



DORE + WHITTIER

OWNER

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STRUCTURAL CONSULTANT

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STOUGHTON FIRE
HEADQUARTERS & PUBLIC HEALTH

30 FREEMAN STREET
STOUGHTON, MA 02072



SHEET NUMBER	SHEET NAME
GENERAL	
G0.00	COVER SHEET
GC1.10	CODE PLANS - BASEMENT AND LEVEL 1
GC1.20	CODE PLAN - LEVEL 2
CIVIL	
C000	NOTES, LEGEND & ABBREVIATIONS
C100	SITE EROSION & SEDIMENTATION CONTROL PLAN
C200	SITE DEMOLITION PLAN
C300	SITE GRADING PLAN
C400	SITE LAYOUT PLAN
C500	SITE UTILITY PLAN
C600	CIVIL DETAILS
C601	CIVIL DETAILS I
C602	CIVIL DETAILS II
C603	CIVIL DETAILS III
C604	CIVIL DETAILS IV

STRUCTURAL	GENERAL NOTES
S0.01	TYPICAL DETAILS
S0.02	TYPICAL DETAILS
S0.03	TYPICAL DETAILS
S0.04	TYPICAL DETAILS
S0.05	TYPICAL DETAILS
S0.06	TYPICAL DETAILS
S1.10	BASEMENT LEVEL PLAN
S1.20	LEVEL 1 FLOOR PLAN
S1.30	LEVEL 2 FLOOR PLAN
S1.40	ROOF PLAN
S2.01	SECTIONS
S2.02	SECTIONS
S3.01	SECTIONS
S4.01	TRUSS ELEVATIONS
S5.01	TRUSS DETAILS

ARCHITECTURAL	ABBREVIATIONS SYMBOLS & MATERIALS
AG0.01	WALL TYPES, NOTES & DETAILS
AG0.02	DEMOLITION PLANS
AD1.10	DEMOLITION PLAN - LEVEL 2
AD1.20	DEMOLITION PLAN - ROOF
AD3.10	DEMOLITION ELEVATIONS
AD4.10	DEMOLITION ELEVATIONS
AD4.11	FLOOR PLANS
A1.10	
A1.20	
A1.50	
A1.70	
A2.10	

PLUMBING	LEGEND, NOTES AND DETAILS - PLUMBING
P0.01	DETAILS - PLUMBING
P0.02	BASEMENT PLAN - PLUMBING
P1.00	LEVEL 1 PLAN - PLUMBING
P1.01	LEVEL 2 PLAN - PLUMBING
P1.02	ROOF PLAN - PLUMBING
P1.03	
MECHANICAL	
M0.00	GENERAL NOTES & LEGEND
M0.01	HVAC SCHEDULES
M1.10	BASEMENT & FIRST FLOOR DUCTWORK PLAN
M1.11	SECOND FLOOR PLAN DUCTWORK - HVAC
M1.12	ROOF PLAN - HVAC
M2.10	BASEMENT & FIRST FLOOR PIPING PLAN
M2.20	SECOND FLOOR PIPING PLAN

SHEET NUMBER	SHEET NAME
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A7.50	STAIR RAILING DETAILS
A7.51	STAIR DETAILS
A7.52	ELEVATOR DETAILS
A8.10	DOOR & WINDOW SCHEDULE & DOOR TYPES
A8.50	DOOR & WINDOW DETAILS
A9.10	FINISH SCHEDULE
A9.11	FINISH PLANS
A9.50	INTERIOR DETAILS
A9.51	INTERIOR SIGNAGE
A9.70	INTERIOR ELEVATIONS
A9.71	INTERIOR ELEVATIONS
A9.72	INTERIOR ELEVATIONS
A9.73	INTERIOR ELEVATIONS
AQ1.10	INTERIOR ELEVATIONS
AQ1.50	INTERIOR ELEVATIONS

AQ1.51	INTERIOR ELEVATIONS
AQ1.52	INTERIOR ELEVATIONS
AQ1.53	INTERIOR ELEVATIONS
AQ1.54	INTERIOR ELEVATIONS
AQ1.55	INTERIOR ELEVATIONS
AQ1.56	INTERIOR ELEVATIONS
AQ1.57	INTERIOR ELEVATIONS
AQ1.58	INTERIOR ELEVATIONS
AQ1.59	INTERIOR ELEVATIONS
AQ1.60	INTERIOR ELEVATIONS

PLUMBING	LEGEND, NOTES AND DETAILS - PLUMBING
P0.01	DETAILS - PLUMBING
P0.02	BASEMENT PLAN - PLUMBING
P1.00	LEVEL 1 PLAN - PLUMBING
P1.01	LEVEL 2 PLAN - PLUMBING
P1.02	ROOF PLAN - PLUMBING
P1.03	

MECHANICAL	
M0.00	GENERAL NOTES & LEGEND
M0.01	HVAC SCHEDULES
M1.10	BASEMENT & FIRST FLOOR DUCTWORK PLAN
M1.11	SECOND FLOOR PLAN DUCTWORK - HVAC
M1.12	ROOF PLAN - HVAC
M2.10	BASEMENT & FIRST FLOOR PIPING PLAN
M2.20	SECOND FLOOR PIPING PLAN

SHEET NUMBER	SHEET NAME
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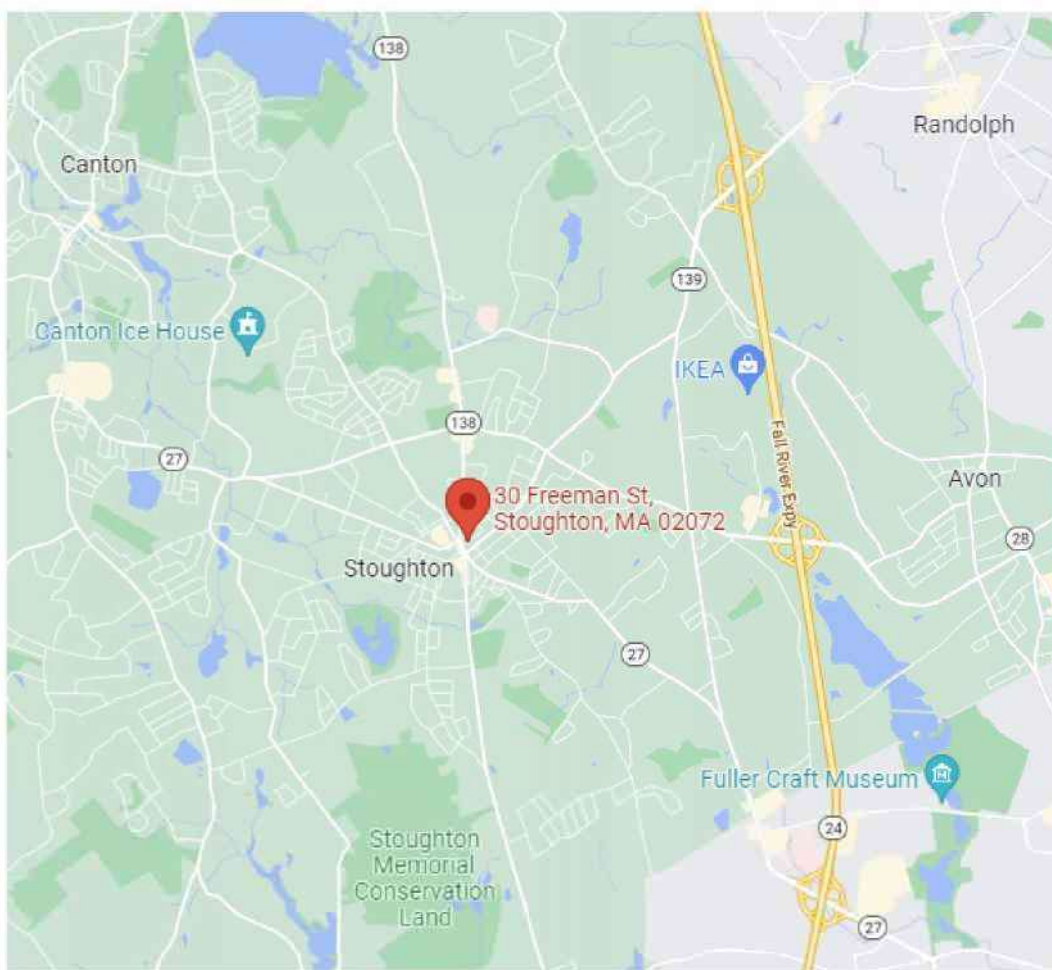
M3.01	HVAC DETAILS I
M3.02	HVAC DETAILS II
M3.03	HVAC DETAILS III
M4.01	HVAC DETAILS IV
M4.02	HVAC DETAILS V
M4.03	HVAC DETAILS VI
M4.04	HVAC DETAILS VII
VS	HVAC DETAILS VIII

VS	HVAC DETAILS IX
VS	HVAC DETAILS X
VS	HVAC DETAILS XI
VS	HVAC DETAILS XII
VS	HVAC DETAILS XIII
VS	HVAC DETAILS XIV
VS	HVAC DETAILS XV
VS	HVAC DETAILS XVI
VS	HVAC DETAILS XVII
VS	HVAC DETAILS XVIII

