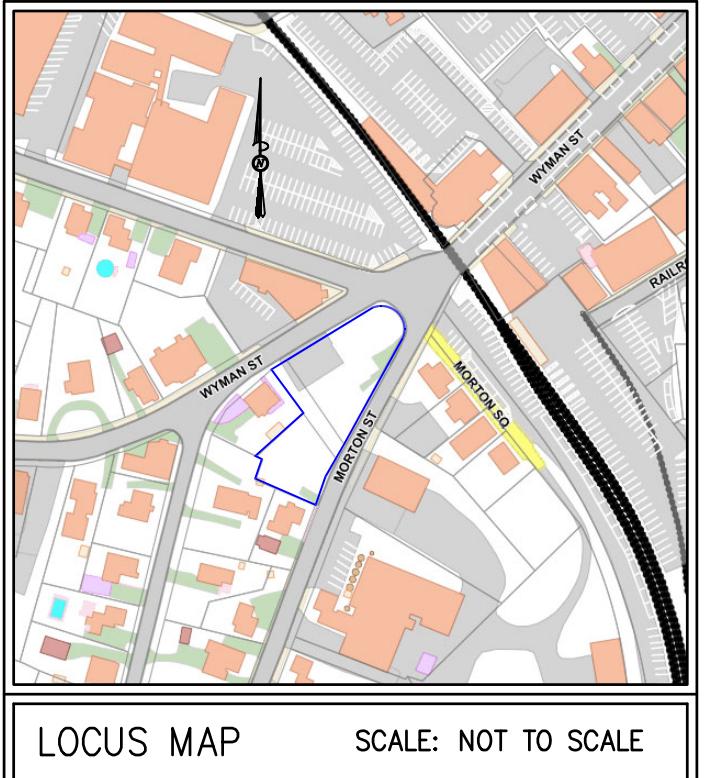
SURVEYOR

TOOMEY LAND SURVEYING LLC
48 SUMMIT AVENUE
WALPOLE, MA 02081
JTOOMEY@TOOMEYSURVEYING.COM
(617) 877-1043

LANDSCAPE ARCHITECT

SEAN PAPICH LANDSCAPE ARCHITECTURE
222 NORTH STREET
HINGHAM, MA 02043
(781) 741-5455





LOCUS MAP SCALE: NOT TO SCALE

ABBREVIATIONS

APPROX	APPROXIMATE
ASPH	ASPHALT
BD	BOUND
BLDG	BUILDING
BIT CONC	BITUMINOUS CONCRETE
BM	BENCHMARK
BS	BOTTOM OR SLOPE
CB	CATCH BASIN
CB/DH	CONC. BOUND/DRILL HOLE
CCB	CAPE COD BERM
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC	CONCRETE
△	DELTA ANGLE
D	DRAIN
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
EP	EDGE PAVEMENT
E	ELECTRIC
ELEV	ELEVATION
E/T/C	ELECTRIC, TELEPHONE, & CABLE TV
EXIST	EXISTING
FND.	FOUND
FND.	FOUNDATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
G	GAS
GG	GAS GATE
GS	GAS SERVICE
GRAN.	GRANITE
HCR	HANDICAP RAMP
HOR	HORIZONTAL
HYD	HYDRANT
INV	INVERT
L.S.	LANDSCAPING
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PL	PROPERTY LINE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
PVMT	PAVEMENT
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SEWER
SB	STONE BOUND
SB/DH	STONE BOUND/DRILL HOLE
SMH	SEWER MANHOLE
SS	SEWER SERVICE
TR	TREE
VCC	VERTICAL GRANITE CURB
W	WATER MAIN
WG	WATER GATE

UNDERGROUND UTILITIES

— E —	ELECTRIC
— G —	GAS
— T —	TELEPHONE/COMMUNICATION
— W —	WATER
R=	(RIM ELEVATION)

LEGEND

◎	DRAIN MANHOLE
◎	MANHOLE
◎	ELECTRIC MANHOLE
◎	SEWER MANHOLE
◎	TELEPHONE MANHOLE
○	CATCH BASIN
○	GAS GATE
○	WATER GATES
○	LIGHT POLE
○	ELECTRIC HANDHOLE
○	SPOT GRADE LOCATION
V	VENT
GM	GAS METER
RD	ROOF DRAIN
EM	ELECTRIC METER
AC	AIR CONDITIONER
OIL	OIL TANK
BH	BULK HEAD

PLAN REFERENCES:

RECORD OWNER:
H & R CONSTRUCTION CORP.
1204 WASHINGTON STREET
STOUGHTON, MA 02072
DEED BOOK 25109, PAGE 118
DEED BOOK 25736, PAGE 277

NORFOLK COUNTY
REGISTRY OF DEEDS
PLAN NO. 512 OF 1944
PLAN NO. 1127 OF 1987
PLAN NO. 154 OF 1992
PLAN NO. 60 OF 2006

ZONING:
STOUGHTON CENTER DISTRICT (SCD) – FLEX SUBDISTRICT (F)

CRITERIA:	REQUIRED:
MINIMUM LOT AREA	3,500 S.F.
MINIMUM LOT WIDTH	20 FT.
MINIMUM LOT FRONTRAGE	20 FT.
MINIMUM LOT DEPTH	75 FT.
MINIMUM FRONT SETBACK	*10 FT.
MINIMUM SIDE YARD SETBACK	5 FT.
MINIMUM REAR YARD SETBACK	**10 FT.
MAXIMUM BUILDING HEIGHT	45 FT.
MAXIMUM STORIES	4
MAXIMUM BUILDING AREA	80%
MINIMUM OPEN SPACE	10%

*WITHIN THE SCD, THERE IS ALSO A REQUIRED MAXIMUM FRONT YARD DEPTH OF 20 FEET. SEE SECTION 9.3.7, NOTE 1.

**WHERE ABUTTING A LOT OUTSIDE THE SCD, THE REQUIRED REAR YARD IS 15 FEET. SEE SECTION 9.3.7, NOTE 4.

STORM DRAIN NOTES

1. ALL STORMWATER CONVEYANCE PIPES SHALL BE ADS N-12 CORRUGATED, SMOOTH INTERIOR SOLID WALL HDPE OR APPROVED EQUAL.
2. BACKFILL SHALL BE COMPAKTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD.
3. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
4. ALL CATCH BASIN GRATES SHALL BE TYPICAL SQUARE OPENING GRATES UNLESS OTHERWISE NOTED.
5. ALL CATCH BASINS SHALL HAVE A MINIMUM 4' SUMP AND OUTLETS FROM CATCH BASINS SHALL BE FITTED WITH A HOOD AS SPECIFIED IN THE CONSTRUCTION DETAILS.
6. ALL DRAINAGE STRUCTURES SHALL BE 4' INTERIOR DIAMETER, PRE-CAST CONCRETE UNLESS OTHERWISE NOTED.
7. ALL CASTING SHALL BE FURNISHED FROM AN APPROVED VENDOR THAT MEETS AASHTO REQUIREMENTS FOR H-20 TRAFFIC LOADING.
8. ROOF DRAINS SHALL BE CONNECTED TO INFILTRATION SYSTEM VIA 12" DIAMETER HDPE ROOF LEADERS. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN & LEADER LOCATIONS.

GENERAL UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. ALL ABANDONED STRUCTURES SHOULD BE REMOVED OR FILLED WITH DENSE GRADE AND STONE.

WATER QUALITY – CULTEC SEPARATOR ROW

1. STORMWATER RUNOFF QUALITY DEPENDS UPON THE FUNCTION OF THE SEPARATOR ROW INCLUDED IN THE SUBSURFACE INFILTRATION SYSTEM. SITE OWNER IS RESPONSIBLE FOR PERFORMING REGULAR MAINTENANCE AS DETAILED IN THE STORMWATER REPORT FILED WITH THE SITE REDEVELOPMENT PLANS.
2. ACCESS TO THE SEPARATOR ROW IS VIA THE DRAIN MANHOLE LOCATED AT THE SOUTHWEST END OF THE PARKING LOT.

WATER & SEWER NOTES

1. PROPOSED WATER MAIN AND DOMESTIC SERVICE SIZES AND LOCATIONS SHALL BE COORDINATED WITH THE STOUGHTON WATER DEPARTMENT AND STOUGHTON FIRE DEPARTMENT.
2. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER PIPE, THE ELEVATION OF THE CROWN OF THE SEWER PIPE SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE.
3. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35.
4. WHERE SANITARY SEWERS CROSS WATER SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER PIPE AND THE SEWER PIPE SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
5. LOCATION AND SPECIFICATIONS OF THE RELOCATED FIRE HYDRANT SHALL BE COORDINATED WITH THE STOUGHTON FIRE DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS.
6. THE SIZE OF THE PROPOSED DOMESTIC WATER AND FIRE PROTECTION SERVICES SHALL BE CONFIRMED BY THE PROJECT MEP ENGINEER PRIOR TO CONSTRUCTION.
7. IT IS ASSUMED THAT ADEQUATE FLOW RATE AND PRESSURE ARE AVAILABLE IN THE WATER MAIN LOCATED IN WYMAN STREET. FLOW TESTING, IF REQUIRED, SHALL BE COMPLETED BY A LICENSED MEP ENGINEER PRIOR TO CONSTRUCTION.

SITE SECURITY NOTES

1. THE CONTRACTOR SHALL INSTALL A SECURITY FENCE AROUND THE ENTIRE SITE PERIMETER PER ALL APPLICABLE FEDERAL, STATE AND LOCAL STANDARDS, INCLUDING OSHA REGULATIONS. FENCE SHALL BE SECURED DURING ALL NON-WORKING HOURS TO PREVENT TRESPASS ONTO THE CONSTRUCTION SITE.
2. DURING CONSTRUCTION HOURS, ALL SITE VISITORS ARE REQUIRED TO CHECK-IN WITH THE PROJECT SUPERVISOR ON-SITE AND BE CLEARED TO ENTER THE WORK ZONE. OSHA TRAINING AND APPROPRIATE PROTECTIVE GEAR IS REQUIRED FOR ALL SITE VISITORS.

SITE PREPARATION NOTES

1. EROSION CONTROL AND PERIMETER FENCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION.
2. ALL DEMOLITION AND MATERIAL DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
3. MATERIAL STOCKPILE AREAS SHALL BE SURROUNDED WITH TEMPORARY EROSION CONTROLS. SOIL STOCKPILES SHALL BE COVERED WITH A TARP AT THE END OF EACH DAY.

LANDSCAPE PLANTING SCHEDULE

1. ALL PLANTS ARE TO BE INSTALLED ONLY BETWEEN APRIL 1 TO JUNE 15 OR SEPTEMBER 1 TO NOVEMBER 1.
2. NO PLANTS ARE TO BE INSTALLED WHILE SUBSOIL OR PLANTING MIX/TOPSOILS IS SATURATED, MUDDY OR IN FROZEN CONDITION.
3. ALL PLANTINGS WILL BE INSPECTED IN THE SPRING AND FALL OF EVERY YEAR FOR A MINIMUM OF THREE YEARS FOLLOWING THE COMPLETION OF THE PROJECT TO ENSURE THAT THE PLANTINGS ARE HEALTHY. INSPECTION REPORTS SHALL BE SUBMITTED TO THE DEDHAM PLANNING DEPARTMENT FOR REVIEW ANNUALLY.
4. ANY DEAD OR DYING PLANTINGS SHALL BE REPLACED IN KIND AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN.

SNOW REMOVAL

1. SNOW STORAGE ON-SITE IS LIMITED TO AREAS SHOWN ON SHEETS C4 AND WILL NOT ACCOMMODATE HEAVY SNOWFALL EVENTS. EXCESS SNOW SHALL BE COLLECTED AND TRUCKED OFF-SITE PURSUANT TO ALL LOCAL AND STATE REGULATIONS.

PARKING CALCULATIONS

SECTION 9.3 OF THE STOUGHTON ZONING BYLAWS – TABLE 9.3.11 SCD PARKING SCHEDULE

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY		
13 – 1 BEDROOM UNITS	1 SPACES PER 1 BEDROOM UNIT = 13 SPACES	1 SPACE PER 1 BEDROOM UNIT = 14 SPACES
4 – 2 BEDROOM UNITS	1 SPACES PER 2 BEDROOM UNIT = 4 SPACES	1 SPACES PER 2 BEDROOM UNIT = 4 SPACES
TOTAL	17 SPACES	18 SPACES

NOTES:

- 5 REDUCED SIZE PARKING SPACES ARE PROPOSED = 28% OF TOTAL PARKING
- MINIMUM REDUCED PARKING SPACE DIMENSIONS = 18 FT x 8 FT
- 1 HANDICAP ACCESSIBLE VAN SPACE PROVIDED (1 REQUIRED)

SITE NOTES

1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY TOOMEY LAND SURVEYING LLC IN DECEMBER, 2024 & JANUARY, 2025.
2. THERE WERE NO WETLAND RESOURCE AREAS OBSERVED DURING THE FIELD SURVEY.
3. ELEVATIONS, SHOWN HEREON, REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. BY GRAPHIC PLOTTING ONLY, LOCUS IS LOCATED WITHIN ZONE "X" (UNSHADDED), AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR STOUGHTON MASSACHUSETTS, MAP NO. 25021C0376E, DATED JULY 17, 2012.

5. LOCATION OF SUBSURFACE UTILITIES ARE BASED ON OBSERVABLE ABOVE GROUND EVIDENCE AND AVAILABLE TOWN AND PRIVATE UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. TOOMEY LAND SURVEYING LLC CANNOT BE HELD RESPONSIBLE FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE NOT SHOWN OR SHOWN INACCURATELY. THE CONTRACTOR SHOULD HAVE THE UTILITIES PROPERLY LOCATED PRIOR TO THE BEGINNING OF CONSTRUCTION BY CONTACTING DIGSAFE (888-344-7233). THE CONTRACTOR SHOULD ALSO EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.

HANDICAP PARKING

1. HANDICAP ACCESSIBLE SPACES PROVIDED (1 VAN SPACES)

FOR A PARKING LOT WITH 15 TO 25 SPACES, 1 HANDICAP ACCESSIBLE SPACES MUST BE PROVIDED, 1 OF WHICH MUST BE VAN ACCESSIBLE.

