

Issued for: Site Plan Review

Date Issued: February 13, 2025

JDE Project Number: 24-016

Site Development Plans Mixed-Use Development

19 Park Street & 810 Washington Street
Stoughton, MA 02072

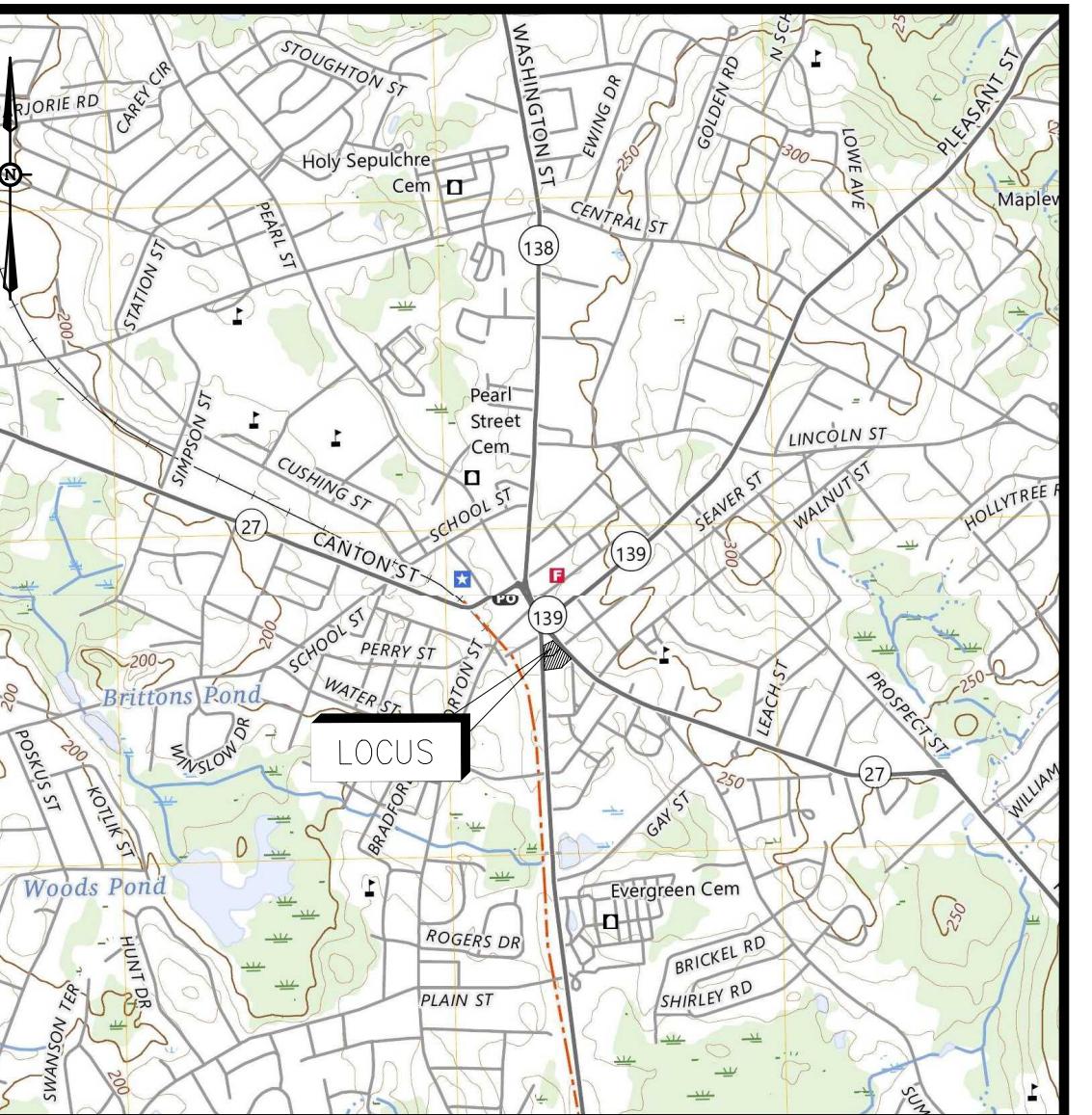
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PREPARED FOR:

SN Square Realty, Inc.

810 Washington Street
Stoughton, MA 02072



LOCUS MAP
NOT TO SCALE

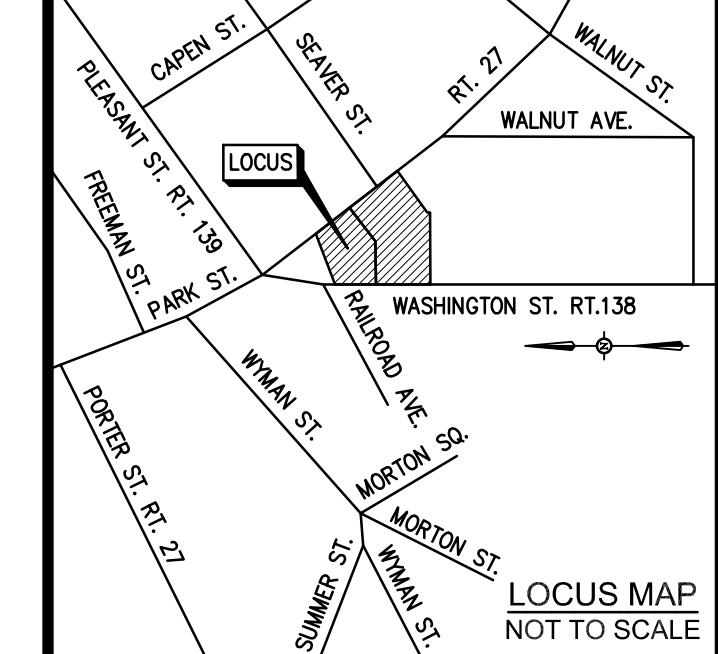
PREPARED BY:



Registered Professional Civil Engineers
45 Bristol Drive, South Easton, MA 02375
PO Box 15, 300 Main Street, North Easton, MA 02356