E1.10	LEVEL 1 PLAN - LIGHTING
E1.20	LEVEL 2 PLAN - LIGHTING
E2.00	BASEMENT PLAN - POWER
E2.10	LEVEL 1 PLAN - POWER
E2.20	LEVEL 2 PLAN - POWER
E2.30	ROOF PLAN - POWER
E3.00	ONE LINE RISER DIAGRAM
E3.01	MECHANICAL SCHEDULE & DETAILS
E3.02	PLUMBING SCHEDULE & DETAILS
E3.03	ELECTRICAL DETAILS
E3.04	BDA GROUNDING RISER
E4.00	FIRE ALARM RISER AND DETAILS
E4.01	BASEMENT PLAN - FIRE ALARM
E4.10	LEVEL 1 PLAN - FIRE ALARM
E4.20	LEVEL 2 PLAN - FIRE ALARM
E5.00	SECURITY SYMBOL LIST AND DETAILS
E5.01	BASEMENT PLAN - SECURITY
E5.10	LEVEL 1 PLAN - SECURITY
E5.20	LEVEL 2 PLAN - SECURITY

TECHNOLOGY	TECHNOLOGY SYMBOLS AND DETAILS
T0.01	BASEMENT PLAN - TECHNOLOGY
T1.00	LEVEL 1 PLAN - TECHNOLOGY
T1.10	LEVEL 2 PLAN - TECHNOLOGY
T1.20	TECHNOLOGY RISER AND DETAILS
T2.00	TECHNOLOGY RISER AND DETAILS
T2.01	TECHNOLOGY DETAILS

ABBREVIATED SET FOR PLANNING BOARD SUBMISSION



SITE PLAN REVIEW / PLANNING BOARD SUBMISSION: **RECORD SET 2024-12-02**



Bk 42091 Pg 182 \$73593
11-05-2024 @ 12:02

TOWN OF STOUGHTON

Massachusetts
MA 02072

PLANNING BOARD

Site Plan Approval
Stoughton Fire Headquarters and Public Health
30 Freeman Street
for
Case # SP24-009

RECEIVED AND RECORDED
NORFOLK COUNTY
REGISTRY OF DEEDS
DREHAM, MA
CERTIFY
John P. O'Donnell
WILLIAM P. O'DONNELL, REGISTER

Date: August 28, 2024
Applicant: Town of Stoughton
10 Pearl Street
Stoughton, MA 02072
Owner: Town of Stoughton
10 Pearl Street
Stoughton, MA 02072
Representative: Glen Gollard
Dore & Whittier Architects
260 Merrimac Street
Newburyport, MA 01950
Property: 30 Freeman Street
Stoughton, MA 02072
Assessors Map 54 Lot 287
Book: 1690, Page: 291

I) Introduction

On August 7, 2024, applicant, Town of Stoughton (the "Applicant"), filed an application for Site Plan Approval under Section 10.6 Town of Stoughton's Zoning Bylaws (the "Zoning Bylaws"). The Site Plan application concerns the proposed renovation and restoration of Fire Station #1 into the Stoughton Fire Headquarters and Public Health with associated landscape and site improvements (the "Project"), at and upon land known and numbered as 30 Freeman Street (Assessors Map 54 Lot 287 the "Property").

Case #: SP24-009 – Stoughton Fire Headquarters and Public Health – 30 Freeman Street

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II) Project Summary

As described in the application materials and the below referenced Site Plan, the Property is a total of 15,925+/- SF. This site is currently an active Fire Station, which will be relocated to 400 Prospect Street once the new Fire Station is completed. The Project is to renovate and restore the existing building into administrative offices and make improvements to the site. There are 15 proposed parking spaces, drainage and associated landscape improvements. The Property is located within the Stoughton Center District – Core Zoning District.

III) Procedural History

- A Pre Application meeting was held on April 25, 2024.
- Application for Site Plan Approval was made by the above referenced applicant and owner and filed with the Planning Board on August 7, 2024.
- The land shown on the Site Plan is located at 30 Freeman Street and shown on Assessors Map 54 Lot 278. The Property is located within the Stoughton Center District – Core Zoning District.
- Public hearings on the Site Plan Application was held on August 22, 2024, and August 28, 2024. The hearing was advertised on August 7, 2024 and August 14, 2024 in the Patriot- Ledger.
- On August 28, 2024, the public hearing was closed and on August 28 2024, the Planning Board voted to approve the Plan Set dated July 14, 2024 revised through August 27, 2024.

IV) Application Submittals

- Site Plan Set entitled "Stoughton Fire Headquarters and Public Health", 30 Freeman Street Stoughton, Massachusetts" prepared by Dore & Whittier Architects dated July 14, 2024 revised through August 27, 2024.
- Site Plan Application submitted on August 7, 2024.
- Site Plan Narrative dated July 18, 2024.
- Stormwater Management Analysis prepared by Nitsch Engineering, dated July 30, 2024.

V) Related Documents

- Copy of the Legal Public Hearing notice from the edition of the Patriot- Ledger dated August 7, 2024 and August 14, 2024.
- Technical Engineering Review Letter dated August 8, 2024 submitted by Craig Horsfall, Assistant Town Engineer and William D. Roth, Jr., Town Planner.

Case #: SP24-009 – Stoughton Fire Headquarters and Public Health – 30 Freeman Street

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VI) Findings and Determinations

After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 10.6.1 as well as 10.6.9 through 10.6.12. Specifically, the Board has examined each of the criteria set forth in Section 10.6.1 and finds as follows:

- The location of the parking area, uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.
- Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff and glare of lights.
- Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection and methods of solid waste disposal are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
- Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
- Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The property is currently being used as a Fire Station and the conversion to offices will not burden services since the intensity of the use will be reduced.
- Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.
- After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department and the Planning Department, the Planning Board analyzed all the comments and reports received. There were meetings and consultations with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering and Planning Departments throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
- The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Review," found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.

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VII) Conditions

A) General Conditions

- This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
- Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
- The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
- All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
- The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.
- Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
- Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
- Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
- A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.

Case #: SP24-009 – Stoughton Fire Headquarters and Public Health – 30 Freeman Street

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- All construction shall be in strict conformance with the approved Site Plan Set entitled "Stoughton Fire Headquarters and Public Health", 30 Freeman Street Stoughton, Massachusetts" prepared by Dore & Whittier Architects dated July 14, 2024 revised through August 27, 2024.

B) Special Conditions

- The plans shall be revised to indicate that the generator screen fencing shall be a brick screen wall to match the existing building.
- The applicant shall record the Site Operation & Maintenance Plan at the Registry of Deeds. Proof of recording shall be submitted to the Board and the Engineering Department prior to the issuance of a Building Permit.
- The applicant shall clean the entire drainage system at the end of construction.
- A Final As-built Plan shall be submitted for review by the Engineering Department prior to the Certificate of Occupancy.

VIII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Special Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.

On this day of August 28, 2024.

Daniel Kelly, Chairman

Paul Demusz, Vice Chairman

Peter Murphy

Richard Terry

cc: Town Clerk, Applicant, Interested Parties

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on SEPTEMBER 7, 2024.

FOR THE PLANNING BOARD

Daniel Kelly, Chairman

Case #: SP24-009 – Stoughton Fire Headquarters and Public Health – 30 Freeman Street

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RECORD SET 2024-12-02

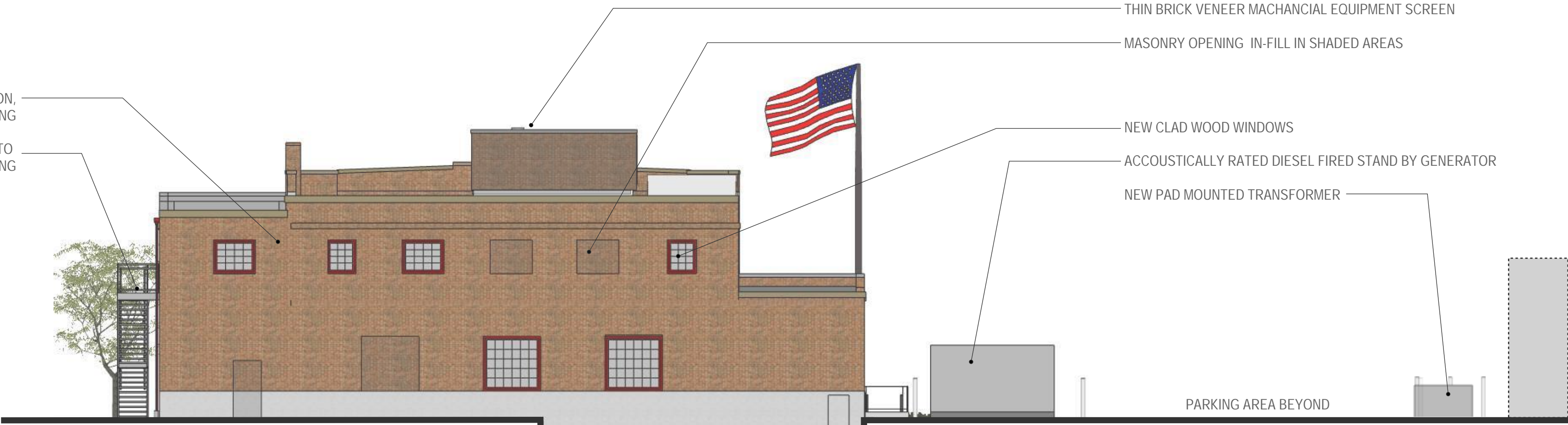
ORDER OF CONDITIONS PAGE
(CONDITIONS TO BE ADDED WHEN RECEIEVED & FILED)