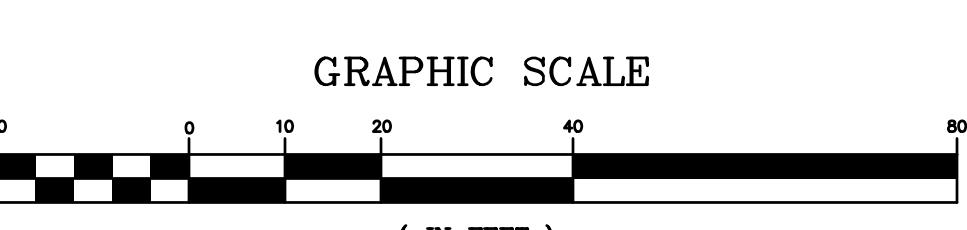
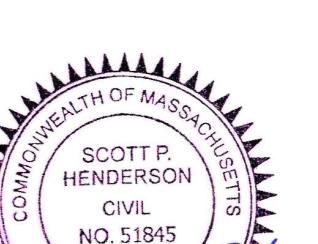
ALL PROPOSED HANDICAP PARKING SPACES ON THE SITE SHALL COMPLY WITH ADA & MAAB DIMENSIONAL REQUIREMENTS. VAN ACCESSIBLE SPACES ARE DEMARCATED ON THE PLAN WITH "VAN" AND ALL OTHER SPACES ARE CAR ACCESSIBLE. THE FOLLOWING DIMENSIONS APPLY:

VAN ACCESSIBLE: 96" MINIMUM SPACE WIDTH
96" MINIMUM ACCESS AISLE WIDTH

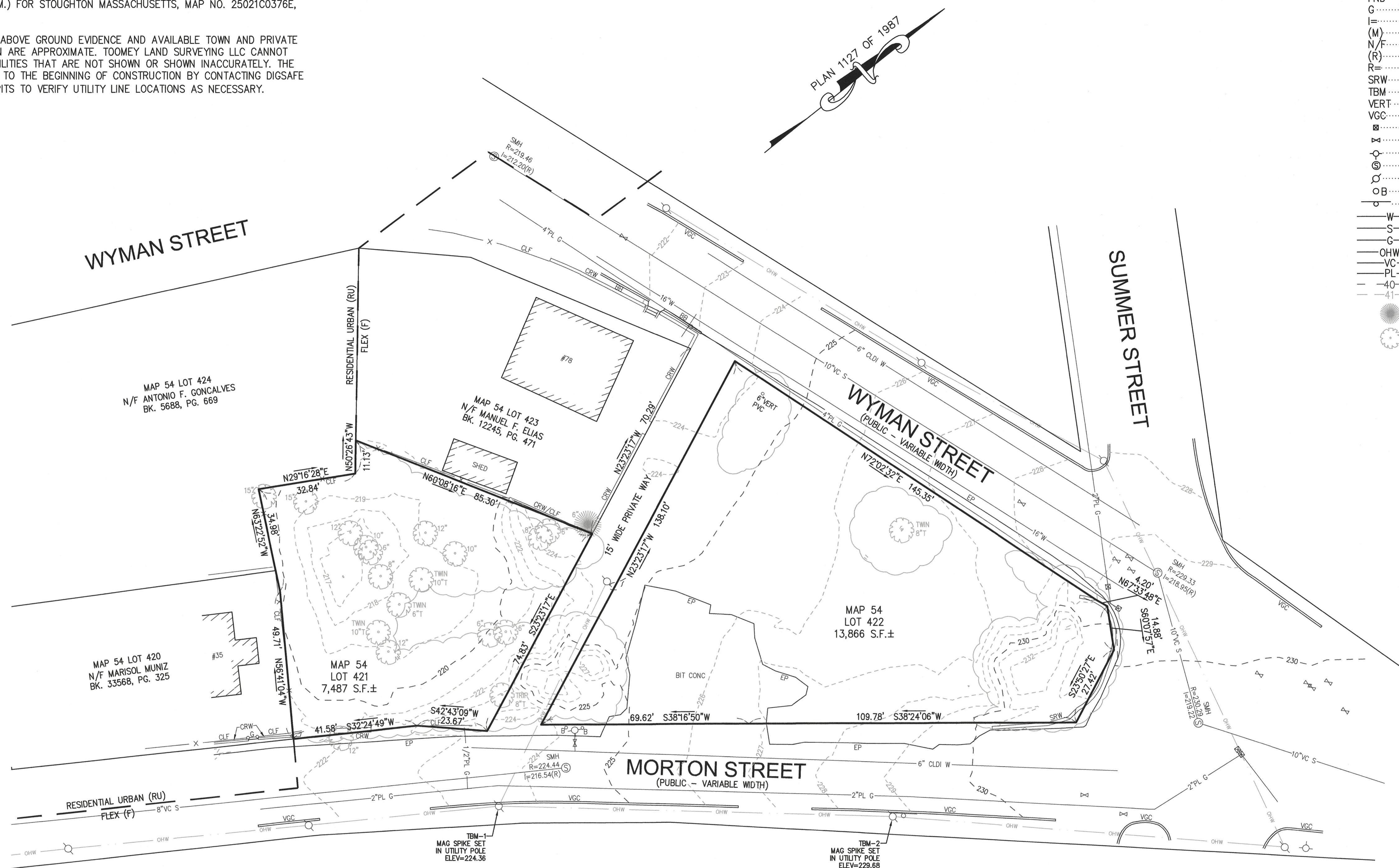
CAR ACCESSIBLE: 96" MINIMUM SPACE WIDTH
60" MINIMUM ACCESS AISLE WIDTH

ALL PROPOSED ACCESSIBLE PARKING SPACES SHALL BE GRADED SUCH THAT GRADES DO NOT EXCEED A 2% CROSS SLOPE IN ANY DIRECTION.

STANDARD ADA, MAAB, AND MUTCD SIGNAGE WILL BE INSTALLED FOR ALL PROPOSED ACCESSIBLE SPACES. VAN ACCESSIBLE SPACES WILL BE MARKED WITH SIGNAGE INDICATING "VAN ACCESSIBLE."



NOTES:
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LEGEND
BB BITUMINOUS BERM
BIT BITUMINOUS
CLF CHAINLINK FENCE
CONC CONCRETE
CRW CONCRETE RETAINING WALL
ELEV ELEVATION
EP EDGE OF PAVEMENT
FND FOUND
G GATE
I INVERT ELEVATION
(M) MARKED
N/F NOW OR FORMERLY
(R) RECORD
R RIM ELEVATION
SRW STONE RETAINING WALL
TBM TEMPORARY BENCHMARK
VERT VERTICAL
VGC VERTICAL GRANITE CURBING
W WATER LINE
S SEWER LINE
G GAS LINE
OHW OVERHEAD WIRE
VC VITRIFIED CLAY
PL PLASTIC
-40- INDEX CONTOUR
-41- INTERMEDIATE CONTOUR
15° CONIFEROUS TREE/SIZE
15° DECIDUOUS TREE/SIZE

ZONING:
STOUGHTON CENTER DISTRICT (SCD) - FLEX SUBDISTRICT (F)

CRITERIA: REQUIRED:
MINIMUM LOT AREA 3,500 S.F.
MINIMUM LOT WIDTH 20 FT.
MINIMUM LOT FRONTAGE 20 FT.
MINIMUM LOT DEPTH 75 FT.
MINIMUM FRONT SETBACK *10 FT.
MINIMUM SIDE YARD SETBACK 5 FT.
MINIMUM REAR YARD SETBACK *10 FT.
MAXIMUM BUILDING HEIGHT 45 FT.
MAXIMUM STORIES 4
MAXIMUM BUILDING AREA 80%
MINIMUM OPEN SPACE 10%

*WITHIN THE SCD, THERE IS ALSO A REQUIRED MAXIMUM FRONT YARD DEPTH OF 20 FEET. SEE SECTION 9.3.7, NOTE 1.

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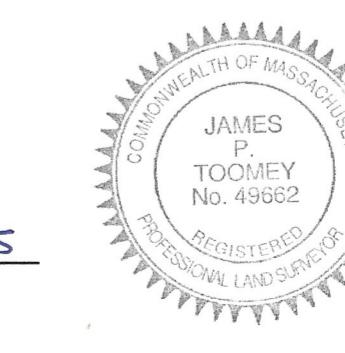
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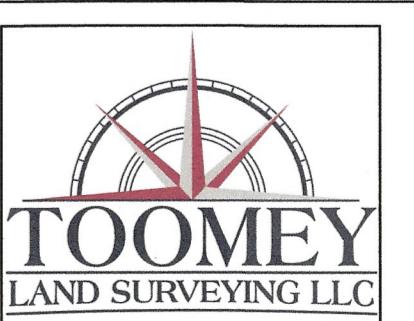
GRAPHIC SCALE
20' 0' 10' 20' 40' 80'
(IN FEET)
1 INCH=20 ft

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY.

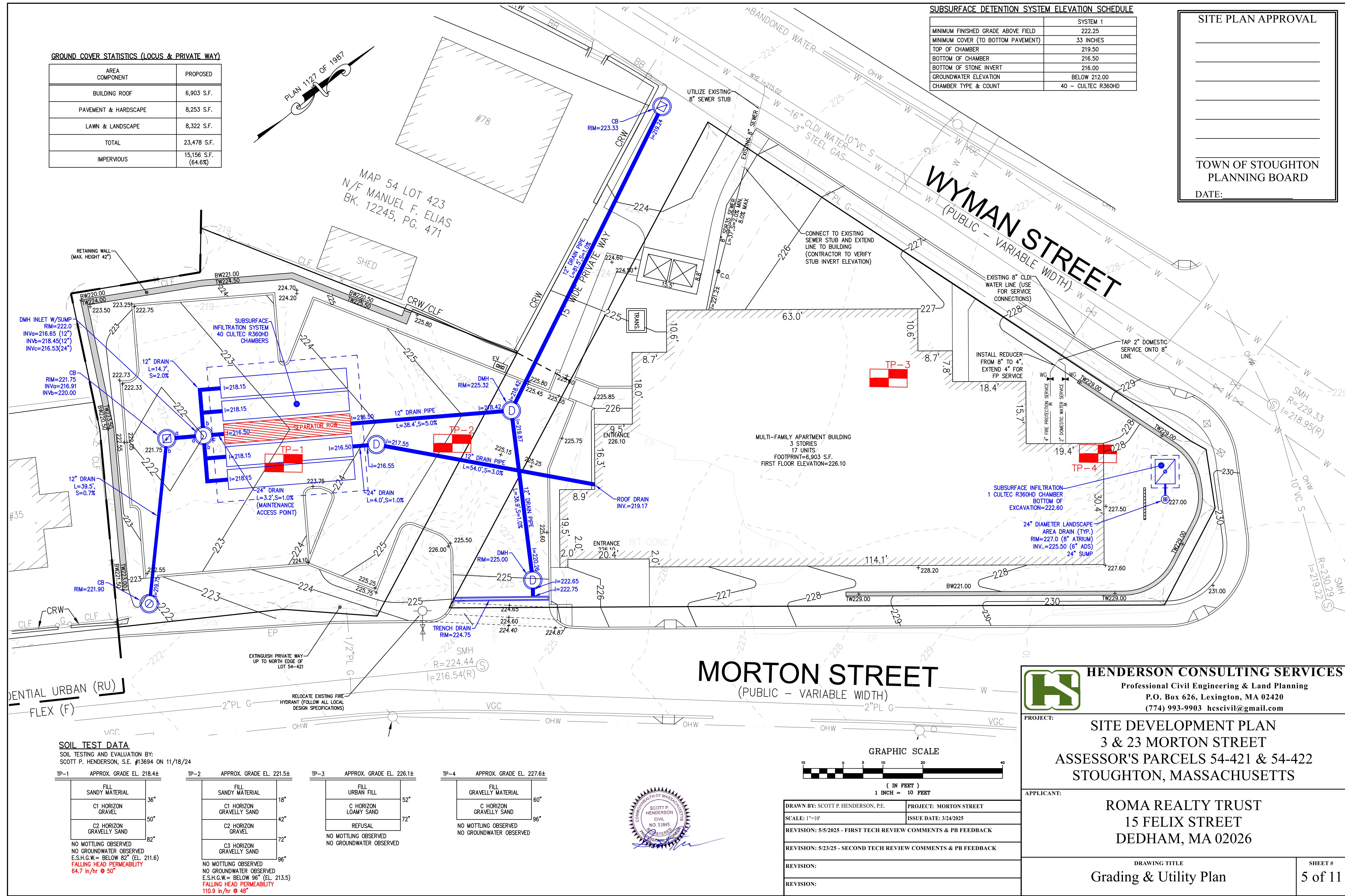
JAMES P. TOOMEY, PLS
(MA LIC. NO. 49662)
DATE
03/23/25



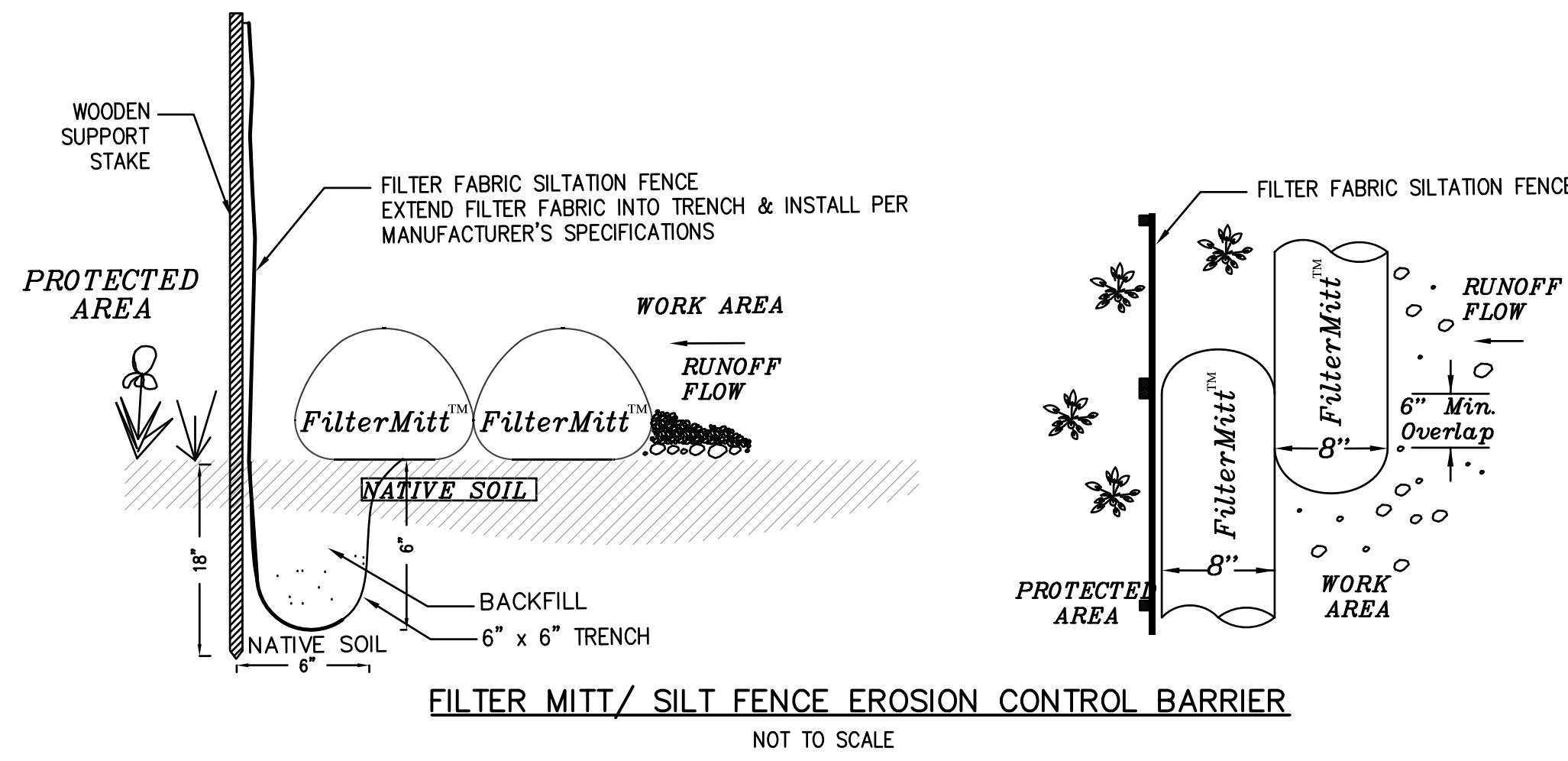
EXISTING CONDITIONS PLAN
3 MORTON STREET
STOUGHTON, MA



TOOMEY LAND SURVEYING LLC
PROFESSIONAL LAND SURVEYING
48 SUMMIT AVENUE, WALPOLE, MA 02081
JTOOMEY@TOOMEYSURVEYING.COM
(617) 877-1043