CONSTRUCTION NOTES

- ALL PROPOSED WALKWAYS/ROUTES TO HANDICAPPED SPACES WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS TO BE LESS THAN 5%.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY EXISTING INFORMATION OR OTHER PROPOSED IMPROVEMENTS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO JDE CIVIL, INC. (JDE) CONTRACTOR WILL REFER TO (JDE) FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET". (RAR)
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDDED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON DPW AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED AND SEDED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 4" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM, OR OTHER SURFACE.
- THE CONTRACTOR SHALL WATER, MOW, AND FERTILIZE LAWN AREAS UNTIL SATISFACTORY GRASS STANDS, AND/OR THE OWNER OR ITS REPRESENTATIVE IS SATISFIED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND THEIR REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, THEIR ENGINEER OR REPRESENTATIVE.
- FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE REVIEWED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT ADJUST OR MODIFY THE LAYOUT AND STAKING OF ANY PROPOSED FEATURES UNTIL FINAL APPROVAL FROM THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARANCE WORK.
- ALL ELECTRICAL, TELEPHONE, AND LOCAL FIRE DEPARTMENT CONDUITS ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING, CONCRETE AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- PROPOSED MANHOLE RIMS & GRATES ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK. IF ANY CONFLICTS ARE DISCOVERED NOTIFY OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR POLE RELOCATION, AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOWN OF STOUGHTON PUBLIC WORKS CONSTRUCTION LICENSE.
- A STABILIZED CONSTRUCTION EXIT IS TO BE PUT IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- REMOVE SNOW FROM SITE AS NECESSARY AND DO NOT PLACE ON TOWN/STATE PROPERTY.
- THE MAINTENANCE OF THE DRAINAGE SYSTEM IS THE OWNER'S RESPONSIBILITY.
- ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.
- THIS DESIGN IS BASED ON THE FIELD WORK PERFORMED BY J.K. HOLMGREN ENGINEERING, LLC. AND THE EXISTING CONDITIONS PLAN, INCLUDED AS SHEET 2 OF THE SITE DEVELOPMENT PLANS SUBMITTED TO THE PLANNING BOARD, STAMPED BY SCOTT M. FARIA, PLS. THE CIVIL ENGINEER CERTIFYING THIS PLAN HAS NOT MADE ANY PROPERTY LINE DETERMINATIONS IN THE DEVELOPMENT OF THIS DESIGN AND IS RELYING ON THE EXISTING CONDITIONS AND PROPERTY LINE INFORMATION AS DETERMINED AND PROVIDED BY J.K. HOLMGREN ENGINEERING, LLC.



PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	4/10/2025	PER TOWN COMMENTS
2	5/15/2025	PER TOWN COMMENTS
3	8/7/2025	ADD PLANNING BOARD DECISION

DRAWN BY: ALL/JVW

CHECKED BY: GWD/JVW

DESIGNED BY: GWD/ALL/JVW

COVER SHEET

19 PARK STREET &
810 WASHINGTON STREET
IN
STOUGHTON
(NORFOLK COUNTY)
MASSACHUSETTS

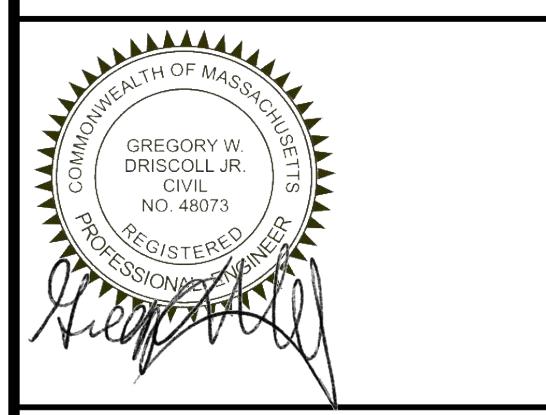
FEBRUARY 13, 2025

PREPARED FOR:

SN SQUARE REALTY, INC.
810 WASHINGTON STREET
STOUGHTON
MASSACHUSETTS 02072



45 Bristol Drive, South Easton, MA 02375
PO Box 15, 300 Main Street, North Easton, MA 02356
Phone: 508-297-9999
www.JDCivil.com



SHEET 1 OF 8

JOB NUMBER: 24-016

LAND SURVEYING CONSULTANT:

J. K. Holmgren Engineering, LLC.
1024 Pearl Street,
Brookton, MA 02301

GENERAL NOTES

- THE INTENT OF THIS PLAN IS TO DETAIL EXISTING SITE CONDITIONS AT LOCUS PROPERTIES.
- LOCUS PROPERTY IS COMPRISED OF:
810 WASHINGTON STREET
ASSESSOR'S MAP: 54 ROUTE: 371 LOT: 0
DEED BOOK: 39445 PAGE: 326
OWNER OF RECORD: RAGHUGORMAN PROPERTY GROUP, LLC.
24 BEACON STREET CIRCLE
MILTON, MA 02186
- 19 PARK STREET
ASSESSOR'S MAP: 54 ROUTE: 373 LOT: 0
DEED BOOK: 39445 PAGE: 326
OWNER OF RECORD: RAGHUGORMAN PROPERTY GROUP, LLC.
24 BEACON STREET CIRCLE
MILTON, MA 02186

3. PLAN REFERENCES:
PL. BK: 2977 PG: 320 OF 1951
PL. BK: 2161 PG: 522 OF 1937
PL. BK: 1337 PG: 45 OF 1916
PL. BK: 602 PG: 92 OF 2010

4. PROJECT BENCHMARKS:
BM-A DRILL HOLE IN SIDEWALK ELEVATION = 234.66'
BM-B TOP OF STONE BOUND ELEVATION = 235.60'
(DATUM: NAVD88)

5. ZONING INFORMATION:
ZONING DISTRICT: STOUGHTON CENTER DISTRICT (SCD)
ZONING SUB-DISTRICT: CORE (C)
MINIMUM / MAXIMUM ZONING REQUIREMENTS:
MIN. LOT AREA = 2,500 SF
MIN. LOT WIDTH = 20'
MIN. LOT FRONTAGE = 20'
MIN. LOT DEPTH = 60'
MIN. BUILDING SETBACKS: FRONT = 0' SIDE = 0' REAR = 0'
MAX. BUILDING HEIGHT = 45' OR 4 STORIES
MAX. BUILDING COVERAGE % = 90%
MIN. GREEN SPACE % = 0%