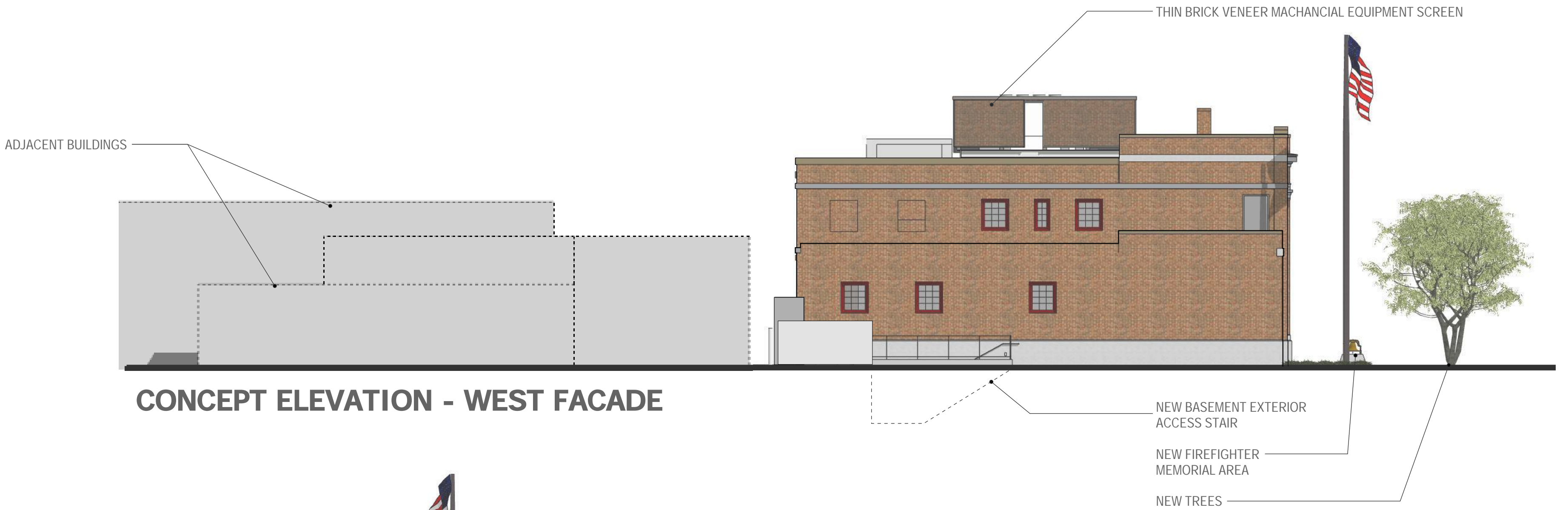
GOOGLE AERIAL - VIEW FROM SOUTH OF EXST. CONDITIONS



3D RENDERING - CONCEPT VIEW FROM SOUTH



CONCEPT ELEVATION - REAR FACADE



CONCEPT ELEVATION - WEST FACADE



CONCEPT ELEVATION - EAST FACADE



CONCEPT ELEVATION - FRONT FACADE



CASEWORK GENERAL NOTES

- CABINET DIMENSIONS INDICATED ARE NOMINAL AND MAY VARY SLIGHTLY BY MANUFACTURER; HOWEVER COUNTERTOP HEIGHTS AT ACCESSIBLE CABINETS SHALL BE AS INDICATED, AND NO HIGHER THAN 2'-10" ABOVE FLOOR AT ANY LOCATION, REGARDLESS OF "OUT OF LEVEL" FLOOR CONDITIONS.
- REFER TO CASEWORK LEGEND SHEETS FOR CABINET TYPES DESIGNATED ON THESE PLANS AND ELEVATIONS.
- FIELD-VERIFY ALL CLEAR WALL DIMENSIONS PRIOR TO FABRICATING CASEWORK.
- PROVIDE SCRIBE TRIM AT ALL CABINETS MEETING ADJACENT WALL CONSTRUCTION UNLESS SPECIFICALLY INDICATED AS OTHERWISE.
- PROVIDE FILLER / SCRIBE TRIM AT EACH CABINET MEETING ADJACENT CABINETS AT 90 DEGREE INTERIOR CORNERS UNLESS SPECIFICALLY INDICATED AS OTHERWISE.
- ALL CABINETS SHALL FEATURE FULLY FINISHED SIDES AND BACKS WHERE EXPOSED TO VIEW, WHETHER SPECIFICALLY INDICATED OR NOT.
- THE GENERAL CONTRACTOR / CONSTRUCTION MANAGER AND THE CASEWORK SUBCONTRACTOR SHALL COORDINATE INSTALLATION OF CONCEALED BLOCKING REQUIRED FOR WALL CABINET AND ADJUSTABLE SHELVING STANDARD INSTALLATION WITH SECTION 09 21 16 SUBCONTRACTOR TO ASSURE PROPER PLACEMENT OF BLOCKING.
- UNLESS SPECIFICALLY INDICATED, RESILIENT BASE SHALL BE INSTALLED AT BASES OF ALL TOE KICKS AND FLUSH-CONFIGURATION CABINETS. REFER TO FINISH SCHEDULE AND INDEX OF FINISHES FOR BASE TYPES. BASE TO BE INSTALLED BY RESILIENT FLOORING SUBCONTRACTOR.
- COORDINATE CASEWORK DIMENSIONS WITH APPLIANCES PROVIDED BY SECTION 11 31 00. CONFIRM ALL APPLIANCE DIMENSIONS, INSTALLATION REQUIREMENTS, AND REQUIRED CLEARANCES PRIOR TO FABRICATION. INDICATE CLEARANCES AND UNIQUE REQUIREMENTS IN SHOP DRAWINGS.
- PROVIDE BACK AND SIDE SPLASHES AT ALL COUNTERTOPS AT ADJACENT WALL CONSTRUCTION AND TALL CABINET BODIES. BACK AND SIDE SPLASHES SHALL BE FIELD APPLIED AND MATCH THE MATERIAL AND COLOR OF THE COUNTERTOP UNLESS SPECIFICALLY NOTED OTHERWISE.
- WHERE BACK OR SIDE SPLASHES OCCUR IMMEDIATELY BELOW WINDOW OPENINGS, COORDINATE THE HEIGHT AND DETAILS OF THE SPLASH WITH THE SECTION 06 20 00 FINISH CARPENTRY INSTALLER. WOOD APRON TRIM AT SUCH LOCATIONS SHALL BE REPLACED BY THE SPLASH COMPONENT. REFER TO DETAILS.
- COUNTERTOPS AT ALL GENERAL CLASSROOMS, OFFICES, AND OTHER NON-SCIENCE SPACES SHALL BE TYPE "CT-PL" TYPE UNLESS SPECIFICALLY NOTED. REFER TO CASEWORK SPECIFICATIONS.
- COUNTERTOPS AT SCIENCE LABORATORY CLASSROOMS, INCLUDING BUT NOT LIMITED TO BIOLOGY, CHEMISTRY, ENVIRONMENTAL SCIENCE, AND PHYSICS LABORATORIES, RELATED PREP ROOMS, AND ART ROOMS SHALL BE TYPE "CT-ER" UNLESS SPECIFICALLY NOTED. REFER TO CASEWORK SPECIFICATIONS.
- UNLESS SPECIFICALLY IDENTIFIED BY TYPE, LOOSE FURNISHINGS INCLUDING STOOLS, CHAIRS, DESKS AND TABLES SHOWN DASHED ARE NOT IN CONTRACT.
- WHERE CABINETS ARE LOCATED WITH FIN-TUBE RADIATION HEATING BEHIND, THE CABINETS CARCASS SHALL BE FABRICATED TO PROVIDE FOR UNRESTRICTED MOVEMENT OF AIR FROM THE TOE KICK BELOW THE CABINET, UNDER THE CABINET BOTTOM, TO THE SPACE BEHIND THE CABINETS AT THE FIN-TUBE HEATING. THE CASEWORK MANUFACTURER SHALL PROVIDE 1/8" THK PERFORATED STEEL GRILLES WITH FACTORY-APPLIED BLACK BAKED ENAMEL FINISH AT THE TOE KICK FOR FULL WIDTHS OF CABINETS, AND 4" WIDE PENCIL-PROOF, CLEAR ANODIZED ALUMINUM GRATINGS IN FRAMES AT THE COUNTER LEDGE. SEE PLANS FOR LENGTHS OF GRATINGS.
- FUME HOODS AND RELATED BASE CABINETS SHALL BE PROVIDED AND INSTALLED BY THE LABORATORY EQUIPMENT (DIVISION 11) SUBCONTRACTOR. CASEWORK BASE CABINETS SHALL MATCH THE PRODUCTS PROVIDED BY THE CASEWORK SUBCONTRACTOR IN EVERY REGARD.
- SERVICE FITTINGS ARE WITHIN FUME HOODS INCLUDING BUT NOT LIMITED TO GAS, WATER, AND COMPRESSED AIR, SHALL BE PROVIDED AND INSTALLED IN THE HOOD EQUIPMENT BY THE LABORATORY EQUIPMENT SUBCONTRACTOR. FINAL CONNECTION OF UTILITIES TO THE FITTINGS SHALL BE COMPLETED BY THE PLUMBING SUBCONTRACTOR.
- WHERE ELECTRICAL OR DATA OUTLETS ARE INDICATED IN CASEWORK, ROUGH OPENINGS FOR OUTLET BOXES SHALL BE FACTORY PROVIDED. JUNCTION BOXES AND DEVICES SHALL BE INSTALLED BY THE ELECTRICAL SUBCONTRACTOR.
- WHERE SERVICE FITTINGS ARE INDICATED IN CASEWORK INCLUDING BUT NOT LIMITED TO GAS, WATER, AND COMPRESSED AIR, THEY SHALL BE PROVIDED AND INSTALLED IN THE CASEWORK BY THE CASEWORK SUBCONTRACTOR. FINAL CONNECTION OF UTILITIES TO THE FITTINGS SHALL BE COMPLETED BY THE PLUMBING SUBCONTRACTOR.
- WHERE RESIN SINKS ARE INDICATED IN TYPE CT-ER COUNTERTOPS, THEY SHALL BE PROVIDED AND INSTALLED BY THE CASEWORK SUBCONTRACTOR. FINAL CONNECTION OF DRAIN PIPING SHALL BE COMPLETED BY THE PLUMBING SUBCONTRACTOR.
- WHERE STAINLESS STEEL SINKS ARE INDICATED IN TYPE CT-PL OR CT-ER COUNTERTOPS, THEY SHALL BE PROVIDED AND INSTALLED BY THE PLUMBING SUBCONTRACTOR. OPENINGS FOR SUCH SINKS SHALL BE PROVIDED BY THE CASEWORK SUBCONTRACTOR BASED ON TEMPLATE INFORMATION PROVIDED BY OR COORDINATION WITH THE PLUMBING SUBCONTRACTOR.
- FIRE EXTINGUISHERS INDICATED AT SAFETY CABINETS SHALL BE PROVIDED AND INSTALLED BY THE FIRE PROTECTION SPECIALTIES (DIVISION 10) SUBCONTRACTOR.
- WHERE CONTROLS INCLUDING, BUT NOT LIMITED TO PLUMBING VALVES, CLEANOUTS, OR ELECTRICAL OR DATA CONDUCTORS AND CABLING RUN THROUGH BUS-WAYS OR CHASES CONCEALED BEHIND OR WITHIN MILLWORK, ACCESS PANELS SHALL BE PROVIDED IN THE MILLWORK TO PROVIDE ACCESS TO SUCH UTILITIES. ACCESS PANELS SHALL BE OF THE SAME MATERIAL AND FINISH AS THE ADJACENT CABINERY, AND SHALL BE FACTORY CREATED. FIELD CUTTING SHALL NOT BE PERMITTED. PANELS SHOULD BE MINIMUM 12 X 12 INCHES IN SIZE, AND SHALL BE SECURED IN PLACE FLUSH WITH THE ADJACENT CABINET BODY, USING PAN HEAD STAINLESS STEEL FINISH PHILIPS HEAD SCREWS WITH STAINLESS STEEL FINISHED WASHERS AT NO MORE THAN 12" ON CENTER AROUND THE PERIMETER OF THE ACCESS PANEL.