SITE PLAN APPROVAL

TOWN OF STOUGHTON
PLANNING BOARD
DATE:

GENERAL UTILITY NOTES

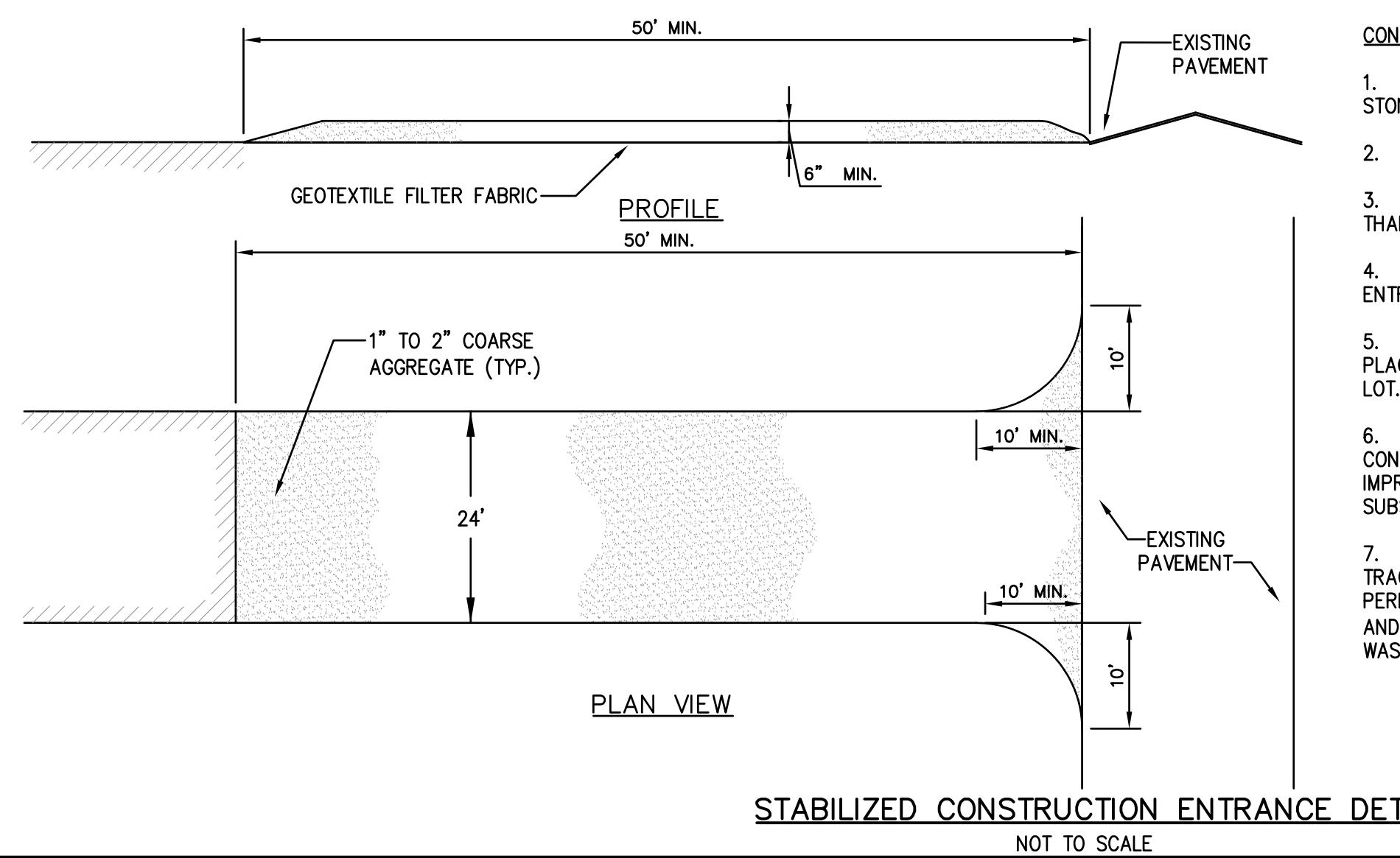
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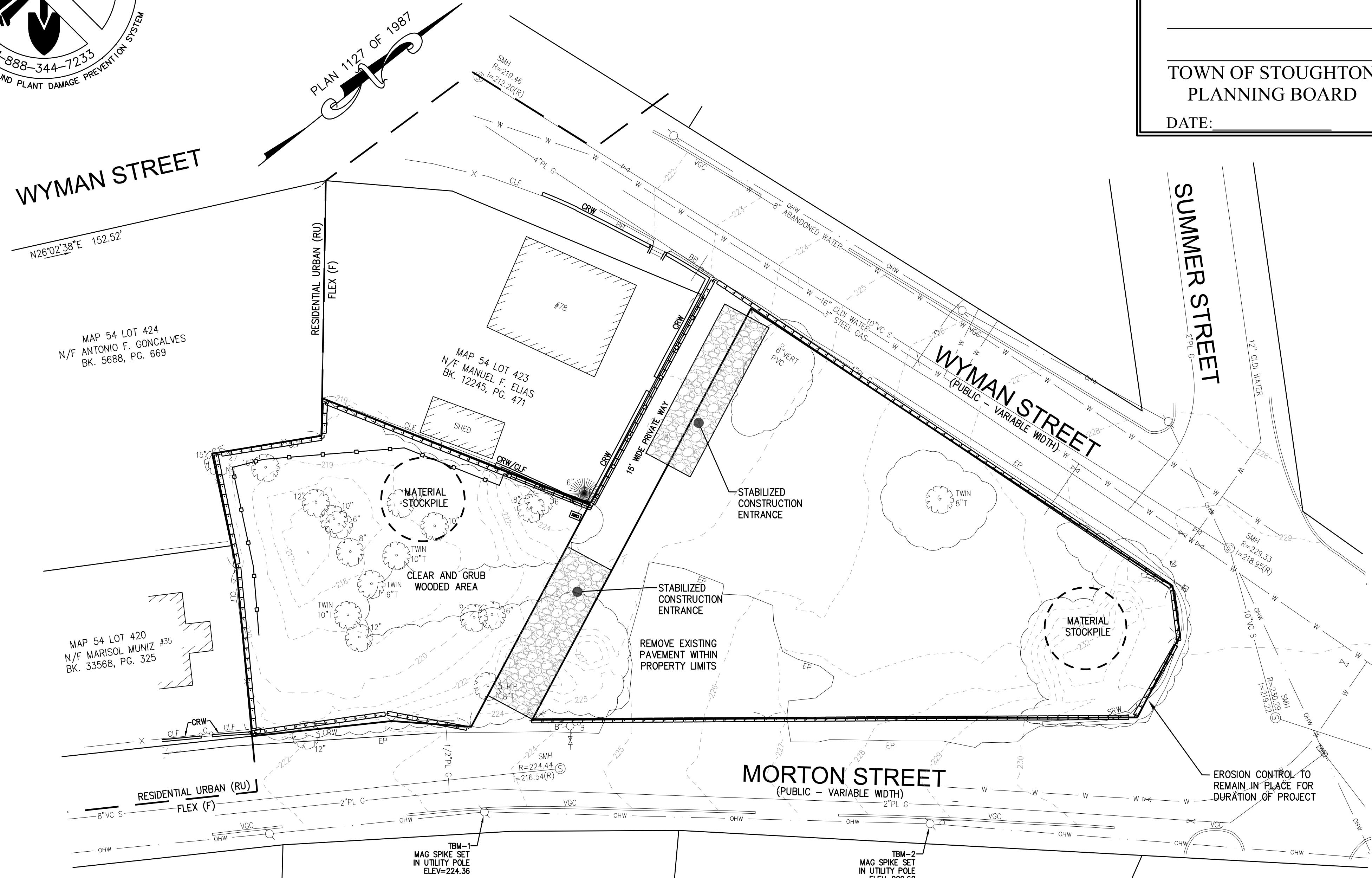
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2. ALL DEMOLITION AND MATERIAL DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
3. MATERIAL STOCKPILE AREAS SHALL BE SURROUNDED WITH TEMPORARY EROSION CONTROLS. SOIL STOCKPILES SHALL BE COVERED WITH A TARP AT THE END OF EACH DAY.

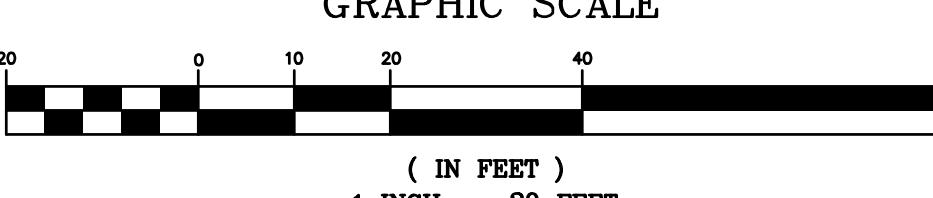


CONSTRUCTION SPECIFICATIONS:

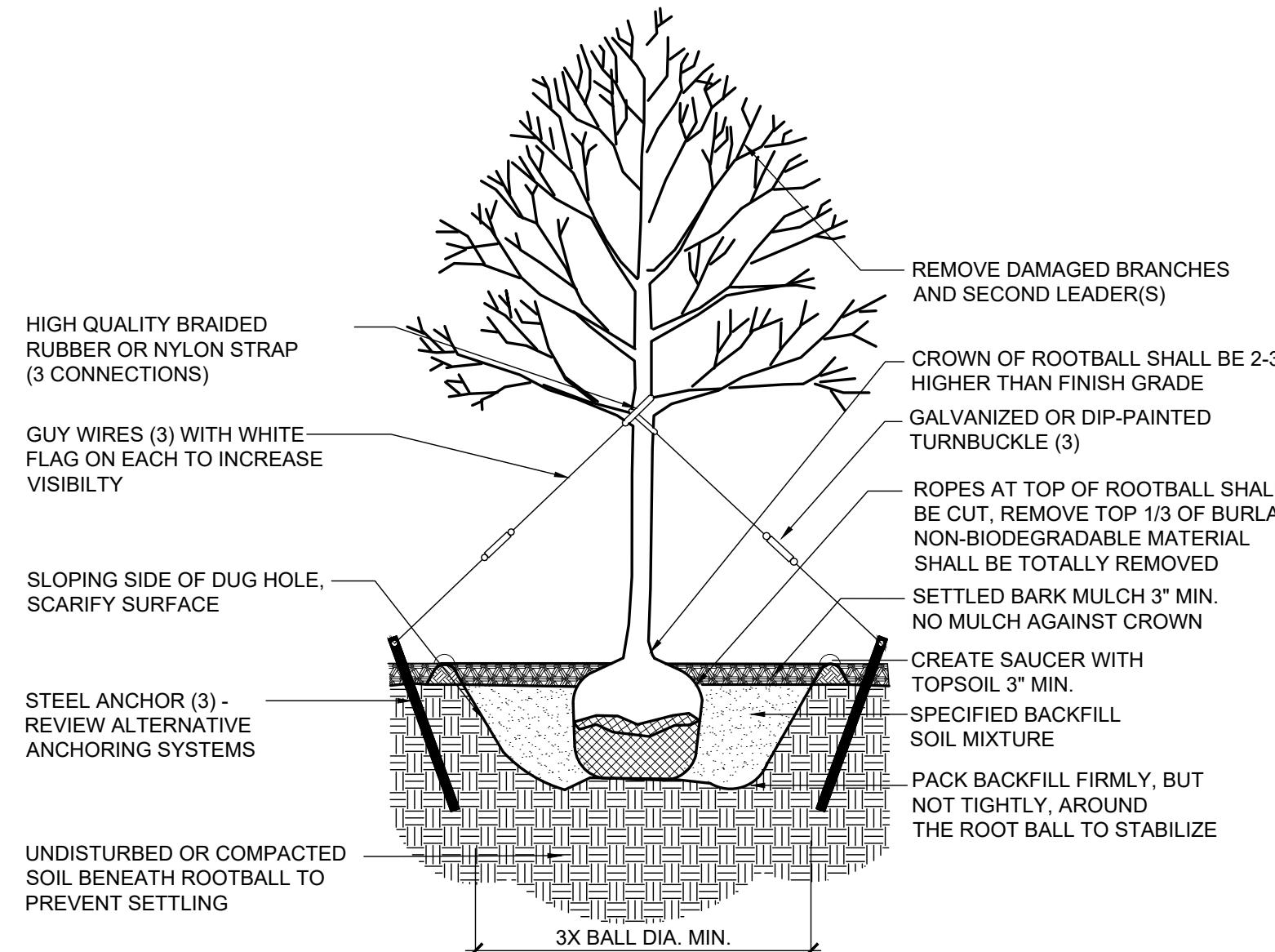
1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 18 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.