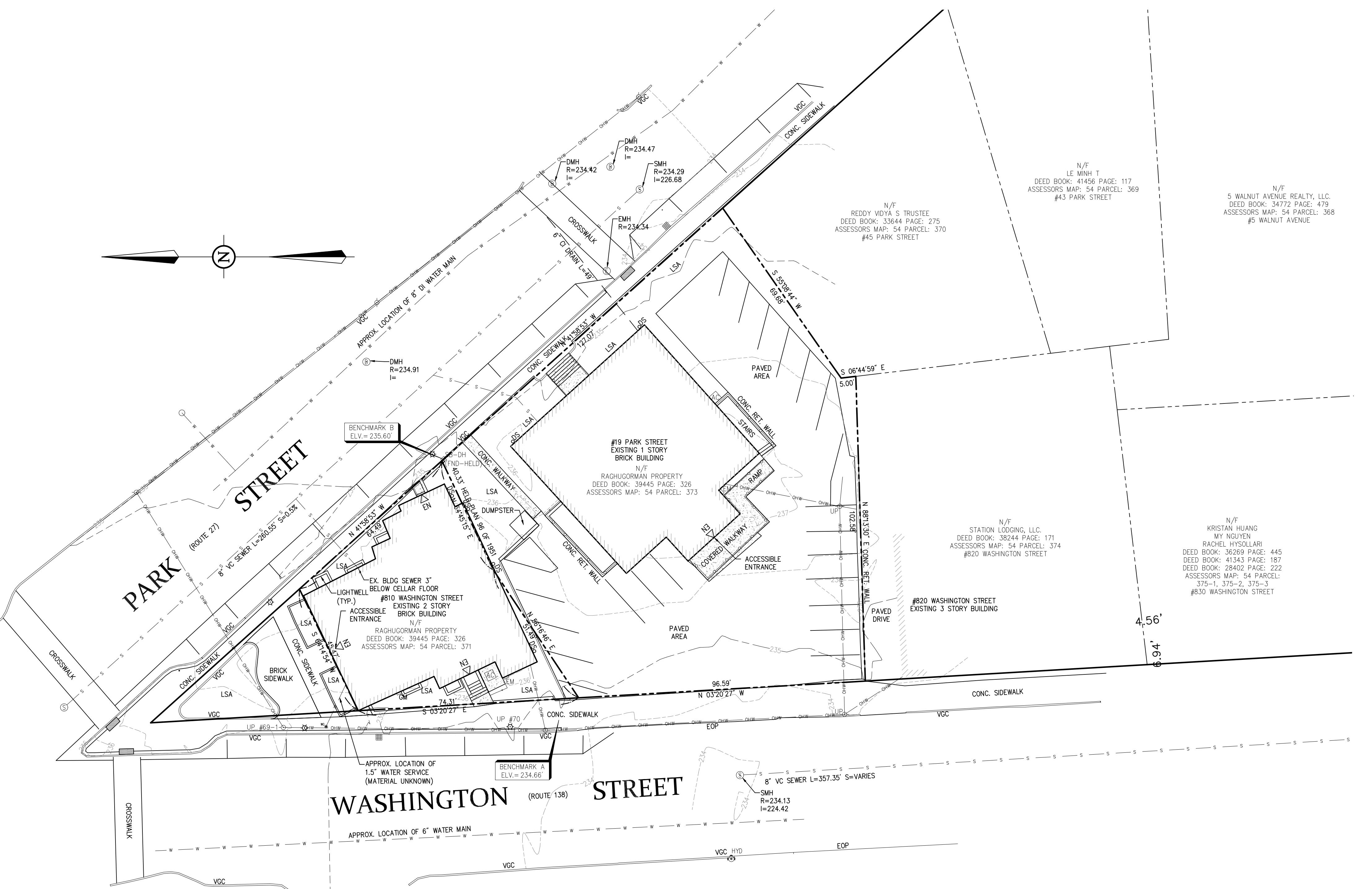
6. THE PROPERTY LINE INFORMATION SHOWN IS BASED ON CURRENT AVAILABLE RECORD INFORMATION CONSISTING OF PLANS AND DEEDS AND AN ACTUAL ON THE GROUND FIELD SURVEY PERFORMED BY J.K. HOLMGREN ENGINEERING, LLC. ON SEPTEMBER 10, 2024.

7. COMMUNITY PANEL NUMBER: 25021C0376E (DATE: 7/17/2012) THE FLOOD INSURANCE RATE MAP DEFINES THIS AREA AS ZONE X, AREA OUTSIDE THE 1% CHANCE ANNUAL FLOOD PLAIN.

ENVIRONMENTAL INFORMATION:

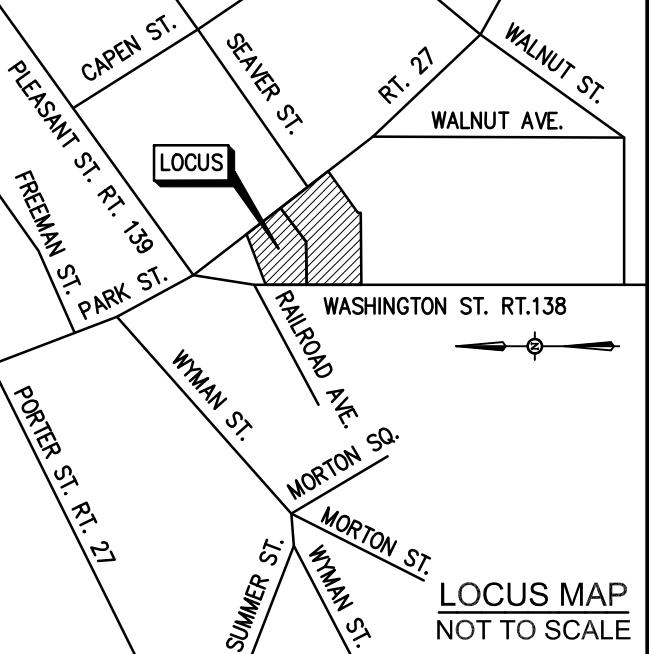
- THE SITE IS NOT LOCATED WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
- THE SITE IS NOT LOCATED WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER THE 15TH EDITION OF THE MASSACHUSETTS NATURAL HERITAGE ATLAS, EFFECTIVE AUGUST 1, 2021.
- THE SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP OF THE VERNAL POOLS THAT HAVE BEEN CERTIFIED BY NHESP ACCORDING TO THE GUIDELINES FOR THE CERTIFICATION OF VERNAL POOL HABITAT (MA DIVISION OF FISHERIES & WILDLIFE, 2009).
- THE SITE IS NOT LOCATED WITHIN AN AREA OF PRIORITY HABITAT PER THE 15TH EDITION OF THE MASSACHUSETTS NATURAL HERITAGE ATLAS, EFFECTIVE AUGUST 1, 2021.
- THE SITE IS NOT LOCATED WITHIN A STATE APPROVED ZONE II GROUND WATER PROTECTION AREA.

9. UTILITY INFORMATION SHOWN HEREON: THE CONTRACTOR SHALL CONTACT DIG SAFE (AT 1-888-DIG-SAFE) AND UTILITY COMPANIES TO LOCATE ALL EXISTING UTILITIES, AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND INFRASTRUCTURE UTILITIES, CONDUITS AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY, MAY NOT BE LIMITED TO THOSE SHOWN HEREON, AND HAVE BEEN RESEARCHED BASED ON THE AVAILABLE UTILITY RECORDS NOTED HEREON. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE SAID INFRASTRUCTURE AND UTILITIES EXACTLY. IF FIELD CONDITIONS DIFFER FROM PLAN INFORMATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.