DORE + WHITTIER

MASSACHUSETTS
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STOUGHTON FIRE
HEADQUARTERS
& PUBLIC HEALTH

30 FREEMAN STREET
STOUGHTON, MA 02072

PROJECT NUMBER:
19-0796

SEAL AND SIGNATURE:

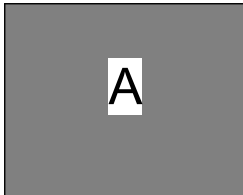
REVISIONS:		
NO.	DATE	TITLE

ISSUE TITLE AND DATE:

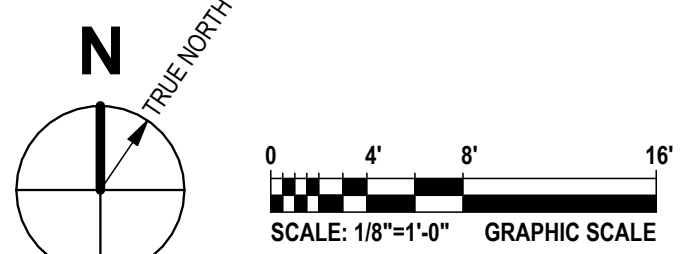
RECORD SET 2024-12-02

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KEY PLAN



ORIENTATION AND SCALE:



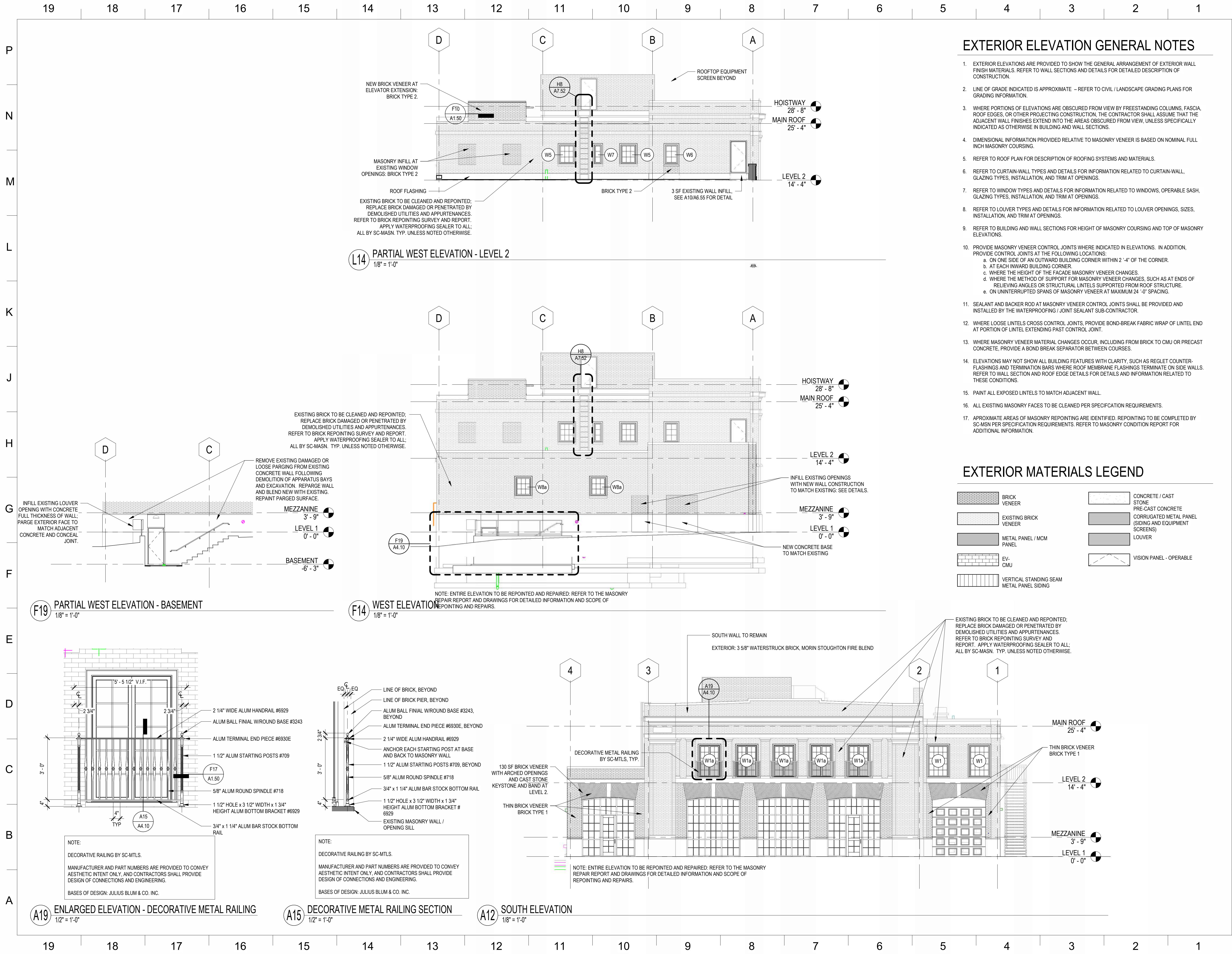
PROJECT NORTH

SHEET TITLE:

FLOOR PLANS

SHEET NUMBER:

AQ1.10



EXTERIOR ELEVATION GENERAL NOTES

- EXTERIOR ELEVATIONS ARE PROVIDED TO SHOW THE GENERAL ARRANGEMENT OF EXTERIOR WALL FINISH MATERIALS. REFER TO WALL SECTIONS AND DETAILS FOR DETAILED DESCRIPTION OF CONSTRUCTION.
- LINE OF GRADE INDICATED IS APPROXIMATE -- REFER TO CIVIL / LANDSCAPE GRADING PLANS FOR GRADING INFORMATION.
- WHERE PORTIONS OF ELEVATIONS ARE OBSCURED FROM VIEW BY FREESTANDING COLUMNS, FASCIA, ROOF EDGES, OR OTHER PROJECTING CONSTRUCTION, THE CONTRACTOR SHALL ASSUME THAT THE ADJACENT WALL FINISHES EXTEND INTO THE AREAS OBSCURED FROM VIEW, UNLESS SPECIFICALLY INDICATED AS OTHERWISE IN BUILDING AND WALL SECTIONS.
- DIMENSIONAL INFORMATION PROVIDED RELATIVE TO MASONRY VENEER IS BASED ON NOMINAL FULL INCH MASONRY COURSING.
- REFER TO ROOF PLAN FOR DESCRIPTION OF ROOFING SYSTEMS AND MATERIALS.
- REFER TO CURTAIN-WALL TYPES AND DETAILS FOR INFORMATION RELATED TO CURTAIN-WALL, GLAZING TYPES, INSTALLATION, AND TRIM AT OPENINGS.
- REFER TO WINDOW TYPES AND DETAILS FOR INFORMATION RELATED TO WINDOWS, OPERABLE SASH, GLAZING TYPES, INSTALLATION, AND TRIM AT OPENINGS.
- REFER TO LOUVER TYPES AND DETAILS FOR INFORMATION RELATED TO LOUVER OPENINGS, SIZES, INSTALLATION, AND TRIM AT OPENINGS.
- REFER TO BUILDING AND WALL SECTIONS FOR HEIGHT OF MASONRY COURSING AND TOP OF MASONRY ELEVATIONS.
- PROVIDE MASONRY VENEER CONTROL JOINTS WHERE INDICATED IN ELEVATIONS. IN ADDITION, PROVIDE CONTROL JOINTS AT THE FOLLOWING LOCATIONS:
 - ON ONE SIDE OF AN OUTWARD BUILDING CORNER WITHIN 2'-4" OF THE CORNER.
 - AT EACH INWARD BUILDING CORNER.
 - WHERE THE HEIGHT OF THE FACADE MASONRY VENEER CHANGES.
 - WHERE THE METHOD OF SUPPORT FOR MASONRY VENEER CHANGES, SUCH AS AT ENDS OF RELIEVING ANGLES OR STRUCTURAL LINTELS SUPPORTED FROM ROOF STRUCTURE.
 - ON UNINTERRUPTED SPANS OF MASONRY VENEER AT MAXIMUM 24'-0" SPACING.
- SEALANT AND BACKER ROD AT MASONRY VENEER CONTROL JOINTS SHALL BE PROVIDED AND INSTALLED BY THE WATERPROOFING / JOINT SEALANT SUB-CONTRACTOR.
- WHERE LOOSE LINTELS CROSS CONTROL JOINTS, PROVIDE BOND-BREAK FABRIC WRAP OF LINTEL END AT PORTION OF LINTEL EXTENDING PAST CONTROL JOINT.
- WHERE MASONRY VENEER MATERIAL CHANGES OCCUR, INCLUDING FROM BRICK TO CMU OR PRECAST CONCRETE, PROVIDE A BOND BREAK SEPARATOR BETWEEN COURSES.
- ELEVATIONS MAY NOT SHOW ALL BUILDING FEATURES WITH CLARITY, SUCH AS REGLET COUNTER-FLASHINGS AND TERMINATION BARS WHERE ROOF MEMBRANE FLASHINGS TERMINATE ON SIDE WALLS. REFER TO WALL SECTION AND ROOF EDGE DETAILS FOR DETAILS AND INFORMATION RELATED TO THESE CONDITIONS.
- PAINT ALL EXPOSED LINTELS TO MATCH ADJACENT WALL.
- ALL EXISTING MASONRY FACES TO BE CLEANED PER SPECIFICATION REQUIREMENTS.
- APPROXIMATE AREAS OF MASONRY REPOINTING ARE IDENTIFIED. REPOINTING TO BE COMPLETED BY SC-MASN PER SPECIFICATION REQUIREMENTS. REFER TO MASONRY CONDITION REPORT FOR ADDITIONAL INFORMATION.