GRAPHIC SCALE

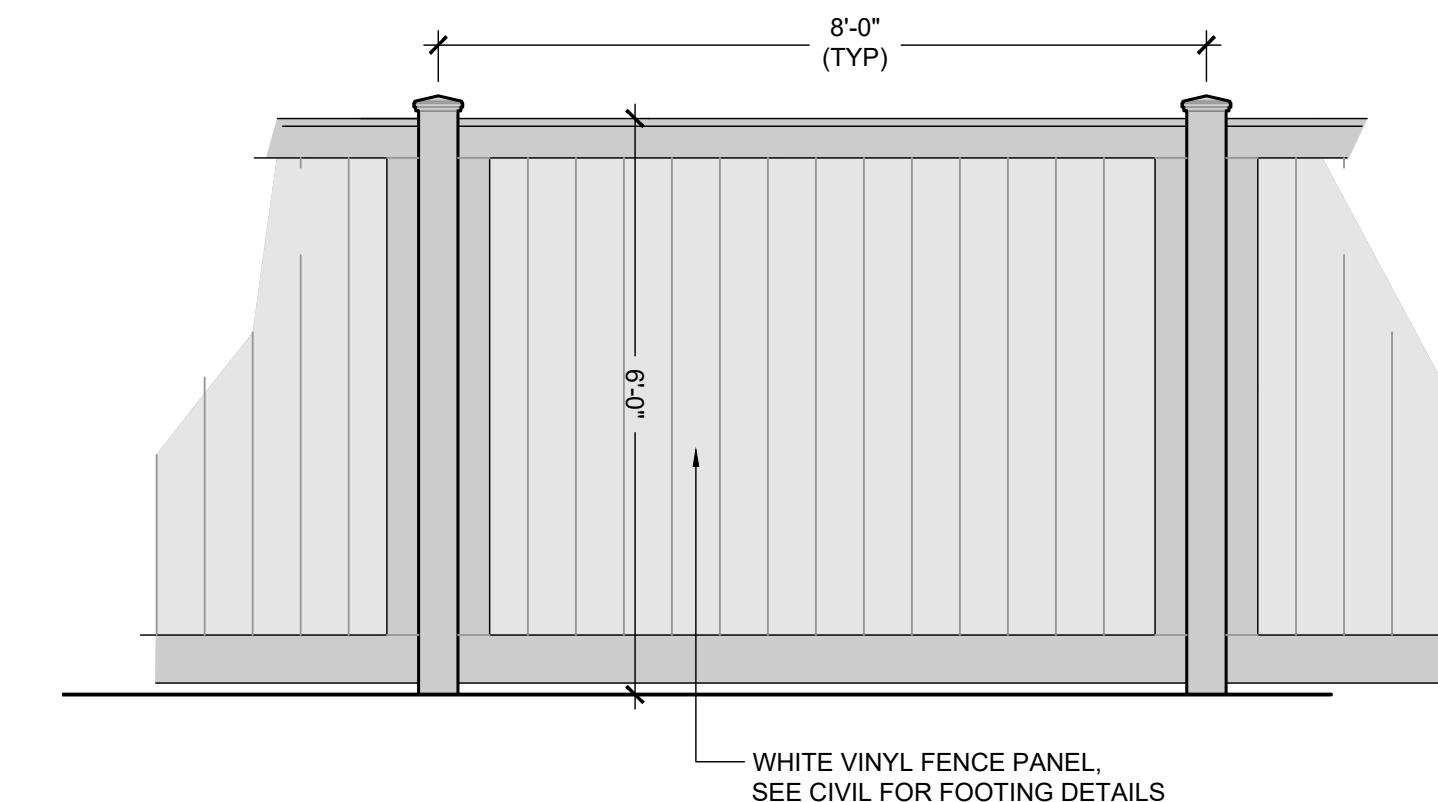


HENDERSON CONSULTING SERVICES Professional Civil Engineering & Land Planning P.O. Box 626, Lexington, MA 02420 (774) 993-9903 hscivil@gmail.com	
SITE DEVELOPMENT PLAN 3 & 23 MORTON STREET ASSESSOR'S PARCELS 54-421 & 54-422 STOUGHTON, MASSACHUSETTS	
APPLICANT:	
ROMA REALTY TRUST 15 FELIX STREET DEDHAM, MA 02026	
DRAWING TITLE: Site Preparation Plan	
SHEET # 8 of 11	



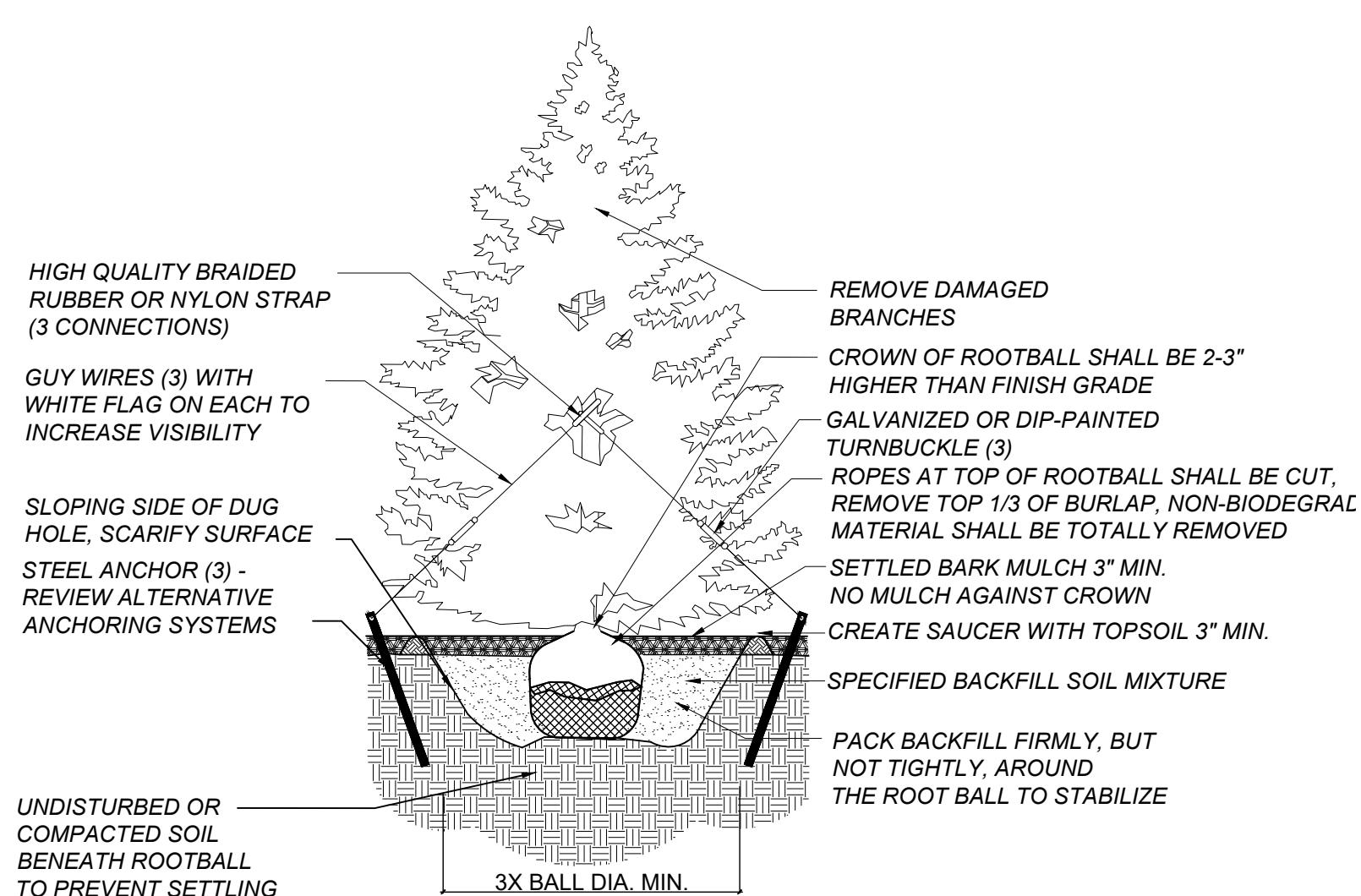
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



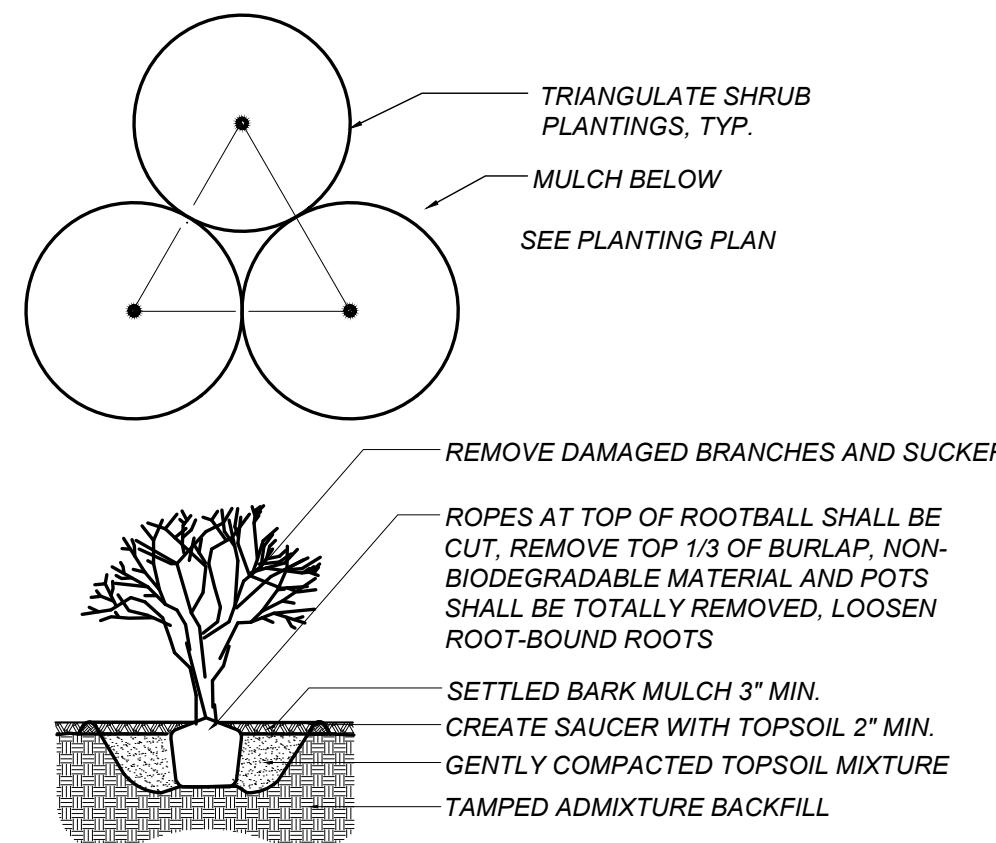
FENCE ELEVATION

NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

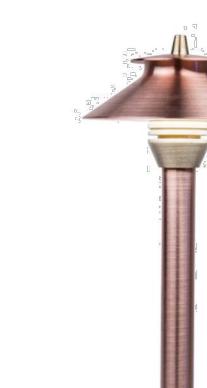


SHRUB PLANTING DETAIL

NOT TO SCALE

FXLuminaire

PF LED Path Light DESIGNER PREMIUM



PROJECT _____
CATALOG # _____
TYPE _____
NOTES _____

The luxurious PF is a scaled down version of the DM and GN. The design of the PF resembles the cantilevered elements of a Thai temple. It's a perfect complement to all craftsman style architecture. Like all FX lighting instruments, the PF is suggestive to a variety of outdoor garden and architectural themes but it is never predictable, which prevents the PF from becoming mundane. Use the PF in combination with its bigger brothers, by using the DM and GN to address different size areas with a unified fixture design style.

Quick Facts

- Copper/brass construction
- Natural, powder coated, or antiqued copper/brass
- Cree® Integrated LEDs
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



Note: Example model shown has a 12" riser.
PF Path Light - Recommended Spacing 1 LED
Footcandles (Lux) 12" Riser 18" Riser
0.1 fc (1.1 lx) 6.5' (2.0 m) 8.4' (2.6 m)
0.3 fc (3.2 lx) 5.0' (1.5 m) 6.6' (2.0 m)
0.5 fc (5.4 lx) 4.5' (1.4 m) 6.0' (1.8 m)
0.8 fc (8.6 lx) 4.3' (1.3 m) 5.0' (1.5 m)
1.0 fc (10.8 lx) 4.0' (1.2 m) 4.5' (1.4 m)
0.1 fc (1.1 lx) minimum spacing recommended for residential projects
0.3 fc (3.2 lx) minimum spacing recommended for commercial projects

LANDSCAPE AND ARCHITECTURAL LIGHTING

| Learn more. Visit: fxl.com | +1 760.744.5240

1 of 7

Generated 16 Oct 2024 15:25:41

FXLuminaire

Up Lights

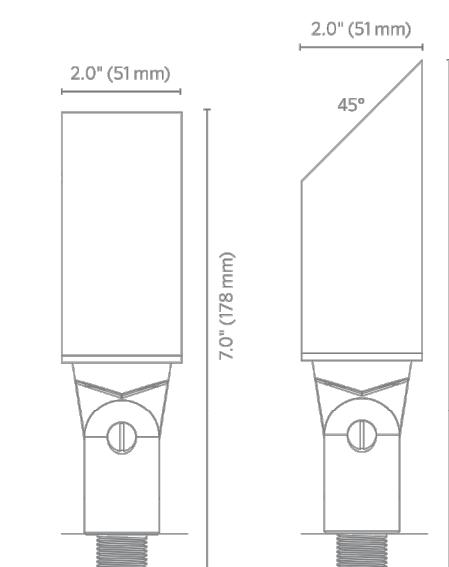


MR Up Light STANDARD PREMIUM

This MR copper/brass up light brings the elegance and performance of precious metals to the FX Luminaire line.