LAND SURVEYING CONSULTANT:

J.K. Holmgren Engineering, LLC.
1024 Pearl Street
Brockton, MA 02301



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EXISTING CONDITIONS PLAN

19 PARK STREET &
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PREPARED FOR:

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0 20' 40'
SCALE: 1" = 20'



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SHEET 2 OF 8

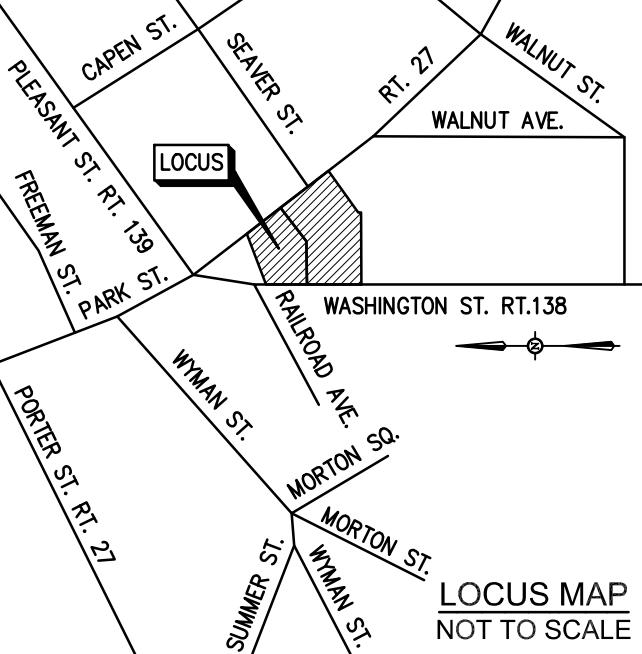
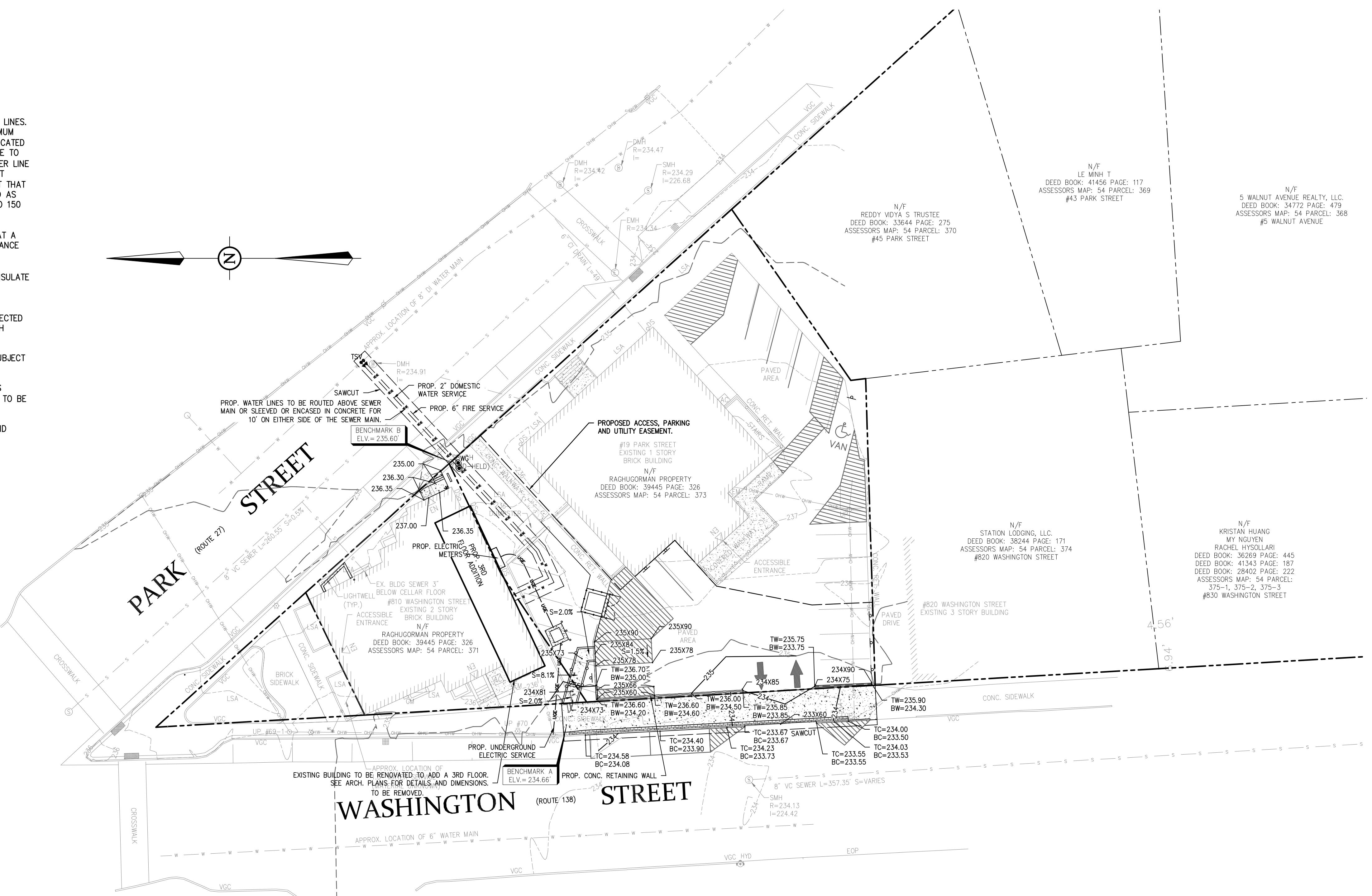
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GRADING AND DRAINAGE NOTES

1. THE PROJECT ELEVATIONS ARE BASED ON THE NAVD88 VERTICAL DATUM.
2. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.
5. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.

UTILITY NOTES

1. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.
2. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE SEWER LINE JOINTS SHALL BE LOCATED EQUIDISTANT AND AS FAR AWAY FROM THE WATER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATERTIGHT AND STRUCTURALLY SOUND. THE JOINTS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATERTIGHT.
3. SEWER BUILDING CONNECTIONS SHALL BE 6" MIN. SDR 35 PVC, UNLESS OTHERWISE NOTED, AT A SLOPE OF 1/2 MINIMUM FROM MAINLINE TO BUILDING UNIT WITH A CLEAN OUT SET AT A DISTANCE OF 10' (UNLESS OTHERWISE NOTED) OFF THE FOUNDATION.
4. TYPICAL COVER OVER WATER LINE SHALL BE 5'. IF LESS THAN 4' OF COVER IS PROVIDED, INSULATE WATER LINE AGAINST FREEZING.
5. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS OTHERWISE NOTED OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
6. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.
7. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND. IF THE BITUMINOUS CONCRETE SURFACE IS WITHIN THE ROADWAY THE BITUMINOUS CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.