EXTERIOR MATERIALS LEGEND

	BRICK VENEER		CONCRETE / CAST STONE
	EXISTING BRICK VENEER		PRE-CAST CONCRETE
	METAL PANEL / MCM PANEL		CORRUGATED METAL PANEL (SIDING AND EQUIPMENT SCREENS)
	EV-CMU		LOUVER
	VERTICAL STANDING SEAM METAL PANEL SIDING		VISION PANEL - OPERABLE



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STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH

30 FREEMAN STREET
STOUGHTON, MA 02072

PROJECT NUMBER:
19-0796

SEAL AND SIGNATURE:

REVISIONS:

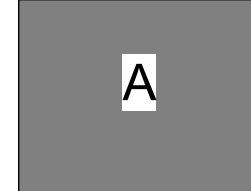
NO.	DATE	TITLE

ISSUE TITLE AND DATE:

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KEY PLAN



ORIENTATION AND SCALE:

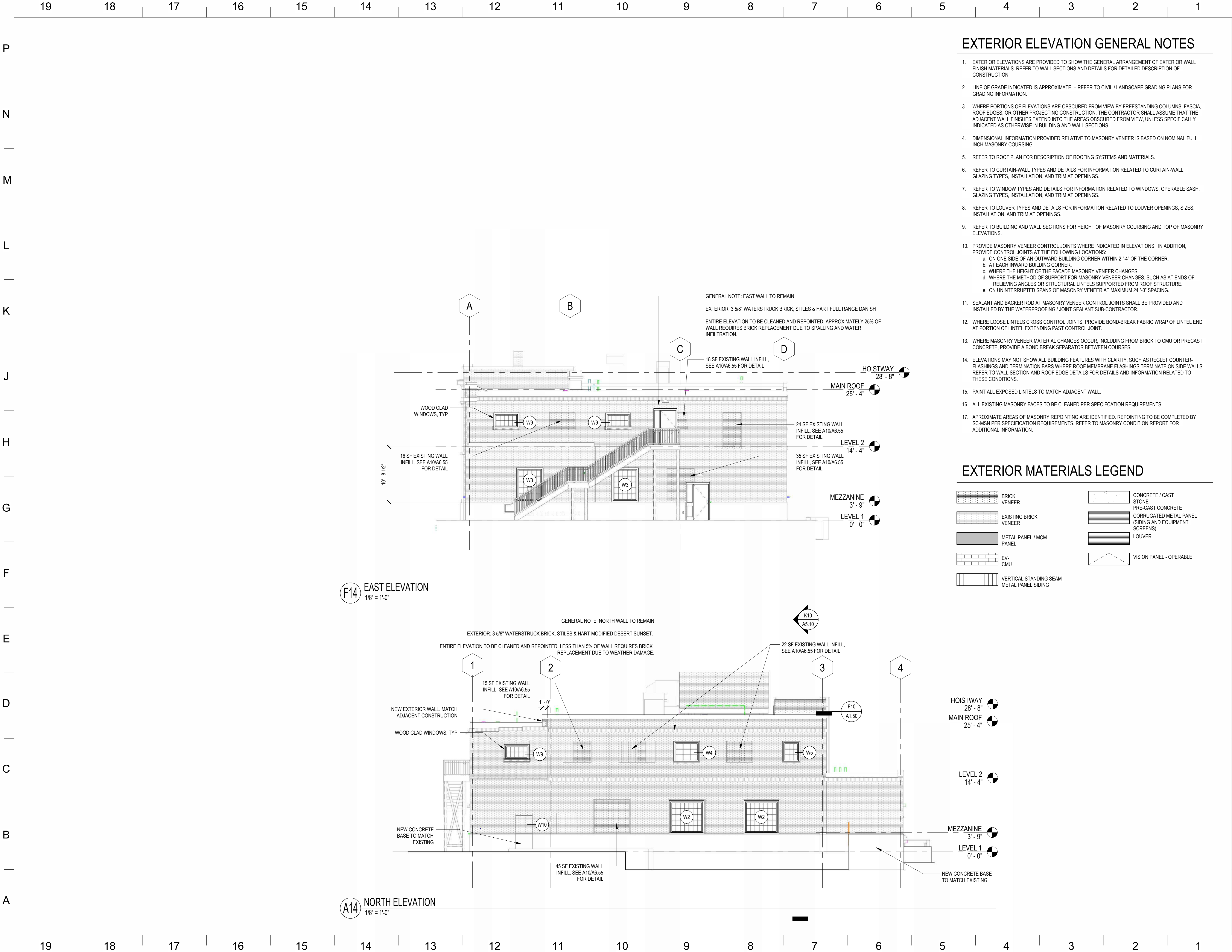
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EXTERIOR ELEVATIONS

SHEET NUMBER:

A4.10



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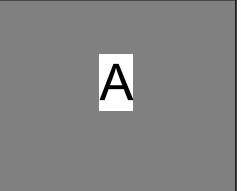
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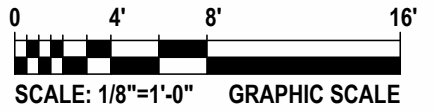
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KEY PLAN



ORIENTATION AND SCALE:



SHEET TITLE:

**EXTERIOR
ELEVATIONS**

SHEET NUMBER:

A4.11

	19	18	17	16	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1	
	DEMOLITION NOTES:																			
P	1. SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.																			
	2. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.																			
	3. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.																			
N	4. THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.																			
	5. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS REQUIRED TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OFFSITE BY CONTRACTOR.																			
	6. UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT THEIR ENDS WITH WATER-TIGHT BRICK MASONRY OR CEMENT MORTAR WITH A MINIMUM THICKNESS OF 8 INCHES.																			
M	7. UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.																			
	8. UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED. INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.																			
L	9. UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN HE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.																			
	10. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFFSITE.																			
K	11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.																			
	12. EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.																			
	13. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.																			
J	14. REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURB, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.																			
	15. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT.																			
H	16. BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.																			
	17. THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.																			
G	UTILITY NOTES:																			
	1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.																			
	2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.																			
F	3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVICING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.																			
	4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.																			
E	5. GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS.																			
	6. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.																			
	7. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET COVER FROM THE FINAL DESIGN GRADES.																			
D	8. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10- FEET ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.																			
	9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED.																			
C	10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR GAS UTILITY SYSTEMS.																			
	11. ALL ONSITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.																			
	12. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.																			
B	13. ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.																			
A																				
	19	18	17	16	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1	

EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
- SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ABUTTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK FROM EROSION CONDITIONS. STRAW BALE, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MAXIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT, WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
- ALL STOCK PILES SHALL BE PROTECTED AND LOCATED A MINIMUM OF 100' FROM EXISTING WETLAND RESOURCE AREAS & WITHIN THE LIMIT OF WORK.
- ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFFSITE.
- TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENUED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
- THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION, BUT ONLY WHEN DIRECTED BY THE TOWN OF STOUGHTON. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

COST ESTIMATING NOTES:

- ALL WATER LINES ARE DUCTILE IRON UNLESS OTHERWISE NOTED. ASSUME ALL WATER LINES INSTALLED WITH 5' OF COVER.
- ASSUME ALL ROADWAY DRAINAGE LINES ARE 12" RCP UNLESS OTHERWISE NOTED. ASSUME ALL DRAIN LINES INSTALLED WITH 6' OF COVER.
- ASSUME ALL ROOF DRAINAGE LINES ARE 6" CORRUGATED PLASTIC PIPE UNLESS OTHERWISE NOTED. ASSUME ALL DRAIN LINES INSTALLED WITH 4' OF COVER.
- ASSUME THAT ALL SEWER LINES ARE 8" PVC. ASSUME ALL SEWER LINES INSTALLED WITH 6' OF COVER.
- ASSUME ALL STRUCTURES ARE 4' INSIDE DIAMETER, EXCEPT FOR DOUBLE CATCH BASINS AND STRUCTURES THAT ARE DIRECTLY CONNECTED TO UNDERGROUND RECHARGE/DETENTION SYSTEMS. ASSUME THOSE STRUCTURES ARE 6' INSIDE DIAMETER.
- SEE MEP PLANS FOR SIZING OF ELECTRIC, CABLE, TELEPHONE AND LIGHTING.