Quick Facts

- Copper/brass construction
- Natural copper/brass or antique finishes
- ProAim® adjustability
- Phase dimmable
- Input voltage: 10 to 15 V



LANDSCAPE & ARCHITECTURAL LIGHTING

DETAILS

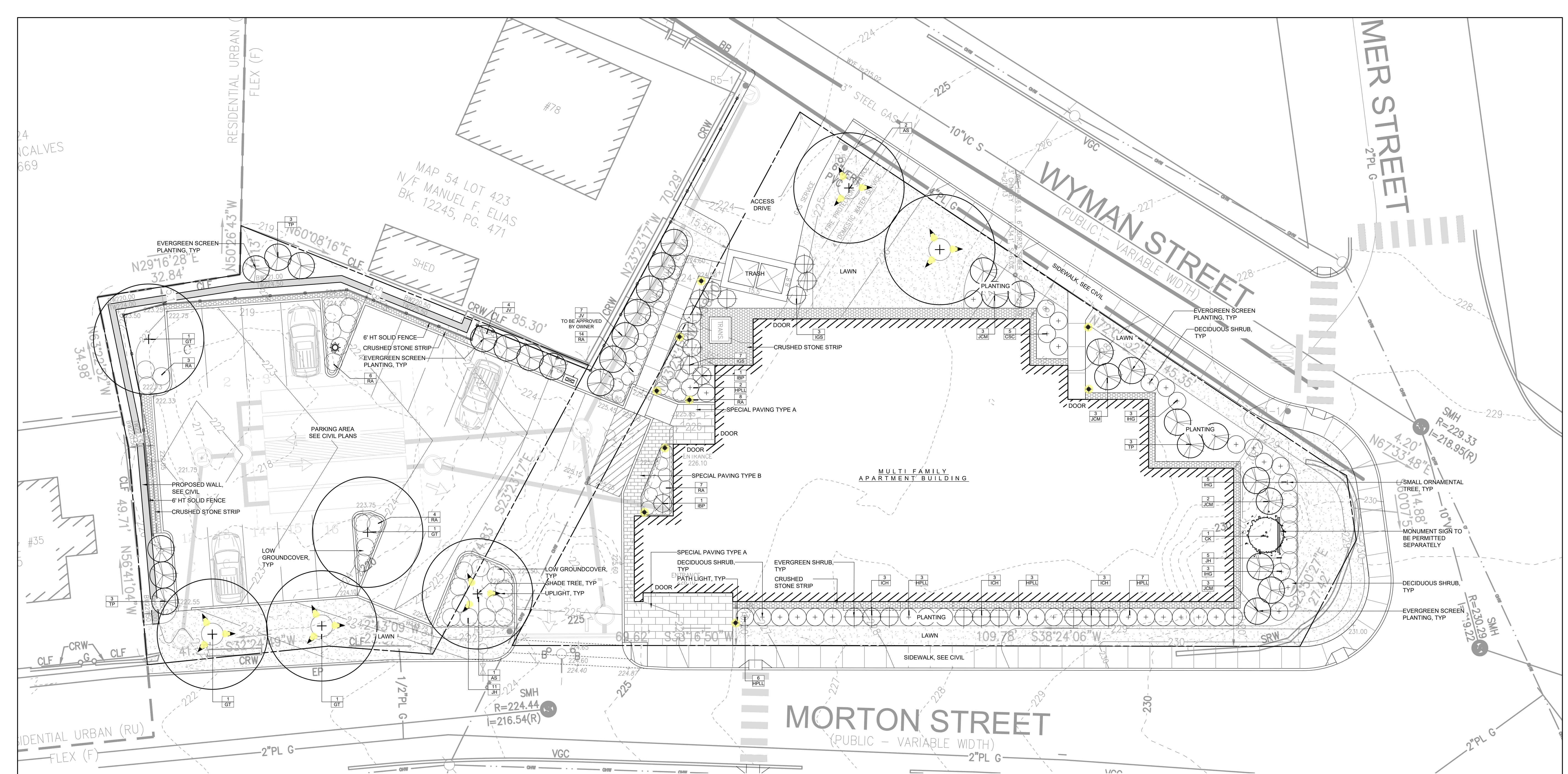
3 MORTON STREET
STOUGHTON, MA

SEAN PAPICH
landscape architecture

222 north street
hingham.ma 02043
7781.741.5455
www.seanpapich.com

MAY 5, 2025
MAY 19, 2025
MAY 27, 2025

SCALE: AS NOTED
PROJECT NO. 2504



PLANTING LEGEN

MASTER PLANT LIST

27-May-25

Site Plan Legend					
SYMBOL	COMMON NAME	DESCRIPTION	SIZE	REMARKS	
EVERGREEN TREES					
JV	11	<i>Juniperus virginiana</i>	Eastern Red Cedar	7-8' ht	B&B
JCM	11	<i>Juniperus chinensis</i> 'Mountbattan'	Mountbattan Juniper	7-8' ht	B&B
TP	9	<i>Thuja plicata</i> 'Steeplechase'	Steeplechase Western Arborvitae	7-8' ht	B&B
LARGE SHADE TREES					
AS	3	<i>Acer saccharum</i>	Sugar Maple	3" cal.	B&B
GT	4	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster Thornless Honey Locust	3" cal.	B&B
ORNAMENTAL TREES					
CK	1	<i>Cornus 'Rutgan'</i> Stellar Pink	Stellar Pink Dogwood	7-8' clump	B&B
SHRUBS					
CSC	5	<i>Clethra alnifolia</i> 'Sixteen Candles'	Sixteen Candles Summersweet	#7	CONTAINER OR B&B
HPLL	21	<i>Hydrangea paniculata</i> 'Little Lime'	Little Lime Hydrangea	#7	CONTAINER OR B&B
ICH	9	<i>Ilex crenata</i> 'Hoogendorn'	Hoogendorn Japanese Holly	2-3' ht.	CONTAINER OR B&B
IGS	10	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	2-3' ht.	CONTAINER OR B&B
IBP	2	<i>Ilex meservea</i> 'Blue Princess'	Blue Princess Holly	2-3' ht.	CONTAINER OR B&B
IHG	11	<i>Itea virginica</i> 'Henry's Garnet'	Henry's Garnet Sweetspire	#3	CONTAINER OR B&B
JH	16	<i>Juniperus horizontalis</i>	Creeping Juniper	#3	CONTAINER OR B&B
RA	42	<i>Rhus aromatica</i> 'Gro-Low'	Gro Low Fragrant Sumac	#5	CONTAINER OR B&B

LANDSCAPE PLAN

3 MORTON STREET

STOUGHTON, MA

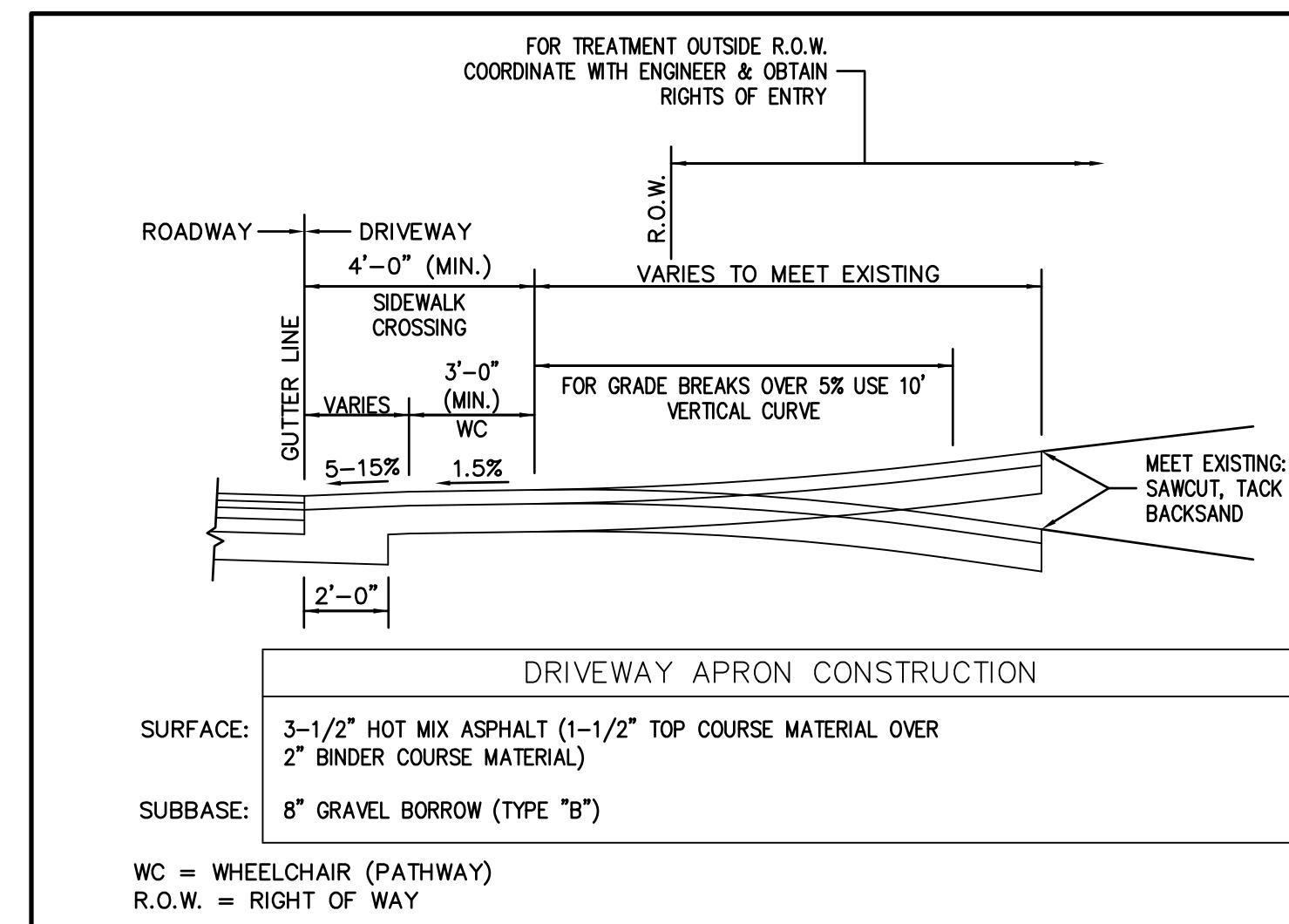
SEAN PAPICH

landscape architecture

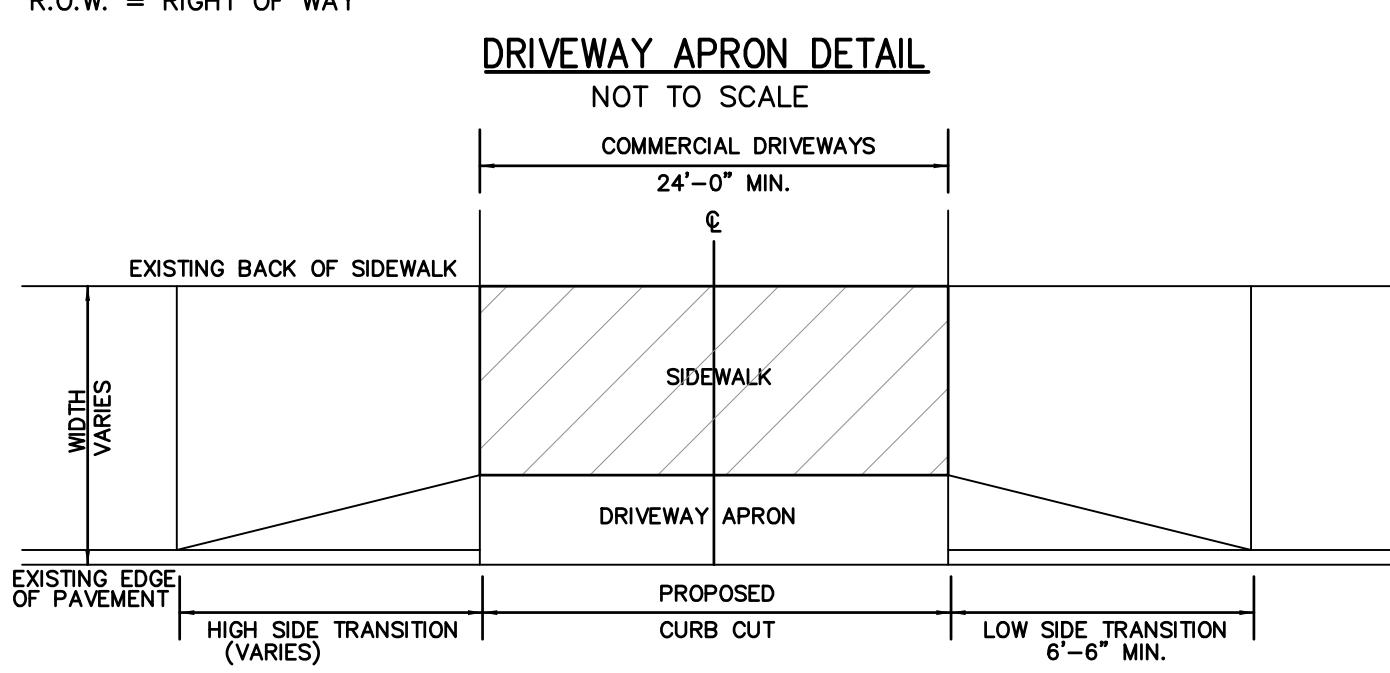
222 north street hingham,ma 02043
T781.741.5455 www.seanpapich.com