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GRADING, DRAINAGE & UTILITY PLAN

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810 WASHINGTON STREET
IN
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(NORFOLK COUNTY)
MASSACHUSETTS

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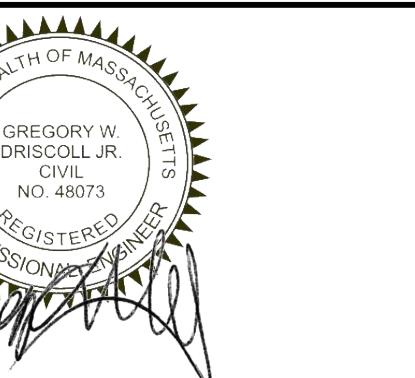
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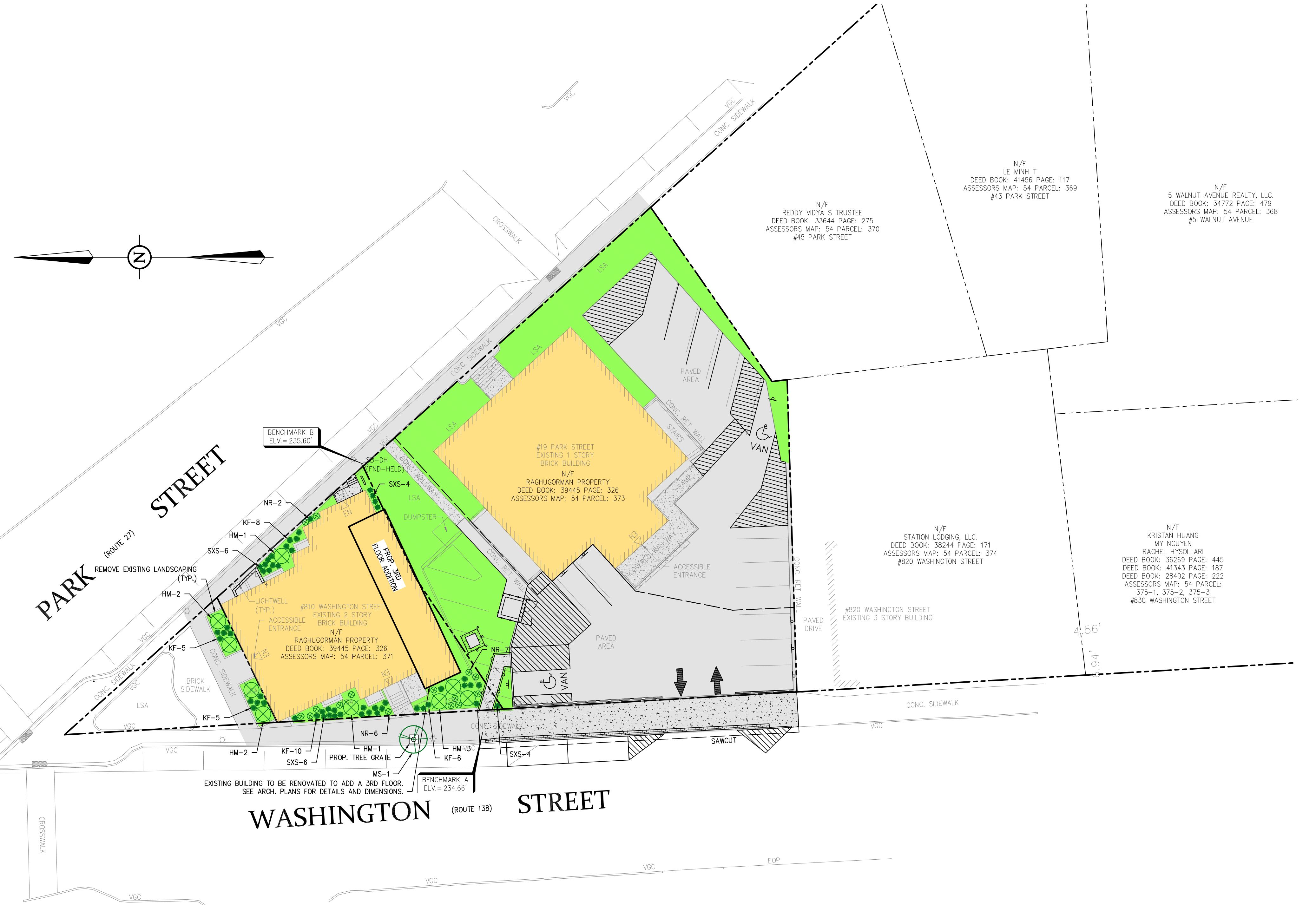


SHEET 4 OF 8

JOB NUMBER: 24-016

LANDSCAPE NOTES

1. FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST, NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE ENGINEER.
2. LOAM TO BE GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 6" OVER ALL PLANTED AREAS.
3. NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AS TO GRADING AND QUALITY.
4. ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST (2) YEARS, WILL BE ACCEPTED.
5. SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRMING OR TAMPING FORM SAUCERS CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
6. STAKE ALL TREES OVER 5' AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
7. WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS, SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
8. PRUNING: PRUNE PLANTS, AS DIRECTED BY THE OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES FLUSH WITH THE TRUNK OR THE LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
9. FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA, BROAD CAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT THE RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
10. MULCHING: COVER ALL PLANTED AREAS WITH 3" HEMLOCK BLEND MULCH, NO SUBSTITUTIONS, WITHIN A SEVENTY TWO (72) HOUR PERIOD AFTER PLANTING. ALL MULCHED BEDS TO HAVE WEED BARRIER FABRIC INSTALLED. ALL COMMERCIAL FOUNDATION PLANTING BEDS WILL BE $\frac{3}{8}$ " PEA STONE OR ROCK MULCH PER STATE FIRE CODE.
11. GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.
12. PLANTING NUMBERS AND SPECIES ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AT THE TIME OF INSTALLATION. CONTRACTOR TO COORDINATE WITH LANDSCAPING SUPPLIER AND SUBMIT REVISED LIST TO LOCAL BUILDING DEPARTMENT.
13. CONTRACTOR TO COORDINATE ALL TREE LOCATIONS WITH SUBSURFACE UTILITIES, ANY CONFLICTS FOUND WILL BE RESOLVED IN THE FIELD BY THE CONTRACTOR AND REPORTED TO THE ENGINEER OF RECORD. UTILITY LOCATIONS WILL TAKE PRECEDENCE OVER PROPOSED PLANTING LOCATIONS.
14. ALL PLANTINGS AT DRIVE WAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF 3' OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY AND SITE DISTANCE.
15. MINIMUM BRANCH HEIGHT FOR ALL SHADE TREES WILL BE 6' TALL.
16. MINIMUM HEIGHT FOR EVERGREEN TREES WILL BE 6' TALL.
17. MINIMUM SIZE FOR SHRUBS WILL BE 3' TALL.
18. GROUND COVER PLANTINGS WILL BE PLACED IN A MODIFIED PLANTING BED 18" DEEP MINIMUM.



PLANT LEGEND				
TREES	KEY	DESCRIPTION	QTY.	SIZE
	MS	FLOWERING CRAB MALUS "SPRING SNOW"	1	8-10' TALL 3" CAL. MIN.
SHRUBS	HM	HYDRANGEA HYDRANGEA MACROPHYLLA	9	30"
	NR	CATS MINT NEPETA RACEMOSA	15	24"
	SXS	SALVIA SALVIA X SYLVESTRIS	20	24"
	KF	KARL FOERSTER FEATHER REED GRASS CALAMAGROSTIS X ACUTIFLORA "KARL FOERSTER"	34	#3
GRASSES				



FLOWERING CRAB
(MALUS "SPRING SNOW")



HYDRANGEA (HYDRANGEA MACROPHYLLA)



CATS MINT
(NEPETA RACEMOSA)



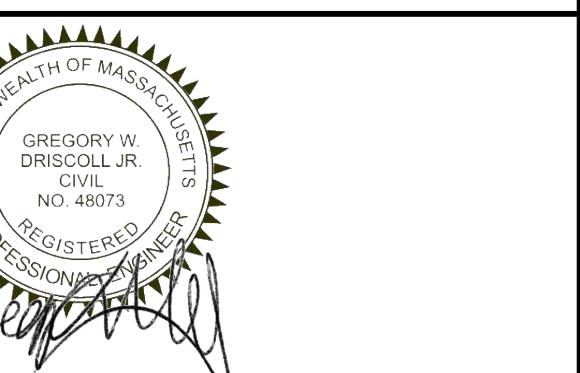
SALVIA
(SALVIA X SYLVE)



KARL FOERSTER FEEATHER REED GRASS
(C_{ALAMAGROSTIS} X ACUTIFLORA "KARL FOERSTER")

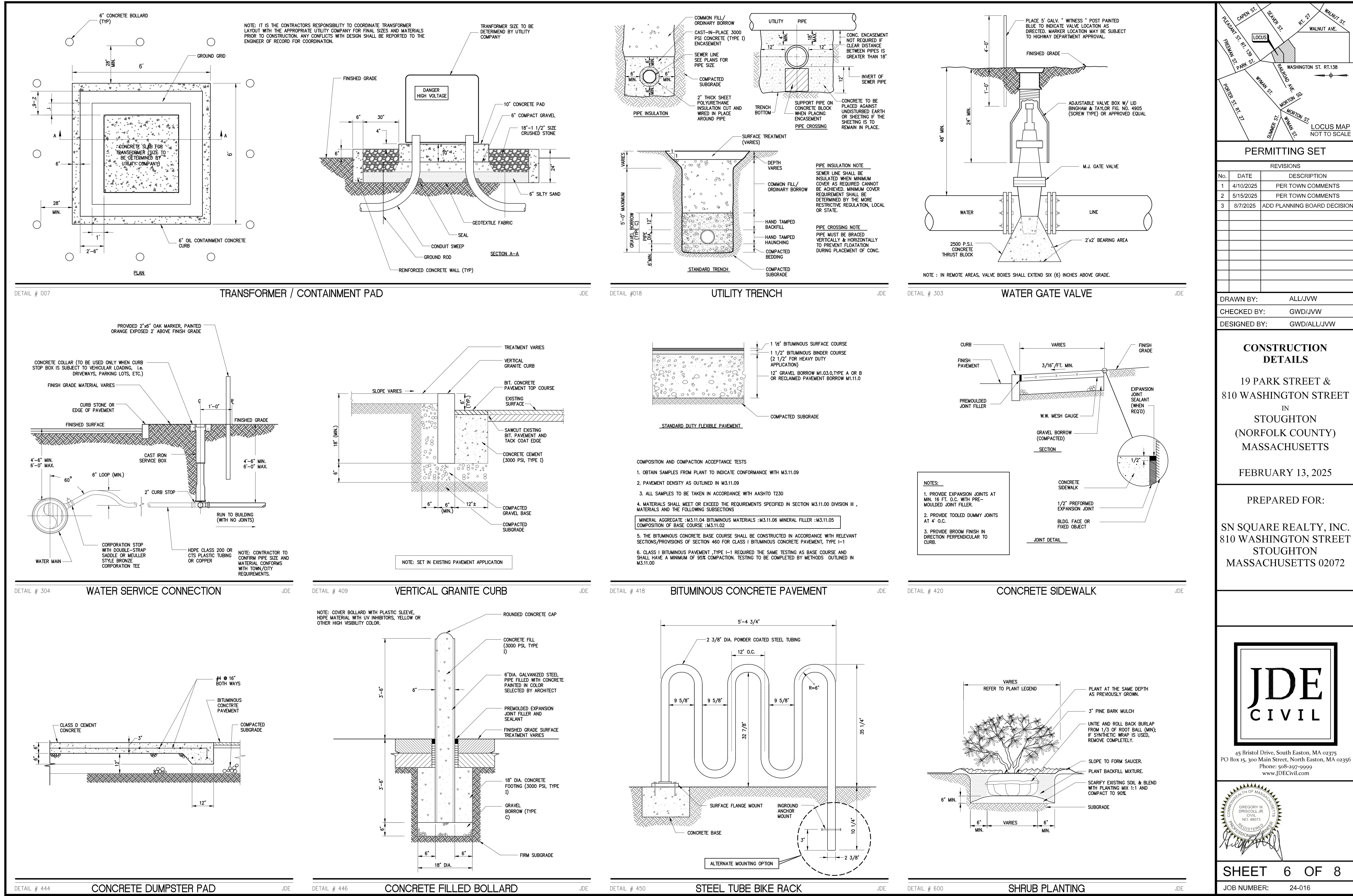
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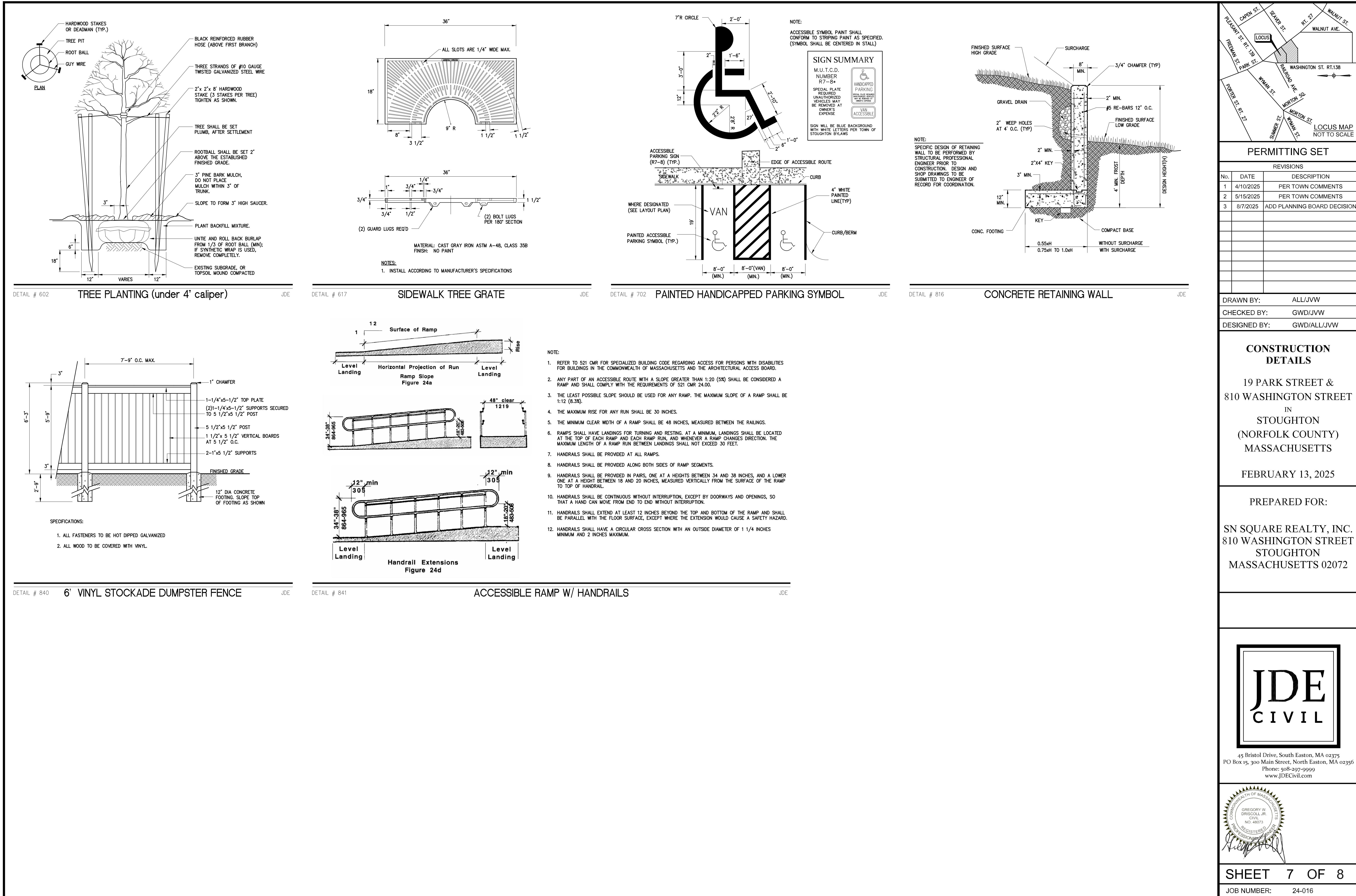
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Fax: 508-297-9999