APRIL 21, 2025
MAY 5, 2025
MAY 19, 2025
MAY 27, 2025

PROJECT NO. 2504

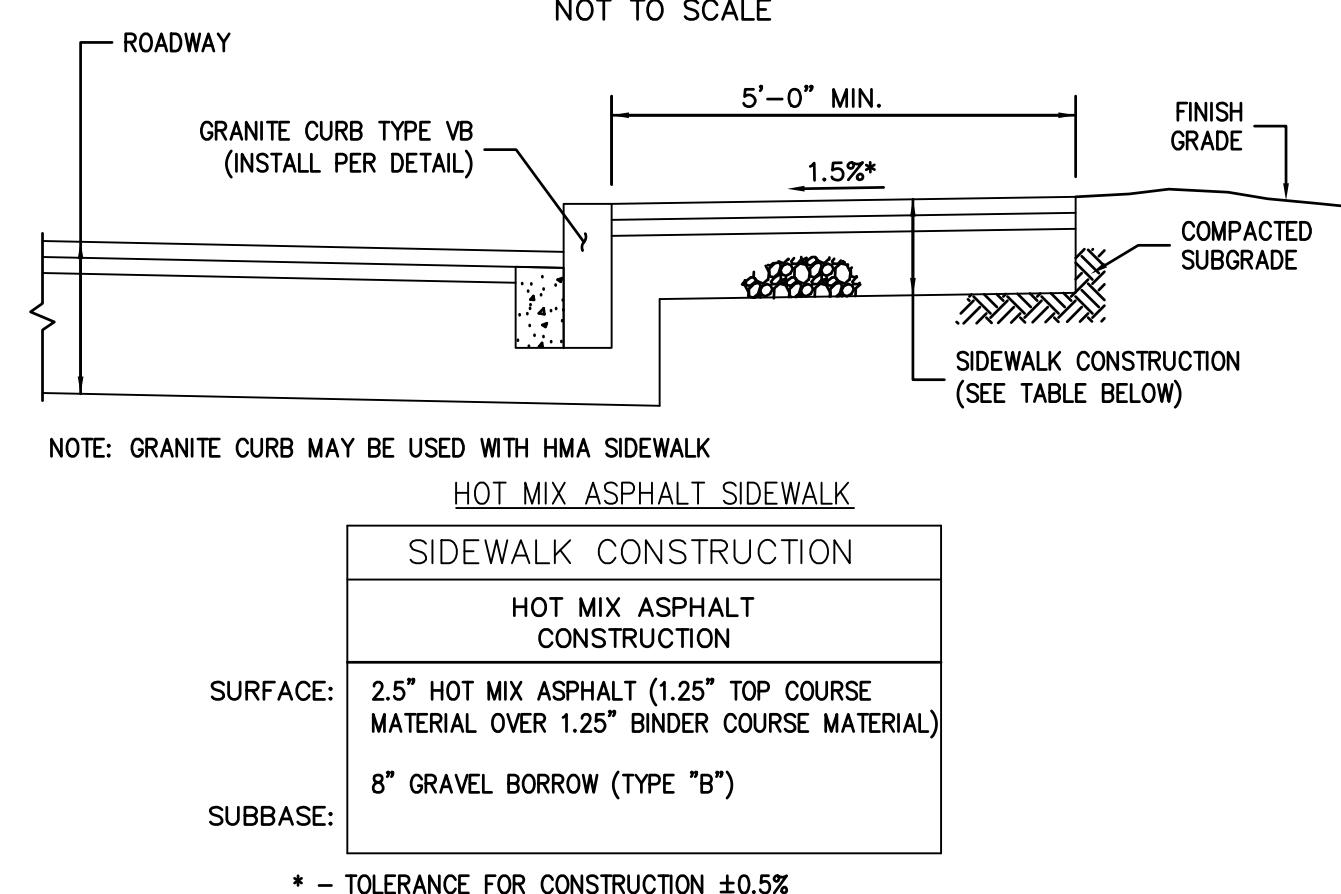


R5-1 MUTCD SIGN
NOT TO SCALE

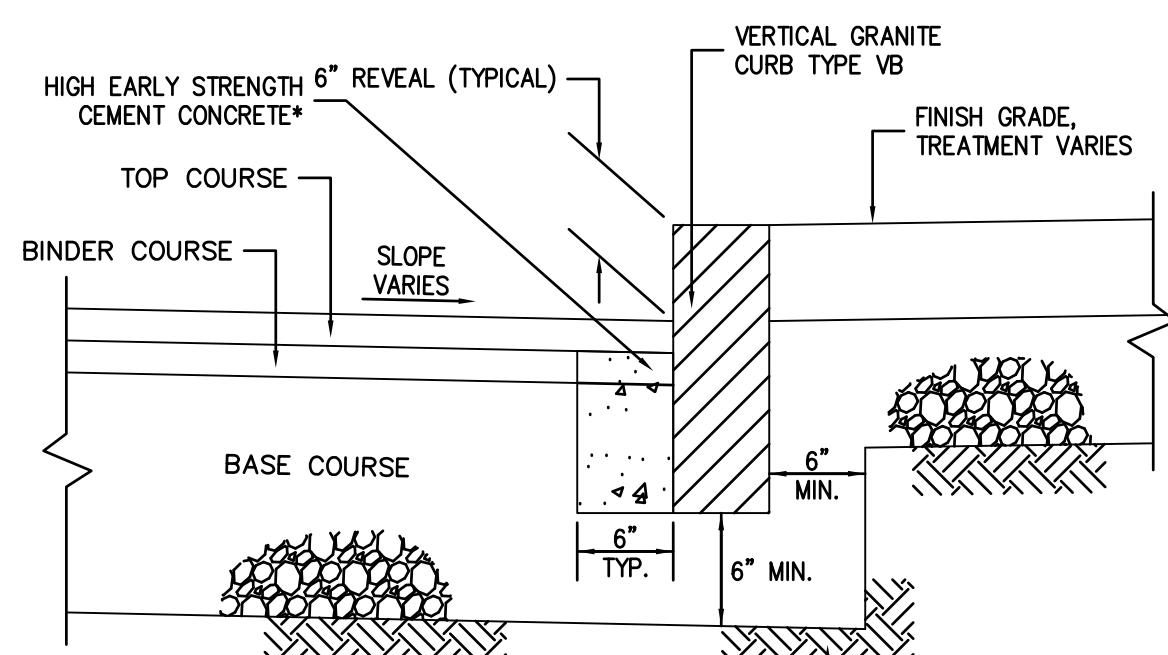


MUST MAINTAIN A 3'-0" LEVEL PATH OF TRAVEL AT 1.5% CROSS SLOPE

TYPICAL CURB CUT DETAIL
NOT TO SCALE

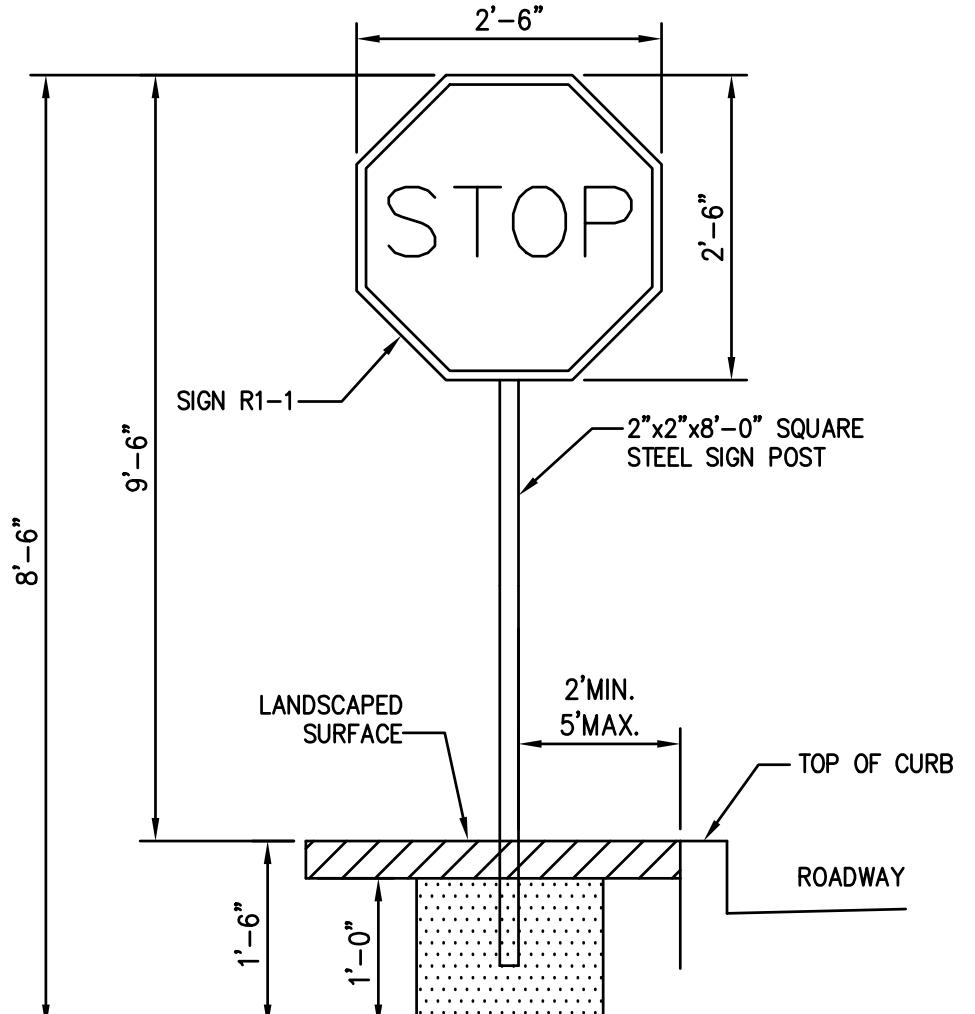


TYPICAL SIDEWALK CONSTRUCTION
NOT TO SCALE

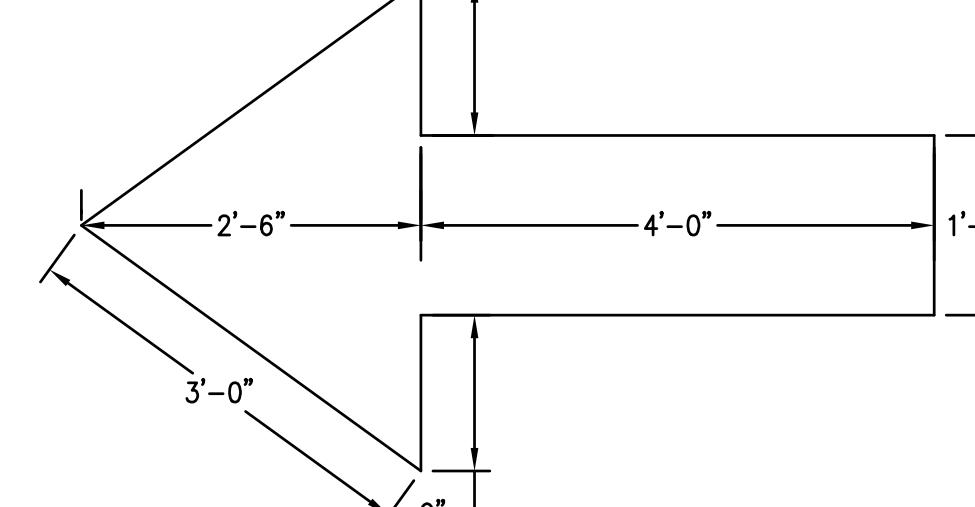


* - CEMENT CONCRETE TO BE USED IF CURB IS SET AFTER BASE AND/OR BINDER IS IN PLACE.
PAYMENT FOR CEMENT CONCRETE SHALL BE INCLUDED IN THE PRICE PER LINEAR FOOT OF CURB.