HEFT 5 OF 8

3 NUMBER: 24-016







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STOUGHTON, MASS.

TOWN OF STOUGHTON JUN 27 A 9 58

Massachusetts
MA 02072
OFFICE OF
THE TOWN CLERK

PLANNING BOARD

Site Plan Approval
Mixed Use Development
810 Washington Street and 19 Park Street
for
Case # SP25-005

Date: June 26, 2025

Applicant: SN Square Realty, Inc.
810 Washington Street
Stoughton, MA 02072

Owner: Raghugorman Property Group, LLC
24 Beacon Street Circle
Milton, MA 02186

Representative: JDE Civil, Inc.
140 Main Street
Norton, MA 02356

Property: 810 Washington Street and 19 Park Street
Stoughton, MA 02072
Assessors Map 54 Lots 371 & 373
Book: 39445, Page: 326

RECEIVED AND RECORDED
NORFOLK COUNTY
REGISTRY OF DEEDS
DEDHAM, MA
CERTIFIED
William P. O'Donnell
WILLIAM P. O'DONNELL, REGISTER

I) Project Summary

On February 13, 2025, applicant, SN Square Realty, Inc. ("Applicant"), filed an application for Site Plan Approval under Section 10.6 of the Town of Stoughton's Zoning Bylaws ("Zoning Bylaws"). The Site Plan Review under Section 10.6 to renovate the former Stoughton Trust Company building into a mixed-use building consisting of retail & offices in the basement, and 9 residential units in the remainder of the building. In addition, minor site modifications including parking proposed on the adjacent lot within a parking easement. ("Project"), at and upon land known and numbered as 810 Washington Street and 19 Park Street (Assessors Map 54; Lots 371 & 373 - the "Property"). The area of the combined properties is approximately 18,975 +/- SF. The Project is located within the Stoughton Center District - Core Zone.

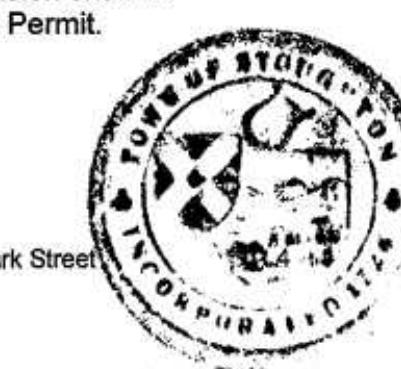
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Bk 42533 Pg174 #48510

- Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
- The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
- All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
- The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.
- Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
- The cost of any necessary outside testing, inspection or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
- Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
- Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
- A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.



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II) Procedural History

- A Pre Application meeting was held on August 1, 2024.
- Application for Site Plan Approval was made by the above referenced applicant and filed with the Planning Board on February 13, 2025.
- The land shown on the Site Plan is located at 810 Washington Street and 19 Park Street (Assessors Map 54; Lots 371 & 373). The property is located within the Stoughton Center District - Core Zone.
- Public hearings on the Site Plan Application were held on March 13, 2025, April 24, 2025, May 8, 2025, and June 12, 2025. The hearing was advertised on February 26, 2025 and March 5, 2025 in the Patriot-Ledger.
- On June 12, 2025, the public hearing was closed and on June 26, 2025, the Planning Board voted to approve the Site Plan.

III) Application Submittals

- Site Plan Application submitted February 13, 2025.
- Site Plan entitled "Site Development Plans Mixed-Use Development, 810 Washington Street & 19 Park Street, Stoughton, Massachusetts", prepared by JDE Civil, Inc. dated February 13, 2025 and revised May 15, 2025.
- Architectural Elevation Photo Plans prepared by Composite Design Studio dated May 7, 2025.
- Architectural Floor Plans prepared by Composite Design Studio dated February 13, 2025.
- Project Narrative and Development Impact Report, prepared by JDE Civil, Inc. dated February 13, 2025.
- Drainage Calculations and Stormwater Management Plan, prepared by JDE Civil, Inc. dated February 13, 2025.

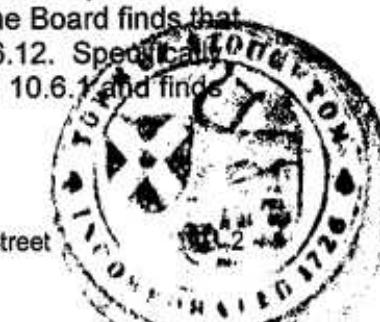
IV) Related Documents

- Copy of the Legal Public Hearing notice from the edition of the Patriot-Ledger dated February 26, 2025 and March 5, 2025.
- Technical Engineering Review Letters dated March 6, 2025 and May 1, 2025 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner.

V) Findings and Determinations

After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town Staff, the Board finds that the Project meets Section 10.6.1 as well as 10.6.9 through 10.6.12. Specifically, the Board has examined each of the criteria set forth in Section 10.6.1 and finds as follows:

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- All construction shall be in strict conformance with the plans the approved Site Plan entitled "Site Development Plans Mixed-Use Development, 810 Washington Street & 19 Park Street, Stoughton, Massachusetts", prepared by JDE Civil, Inc. dated February 13, 2025 and revised May 15, 2025.
- The applicant shall record the Site Operation & Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit.
- The applicant shall clean the entire drainage system at the end of construction.
- All required inspection fees shall be paid through the Engineering Office prior to construction.
- A Final As-built Plan shall be submitted for review by the Engineering Department prior to the issuance of a Certificate of Occupancy.
- The Planning Board requires a cash bond in the amount to cover 50% of the replacement cost of all landscaping prior to the issuance of a Certificate of Occupancy. The bond will be held by the Planning Board for one full growing season after the landscaping is installed.

B) Special Conditions

- All roof top equipment shall be screened from the public view with screening that is similar and architecturally compatible to the existing building materials look and design.

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1. The location of the parking area, uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.

2. Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff, and glare of lights.

3. Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection, and methods of solid waste disposal are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.

4. Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed, and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.

5. Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The project is the reuse of an existing building.

6. Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.

7. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department and the Planning Department, the Planning Board analyzed all the comments, and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.

8. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Review," found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.

VI) Conditions

A) General Conditions

- This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.

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VII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Special Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.

On this day of June 26, 2025.

Daniel Kelly, Chairman

Paul Demusz, Vice Chairman

Paul Beauveau

Richard Terry

Peter Murphy

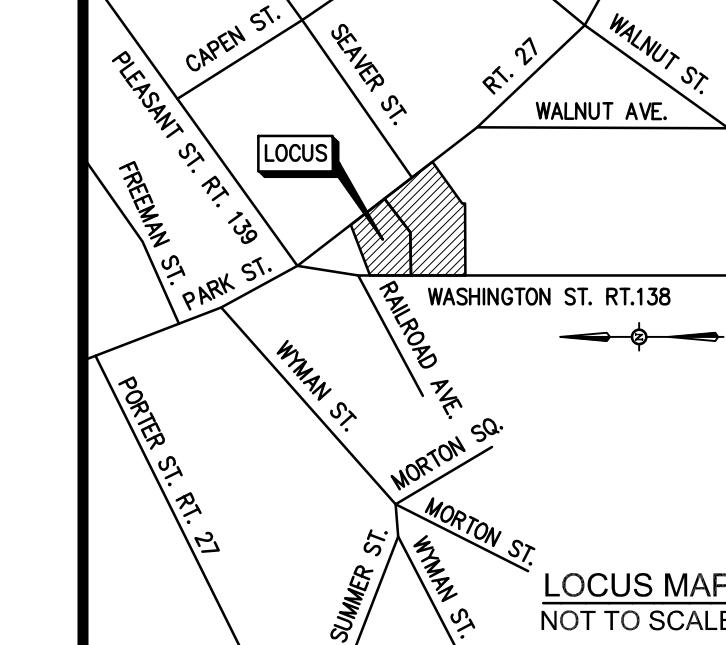
Cc: Town Clerk
Applicant
Interested Parties

CERTIFICATION:
The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on 10-27-25.

FOR THE PLANNING BOARD

Daniel Kelly, Chairman

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PERMITTING SET

REVISIONS

No.	DATE	DESCRIPTION
1	4/10/2025	PER TOWN COMMENTS
2	5/15/2025	PER TOWN COMMENTS
3	8/7/2025	ADD PLANNING BOARD DECISION

DRAWN BY: ALL/JVW

CHECKED BY: GWD/JVW

DESIGNED BY: GWD/ALL/JVW

PLANNING BOARD DECISION

19 PARK STREET &
810 WASHINGTON STREET
IN
STOUGHTON
(NORFOLK COUNTY)
MASSACHUSETTS

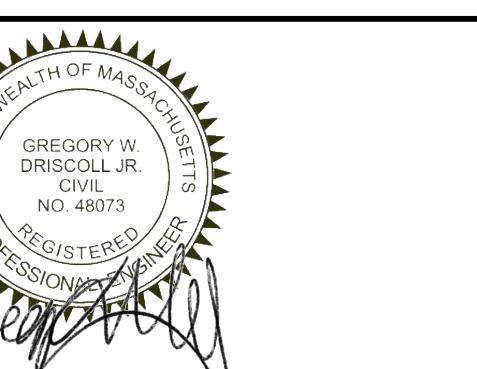
FEBRUARY 13, 2025

PREPARED FOR:

SN SQUARE REALTY, INC.
810 WASHINGTON STREET
STOUGHTON
MASSACHUSETTS 02072



45 Bristol Drive, South Easton, MA 02375
PO Box 15, 300 Main Street, North Easton, MA 02356
Phone: 508-297-9999
www.JDECivil.com



SHEET 8 OF 8

JOB NUMBER: 24-016