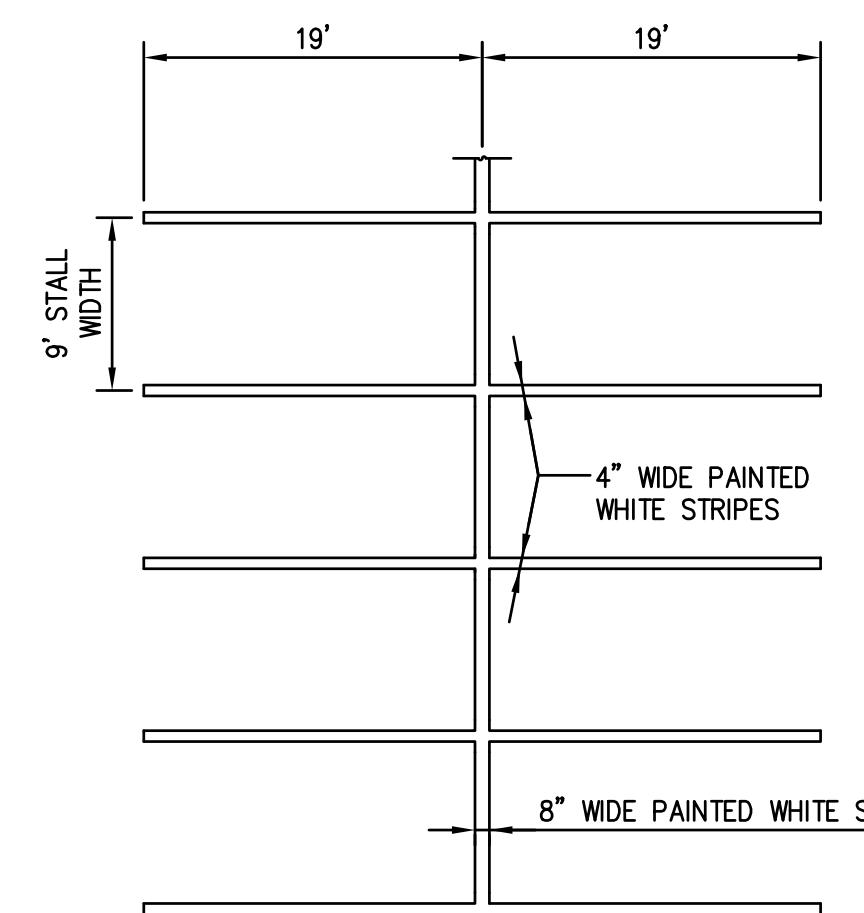
VERTICAL GRANITE CURB
NOT TO SCALE



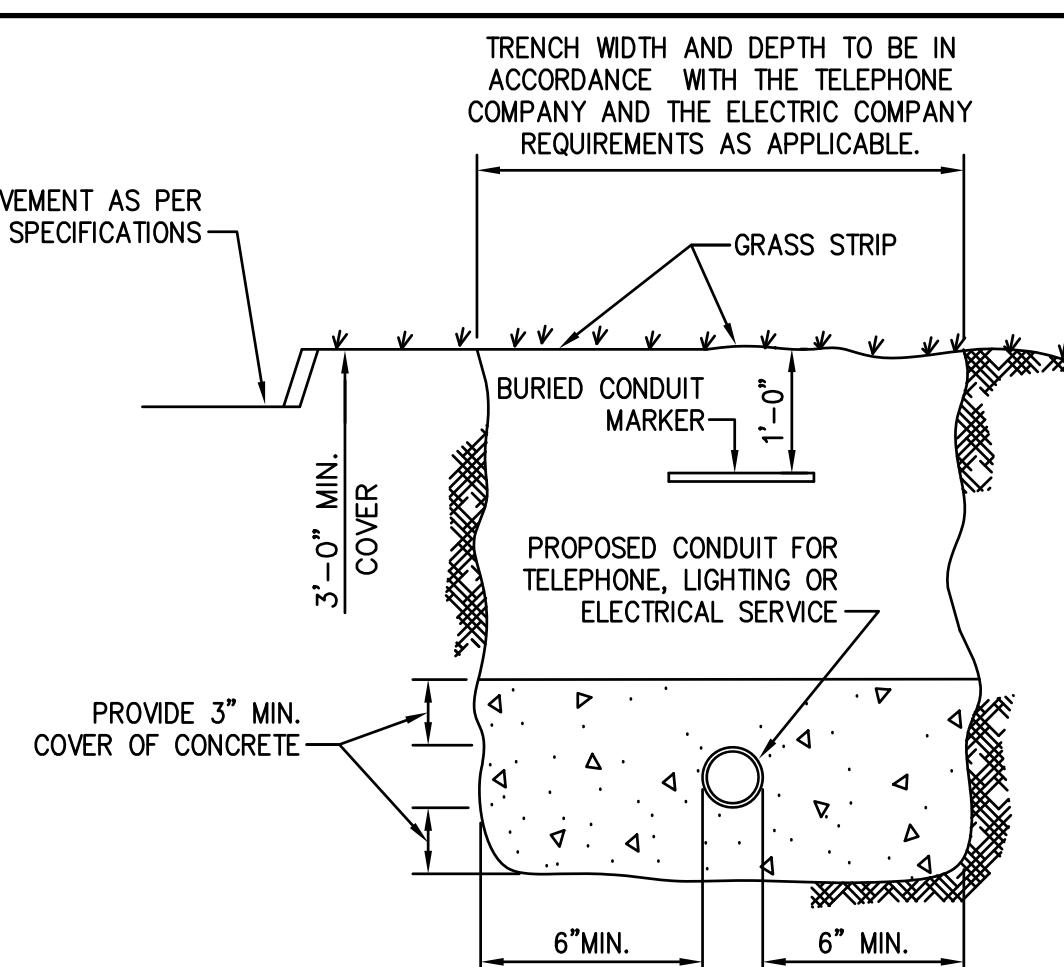
STOP SIGN DETAIL
NOT TO SCALE



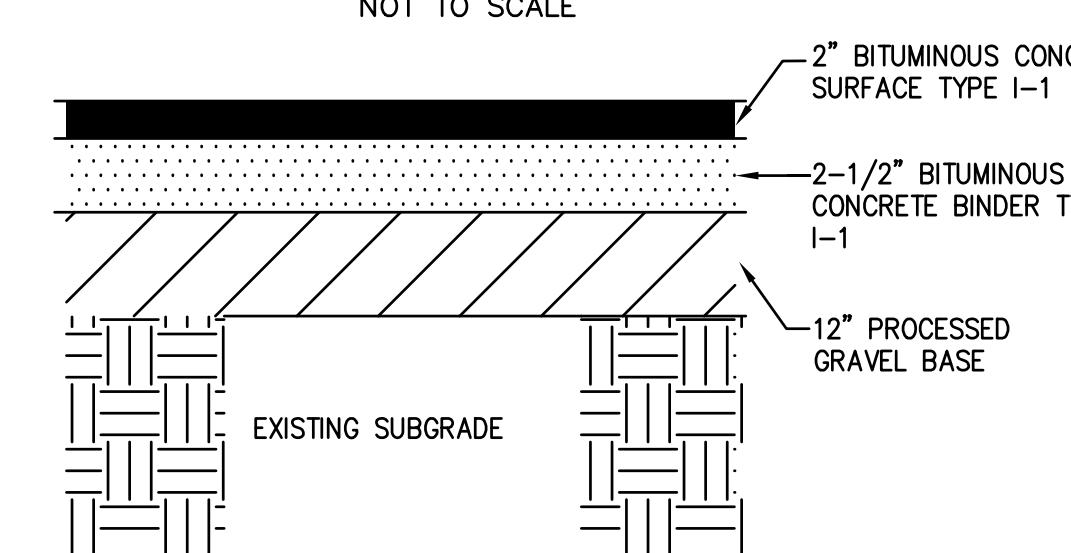
PAINTED ARROW DETAIL
NOT TO SCALE



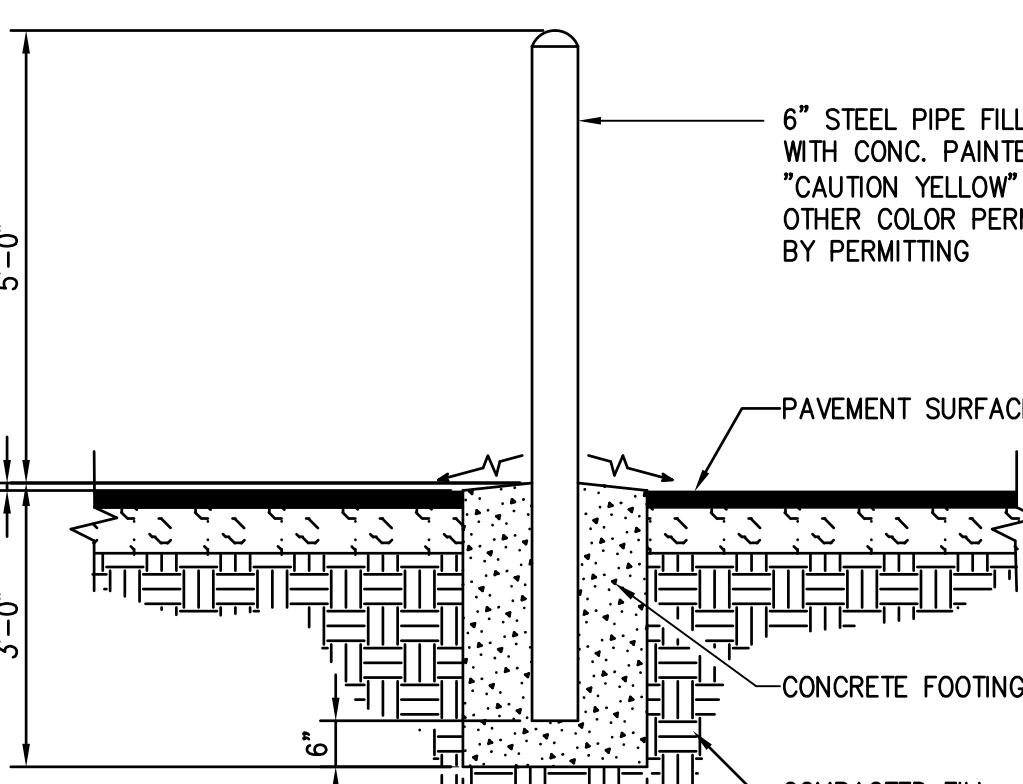
TYPICAL STRIPING DETAIL
NOT TO SCALE



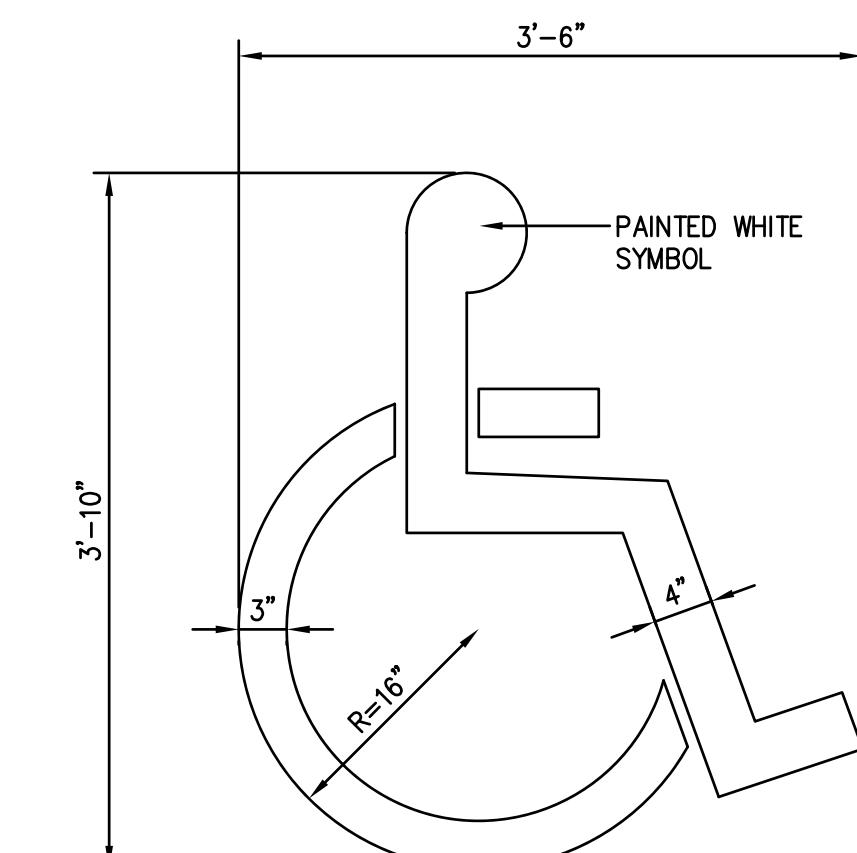
TYPICAL ELECTRIC/TELEPHONE/CABLE (E/T/C) DUCTBANK DETAIL
NOT TO SCALE



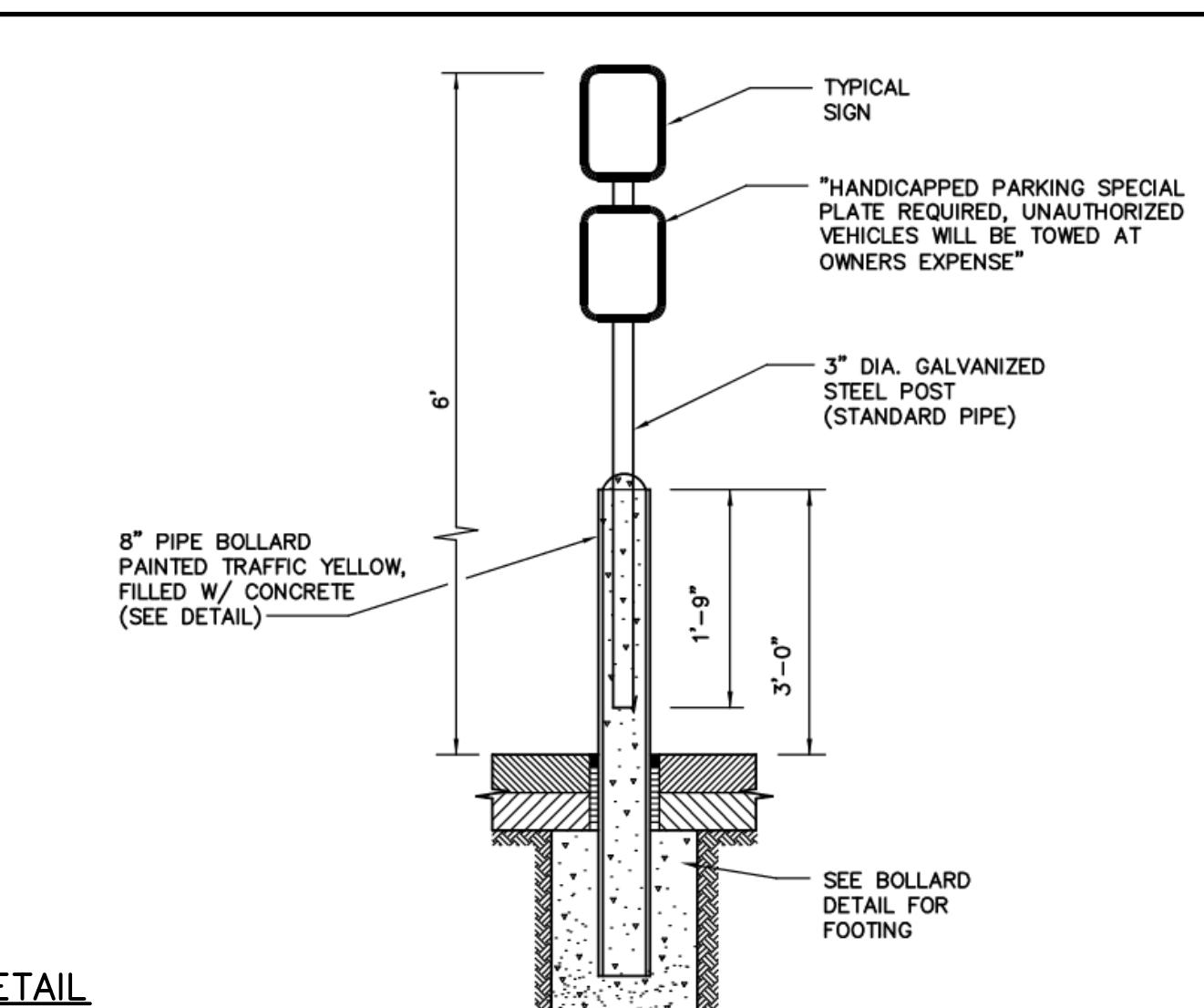
TYPICAL HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE



TYPICAL BOLLARD DETAIL
NOT TO SCALE



PAINTED HANDICAP SYMBOL DETAIL
NOT TO SCALE

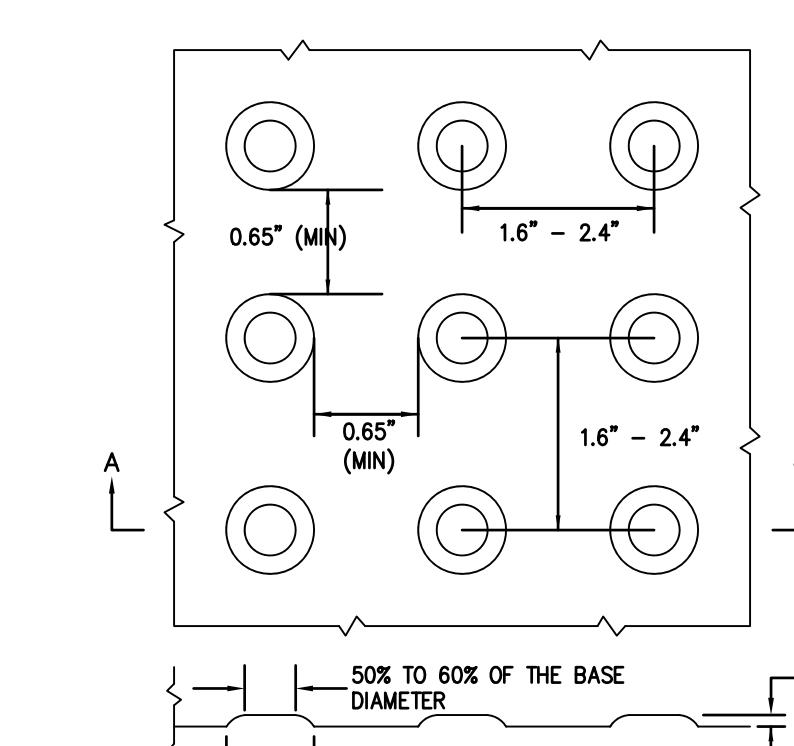


HANDICAP PARKING BASE SIGN
NOT TO SCALE

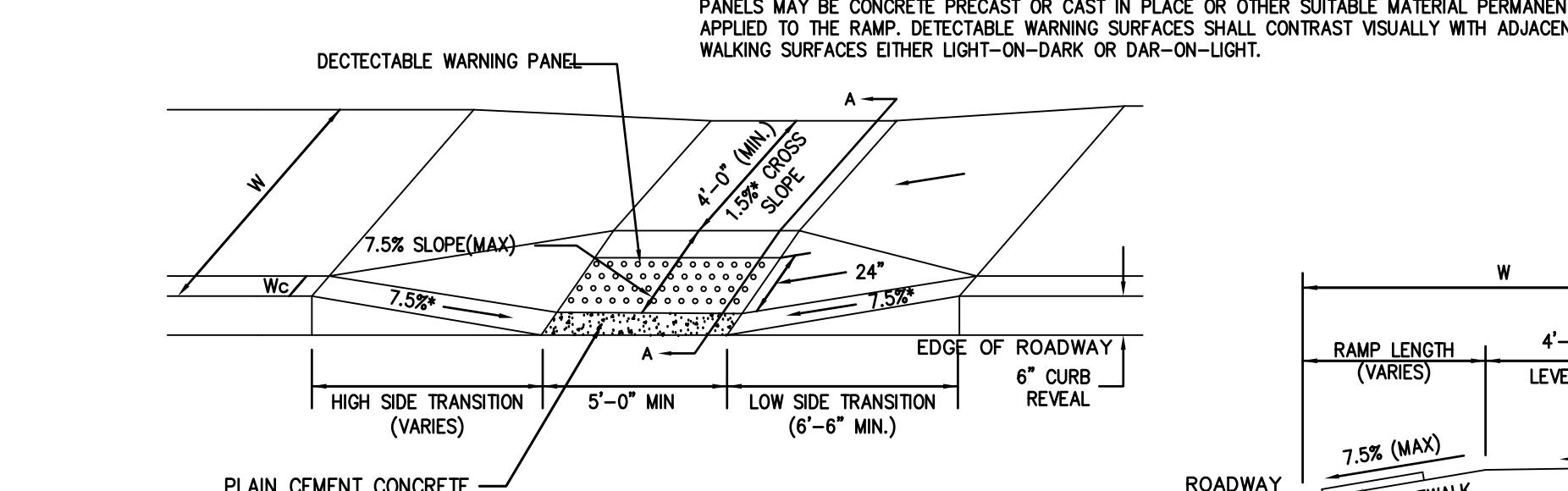


GRANITE BULLNOSE CURB DETAIL
NOT TO SCALE

NOTE: REFER TO GRANITE CURB DETAIL FOR INSTALLATION & LOCATION OF CEMENT CONCRETE.



SECTION A-A



SECTION A-A

LEGEND:
W = SIDEWALK WIDTH
Wc = CURB WIDTH
* = TOLERANCE FOR CONSTRUCTION $\pm 0.5\%$
- USABLE SIDEWALK WIDTH PER AAB = W-Wc
- USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"

SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD, THE AMERICANS WITH DISABILITIES ACT AND THE CURRENT MASSDOT CONSTRUCTION STANDARDS.

SECTION A-A

SEE DETAIL FOR SIDEWALK CONSTRUCTION

SECTION A-A

DETECTABLE WARNING PANEL

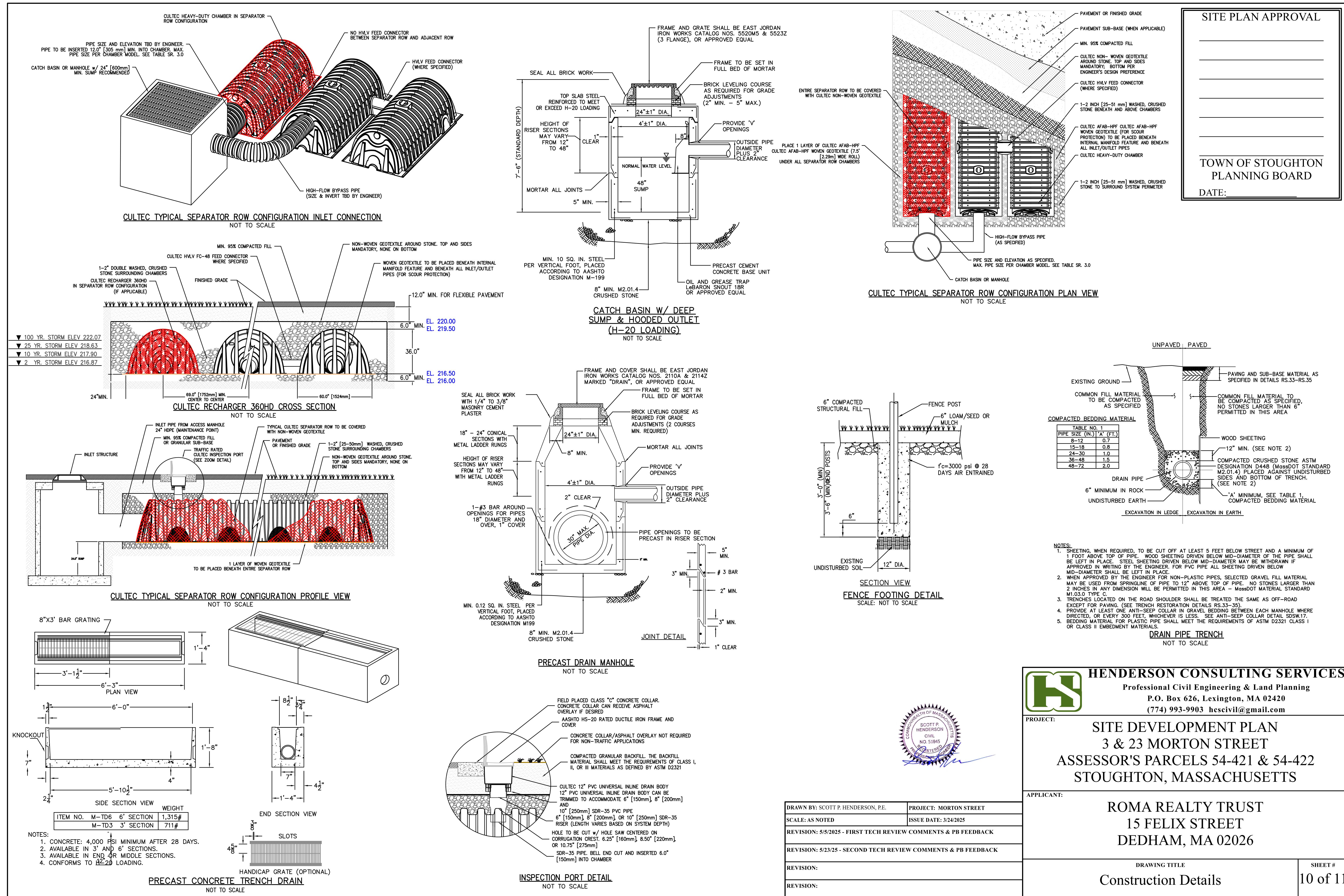
SECTION A-A

SEE DETAIL FOR SIDEWALK CONSTRUCTION

SECTION A-A

DETECTABLE WARNING PANEL

SECTION A-A





TOWN OF STOUGHTON

RECEIVED
TOWN CLERK

2025 JUL 13 A 6:52

MASSACHUSETTS
MA 02072

PLANNING BOARD

Site Plan and Special Permit Approval
Multi-Family Development
3 and 23 Morton Street
for
Case # SP25-007 and SPP25-002

Date: June 12, 2025

Applicant: Antonio Reda, Trustee, Roma Realty Trust
15 Felix Street
Dedham, MA 02026

Owner: H & R Construction Corp
409 Canton Street, Unit 1
Stoughton, MA 02072

Representative: Barry R. Crimmins, P.C.
909 Washington Street
Stoughton, MA 02072

Property: 3 and 23 Morton Street
Stoughton, MA 02072
Assessors Map 54 Lots 421 & 422

Title: Book: 25736, Page: 277 and Book: 25109, Page: 118

I) Project Summary

On March 27, 2025, applicant, Antonio Reda, Trustee, Roma Realty Trust ("Applicant"), filed an application for Site Plan Approval under Section 10.6 and a Special Permit under Section 6.1.7 of the Town of Stoughton's Zoning Bylaws ("Zoning Bylaws"). The Site Plan Review under Section 10.6 to construct a 17-unit, 3-story multi-family building with 18 parking spaces, landscaping, drainage and other site improvements ("Project"), at and upon land known and numbered as 3 and 23 Morton Street (Assessors Map 54: Lots 421 & 422 - the "Property"). The Special Permit request is to allow for the following waivers: Section 6.1.7.9 to allow the parking within the Front Yard Setback, Section 6.4.4 to allow the clearing of the trees on the lot. The combined properties are a total of 23,353 +/- SF. The Project is located within the Stoughton Center District - Flex Zone.

Case #: SP25-007 & SPP25-002 - Multi-Family Development - 3 & 23 Morton Street
RECEIVED
NOVEMBER COUNTY REGISTRY OF DEEDS
RECEIVED & RECORDED ELECTRONICALLY

6. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
7. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.
8. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
9. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
10. The cost of any necessary outside testing, inspection or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
11. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
12. Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
13. A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.
14. All construction shall be in strict conformance with the plans the approved Site Plan entitled "Site Redevelopment Plan, 3 & 23 Morton Street, Stoughton, Massachusetts", prepared by Henderson Consulting Services, LLC dated March 24, 2025 and revised May 23, 2025.
15. The applicant shall record the Site Operation & Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit.
16. The applicant shall clean the entire drainage system at the end of construction.
17. All required inspection fees shall be paid through the Engineering Office prior to construction.
18. A Final As-built Plan shall be submitted for review by the Engineering Department prior to the issuance of a Certificate of Occupancy.

II) Procedural History

- A) A Pre Application meeting was held on February 27, 2025.
- B) Applications for Site Plan and Special Permit Approvals were made by the above referenced applicant and filed with the Planning Board on March 27, 2025.
- C) The land shown on the Site Plan is located at 3 and 23 Morton Street and shown on Assessors Map 54: Lots 421 & 422. The property is located within the Stoughton Center District - Flex Zone.
- D) Public hearings on the Site Plan and Special Permit Applications were held on April 24, 2025, May 22, 2025, and June 12, 2025. The hearing was advertised on April 9, 2025 & April 16, 2025 in the Patriot-Ledger.
- E) On June 12, 2025, the public hearing was closed and on June 12, 2025, the Planning Board voted to approve the Site Plan and Special Permit.

III) Application Submittals

- A. Site Plan and Special Permit Applications submitted March 25, 2025.
- B. Site Plan entitled "Site Redevelopment Plan, 3 & 23 Morton Street, Stoughton, Massachusetts", prepared by Henderson Consulting Services, LLC dated March 24, 2025 and revised May 23, 2025.
- C. Architectural Elevation Plans and color renderings prepared by McKay Architects dated March 19, 2025.
- D. Landscape Plan prepared by Sean Papich Landscape Architect dated March 20, 2025 and revised May 27, 2025.
- E. Lighting Plan prepared by Vincent A. Dilorio, Inc. dated April 23, 2025.
- F. Site Redevelopment Narrative and Waiver Request, prepared by Henderson Consulting Services, LLC dated March 24, 2025.
- G. Stormwater Report and Drainage Calculations, prepared by Henderson Consulting Services, LLC dated March 24, 2025 and revised May 6, 2025.
- H. Traffic Analysis, prepared by Henderson Consulting Services, LLC dated May 6, 2025.

IV) Related Documents

1. Copy of the Legal Public Hearing notice from the edition of the Patriot-Ledger dated April 9, 2025 & April 16, 2025.
2. Technical Engineering Review Letters dated April 8, 2025 and May 15, 2025 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner.

V) Findings and Determinations

After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 10.6.1 as well as 10.6.9 through 10.6.12. Specifically, the Board has examined each of the criteria set forth in Section 10.6.1 and finds as follows:

1. The location of the parking area, uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.
2. Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff, and glare of lights.
3. Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection, and methods of solid waste disposal are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
4. Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed, and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
5. Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The property was previously developed and is vacant.
6. Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.
7. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department and the Planning Department, the Planning Board analyzed all the comments, and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
8. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Review," found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.

VII) Conditions

- A) General Conditions
 1. This decision for Site Plan and Special Permit Approvals shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
 2. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
 3. The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
 4. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
 5. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.

VIII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Special Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.

On this day of June 12, 2025.

Peter Murphy

Cc: Town Clerk
Applicant
Interested Parties

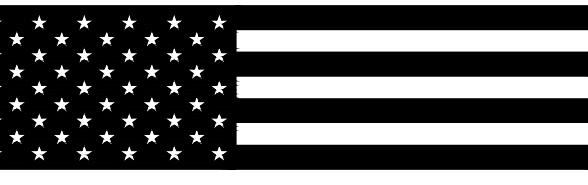
CERTIFICATION:
The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on 6-13-25.

FOR THE PLANNING BOARD

Daniel Kelly, Chairman

DRAWN BY: SCOTT P. HENDERSON, P.E.	PROJECT: MORTON STREET
SCALE: AS NOTED	ISSUE DATE: 3/24/2025
REVISION: 5/5/2025 - FIRST TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION: 5/23/25 - SECOND TECH REVIEW COMMENTS & PB FEEDBACK	
REVISION:	
REVISION:	

HENDERSON CONSULTING SERVICES	
Professional Civil Engineering & Land Planning	
P.O. Box 626, Lexington, MA 02420	
(774) 993-9903 hscivil@gmail.com	
PROJECT: SITE DEVELOPMENT PLAN 3 & 23 MORTON STREET ASSESSOR'S PARCELS 54-421 & 54-422 STOUGHTON, MASSACHUSETTS	
APPLICANT: ROMA REALTY TRUST 15 FELIX STREET DEDHAM, MA 02026	
DRAWING TITLE: Planning Board Decision	
SHEET #: 11 of 11	



REVISIONS:		
REV.:	DATE:	DESCRIPTION:

CLIENT:
ROMA REALTY TRUST

15 FELIX ST,
DEDHAM, MA 02026

PROJECT:
3 MORTON ST

3 MORTON ST
STOUGHTON, MA

DRAWING TITLE
PHOTOMETRIC
CALCULATIONS

DRAWN: CDO
CHECKED: VAD Jr
SCALE: 1" = 20'-0"
DATE: APRIL 23, 2025

E1

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	lum	Luminaire Watts
PL	1	PL	Single	RAB: ALEDS3TNS/WS2 (40W)	1.000	5650 40.5
WL	5	WL	Single	GCS-A01-830-T4M	1.008	1467 10.2

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Max
OVERALL	Illuminance	Fc	0.10	5.27	0.00	N.A.
BLDG PERIMETER	Illuminance	Fc	0.78	5.3	0.0	N.A.
PARKING	Illuminance	Fc	0.76	3.8	0.0	N.A.