GENERAL NOTES:

- TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN ENTITLED "PLAN OF EXISTING CONDITIONS", PREPARED BY RIVERHAWK LAND SURVEY., DATED 10/28/2022.
- FLOODPLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) NO. 25021C0213E. THE SITE IS IN ZONE X.
- THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
- THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSCHE ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
- THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
- ELEVATIONS REFER TO NAVD83.
- FOR SOIL INFORMATION REFER TO GEOTECHNICAL REPORT.

EARTH MOVING AND GRADING NOTES:

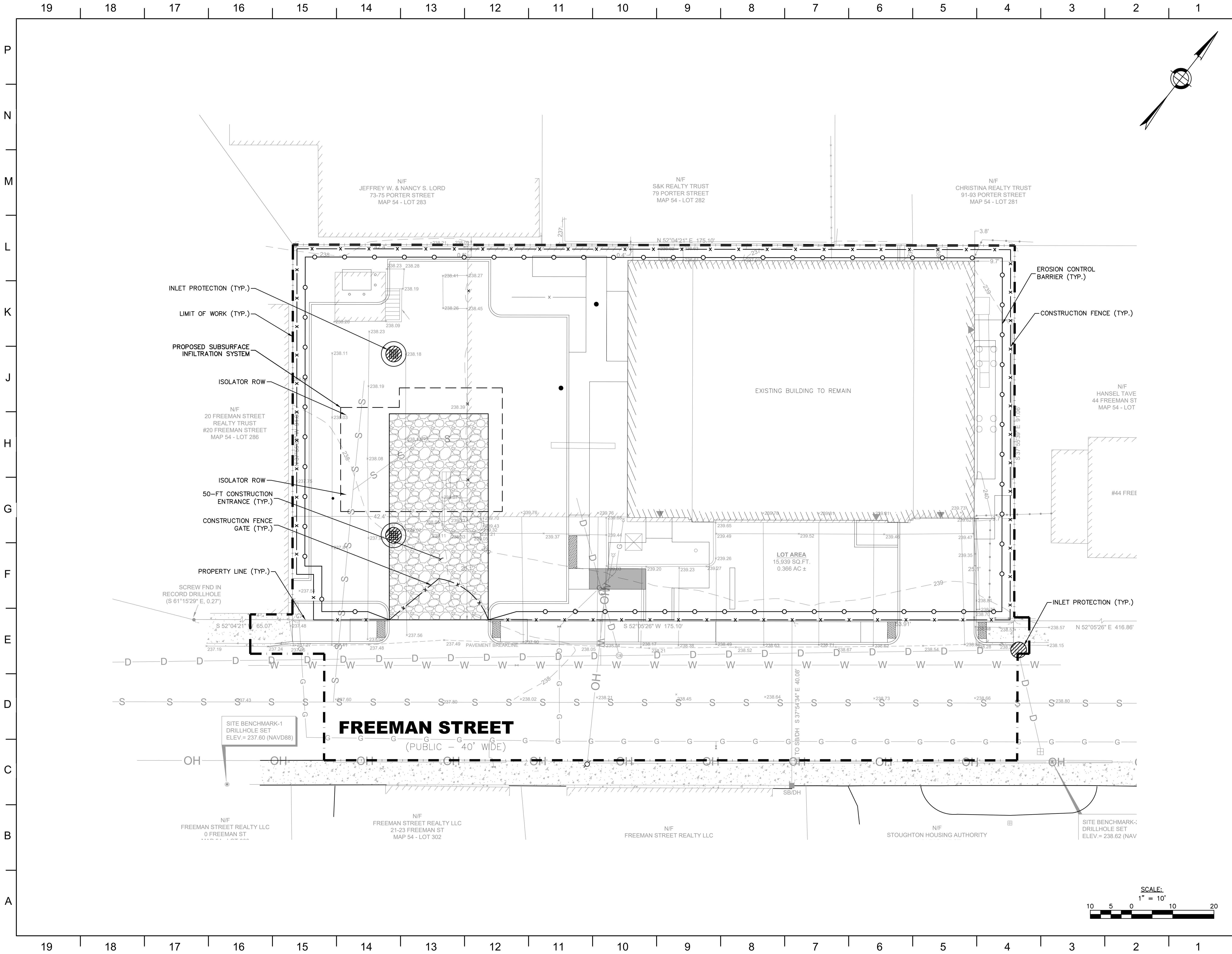
- ALL TOPSOIL ENCOUNTERED WITHIN THE WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
- GRADES WITHIN HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- CROSS SLOPES OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 1.5%.
- RUNNING SLOPE OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 4.5%, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL EXERCISE CAUTION IN ALL EXCAVATION ACTIVITY DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
- ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED.
- PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDINGS AT ALL LOCATIONS.
- PITCH EVENLY BETWEEN CONTOUR LINES AND BETWEEN SPOT GRADES. SPOT GRADE ELEVATIONS TAKE PRECEDENCE OVER CONTOUR LINES.
- ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE NOTED. ALL PROPOSED TOP OF CAPE COD BERM ELEVATIONS ARE FOUR INCHES (4") ABOVE BOTTOM OF CURB ELEVATION UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BLEND NEW GRADING SMOOTHLY INTO EXISTING GRADING AT LIMITS OF GRADING.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING PAVING WITH SMOOTH TRANSITION BETWEEN EXISTING AND NEW SURFACES.
- THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
- PITCH TOPS OF ALL WALLS AT ONE-EIGHTH INCH (1/8") PER FOOT FROM BACK OF WALL TO FACE OF WALL.
- SURPLUS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. REFER TO EARTHWORK SPECIFICATIONS.
- ANY AREAS OUTSIDE OF THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THE PRE-CONSTRUCTION CONDITION/GRADE AT NO COST TO THE OWNER.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.

PROPOSED LEGEND

	LIMIT OF WORK
	EXISTING UTILITY TO BE ABANDONED, REMOVED AND DISPOSED IF IN CONFLICT WITH NEW SITE IMPROVEMENTS, OR AS INDICATED ON DRAWINGS
	EROSION CONTROL BARRIER
	CONSTRUCTION FENCE
	DOMESTIC WATER PIPE
	FIRE PROTECTION PIPE
	SANITARY SEWER PIPE
	SEWER FORCE MAIN PIPE
	DRAIN FORCE MAIN PIPE
	STORM DRAIN PIPE
	GAS PIPE
	ELECTRIC DUCTBANK
	TELECOM DUCTBANK
	CHILLED WATER PIPE
	STEAM PIPE
	CONDENSATE RETURN PIPE
	HOT WATER PIPE/RETURN
	HEATING HOT WATER
	REUSE WATER PIPE
	GREY WATER PIPE
	FUTURE UTILITY, SHOWN FOR INFORMATION ONLY
	INLET PROTECTION
	ELEVATION CONTOURS
	MATCH LINE
	CENTERLINE
	CLEANOUT
	AREA DRAIN
	ACCESS BASIN
	DRAIN MANHOLE
	WATER QUALITY STRUCTURE
	CATCH BASIN
	DOUBLE CATCH BASIN
	WATER QUALITY INLET
	SEWER MANHOLE
	STEAM MANHOLE
	TELECOM MANHOLE
	ELECTRIC MANHOLE
	CHILLED WATER VALVE
	WATER VALVE
	FIRE HYDRANT

ABBREVIATIONS

AB	ACCESS BASIN
AD	AREA DRAIN
BC	BOTTOM OF CURB ELEVATION
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CCB	CAPE COD BERM
CI	CAST IRON
CJ	CONTROL JOINT
CL	CENTER LINE
CO	CLEANOUT
COP	CENTER OF PIPE
CLDI	CEMENT LINED DUCTILE IRON PIPE
CP	CARRIER PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
DCB	DOUBLE CATCH BASIN



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19-0796

SEAL AND SIGNATURE:



8/27/2024

REVISIONS:

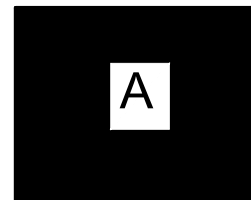
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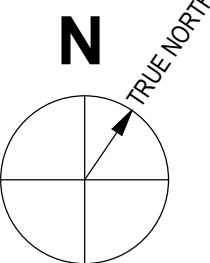
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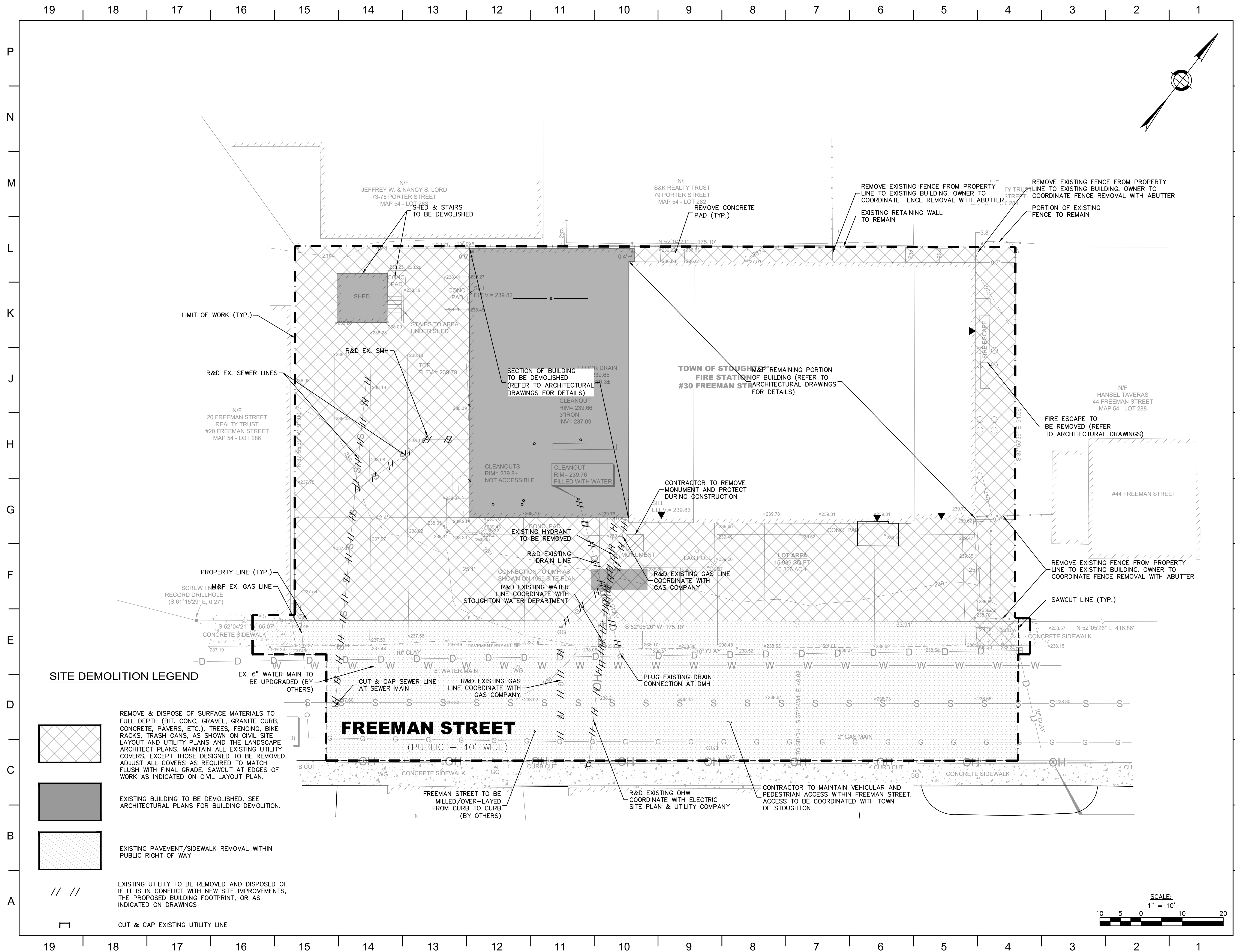
PROJECT NORTH

SHEET TITLE:

**SITE EROSION &
SEDIMENTATION
CONTROL PLAN**

SHEET NUMBER:

C1.00



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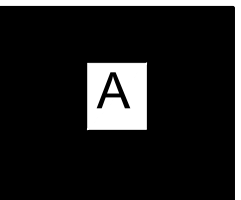
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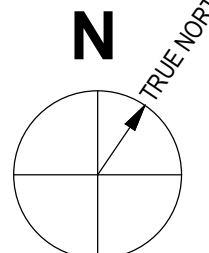
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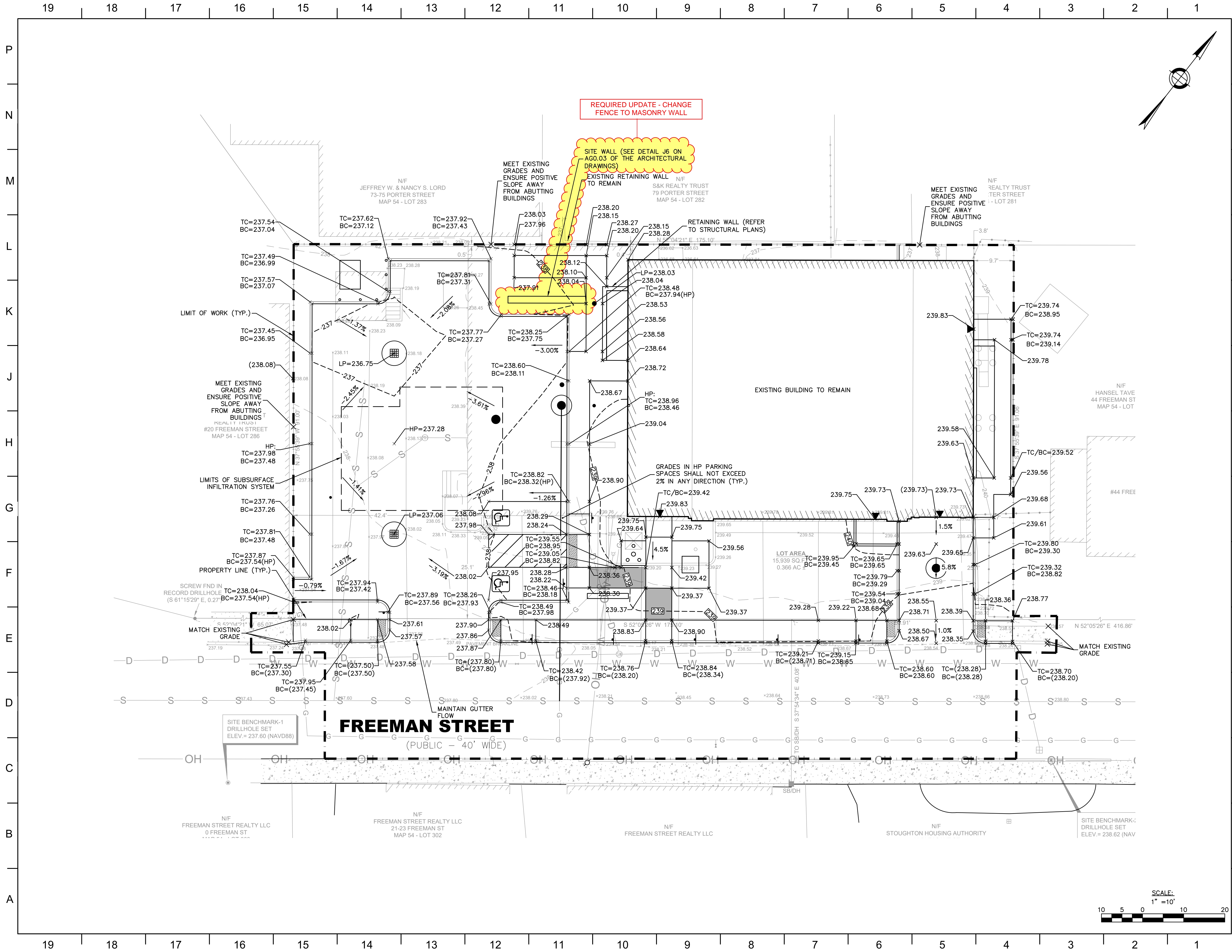
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SHEET TITLE

SITE DEMOLITION PLAN

SHEET NUMBER

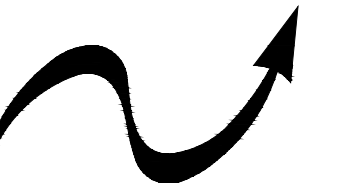
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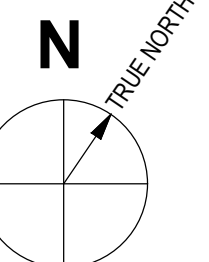
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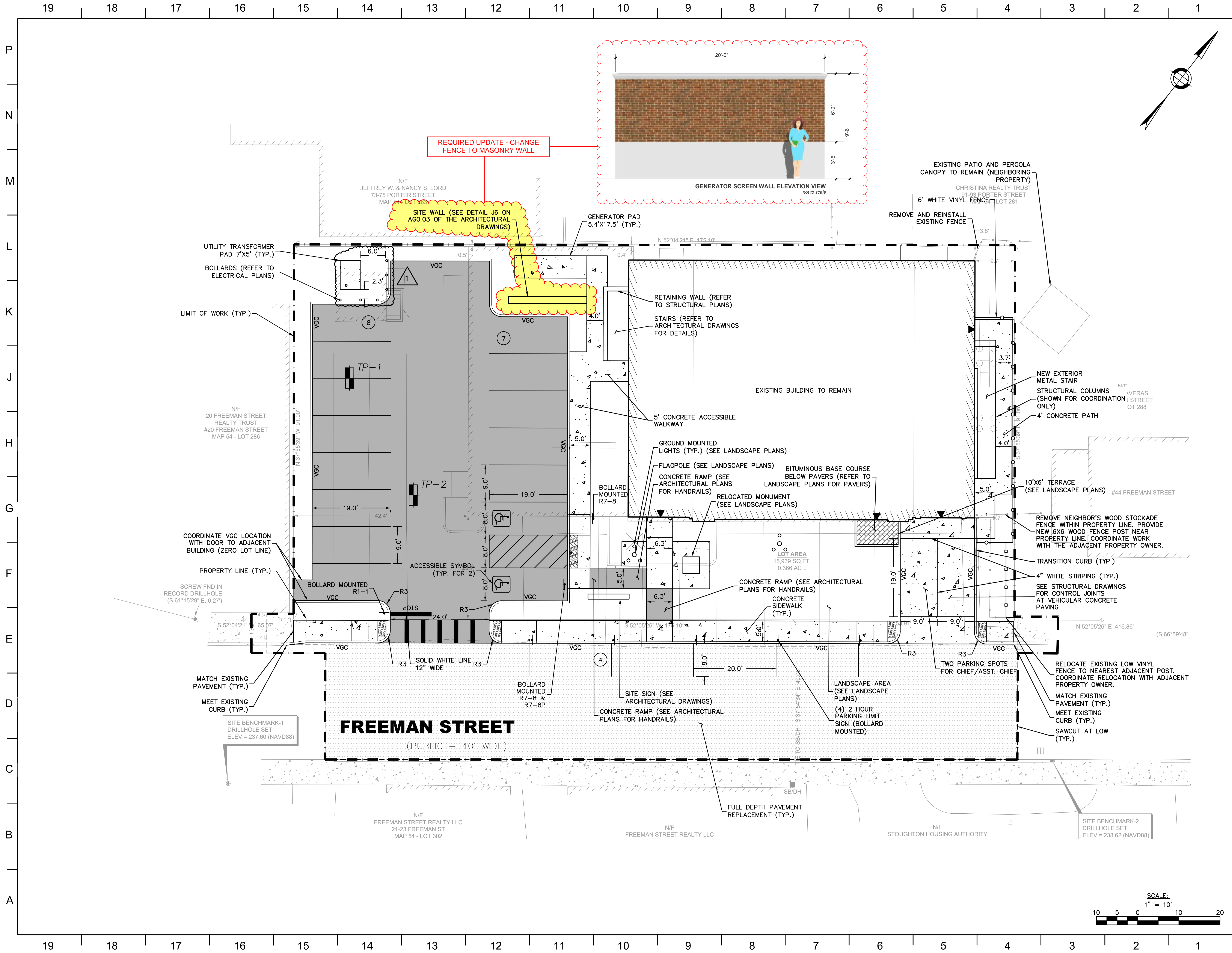
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SHEET TITLE:

**SITE GRADING
PLAN**

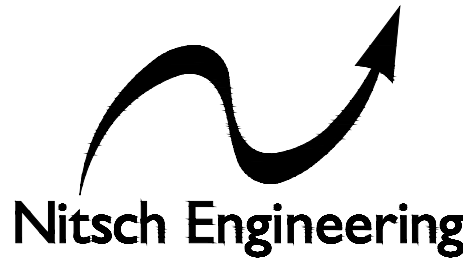
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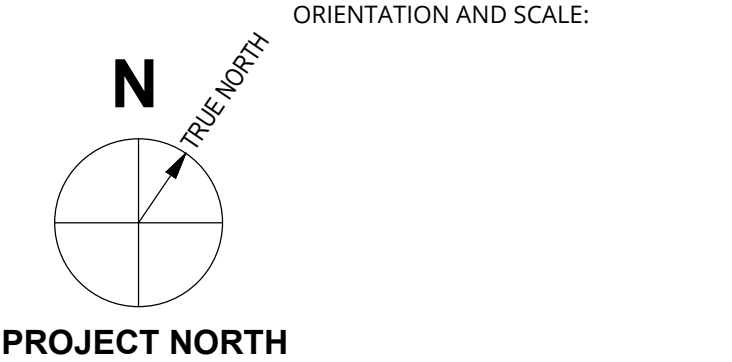
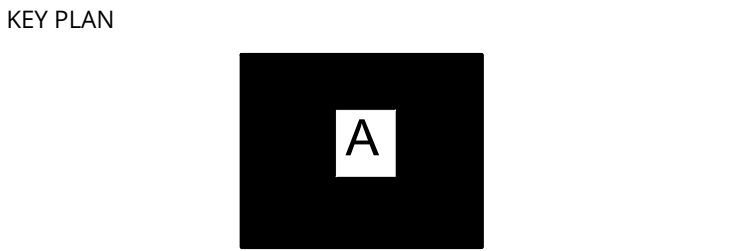
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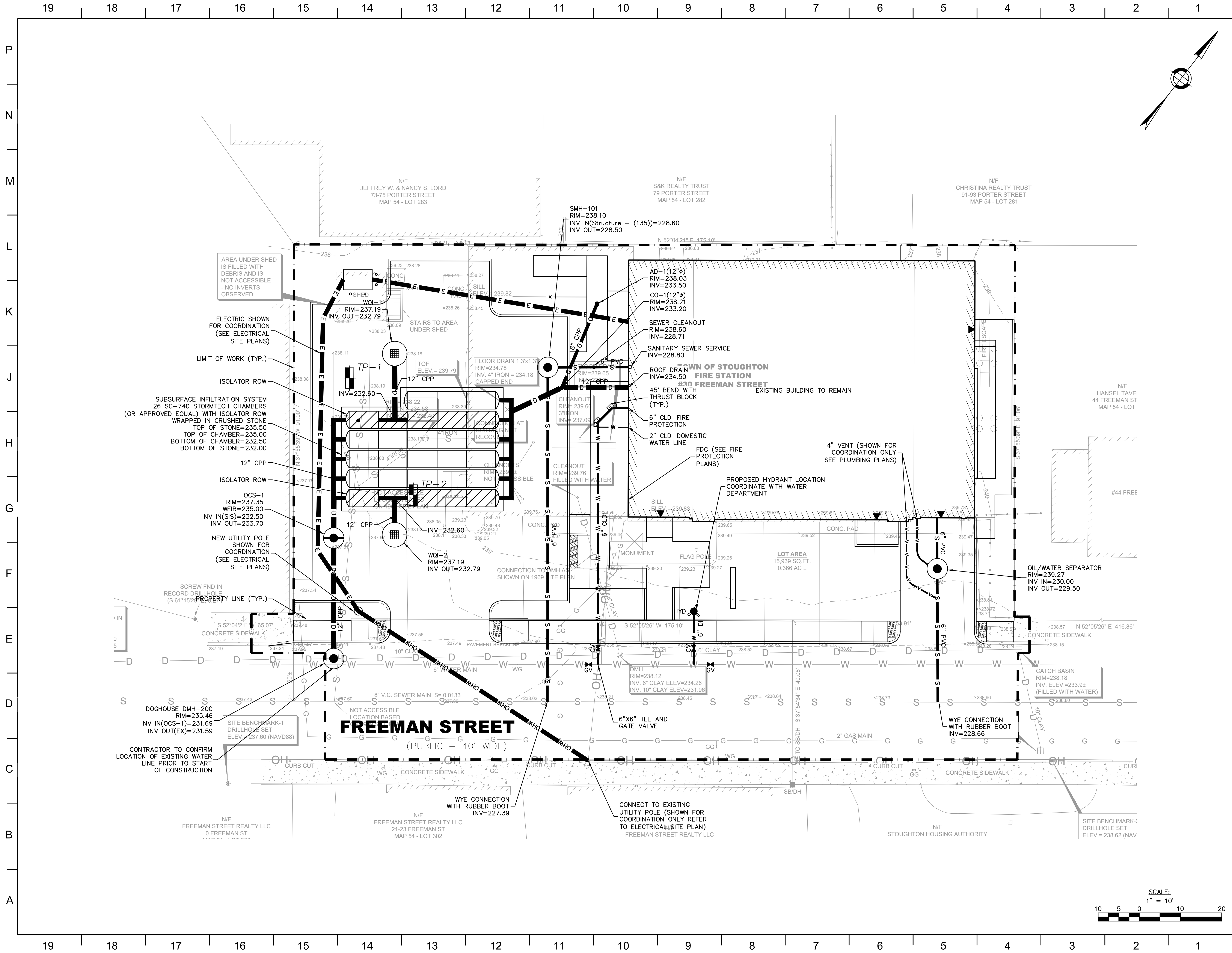
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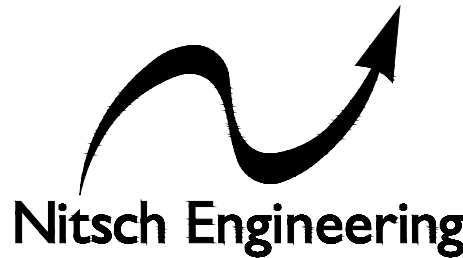
SHEET TITLE:
**SITE LAYOUT
PLAN**

SHEET NUMBER:
C4.00



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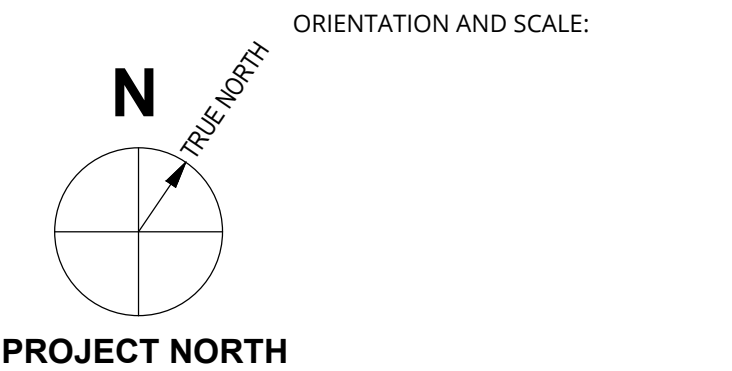
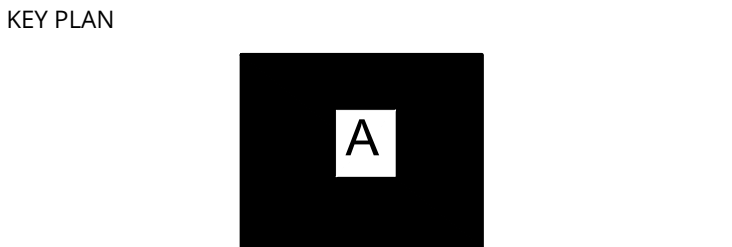
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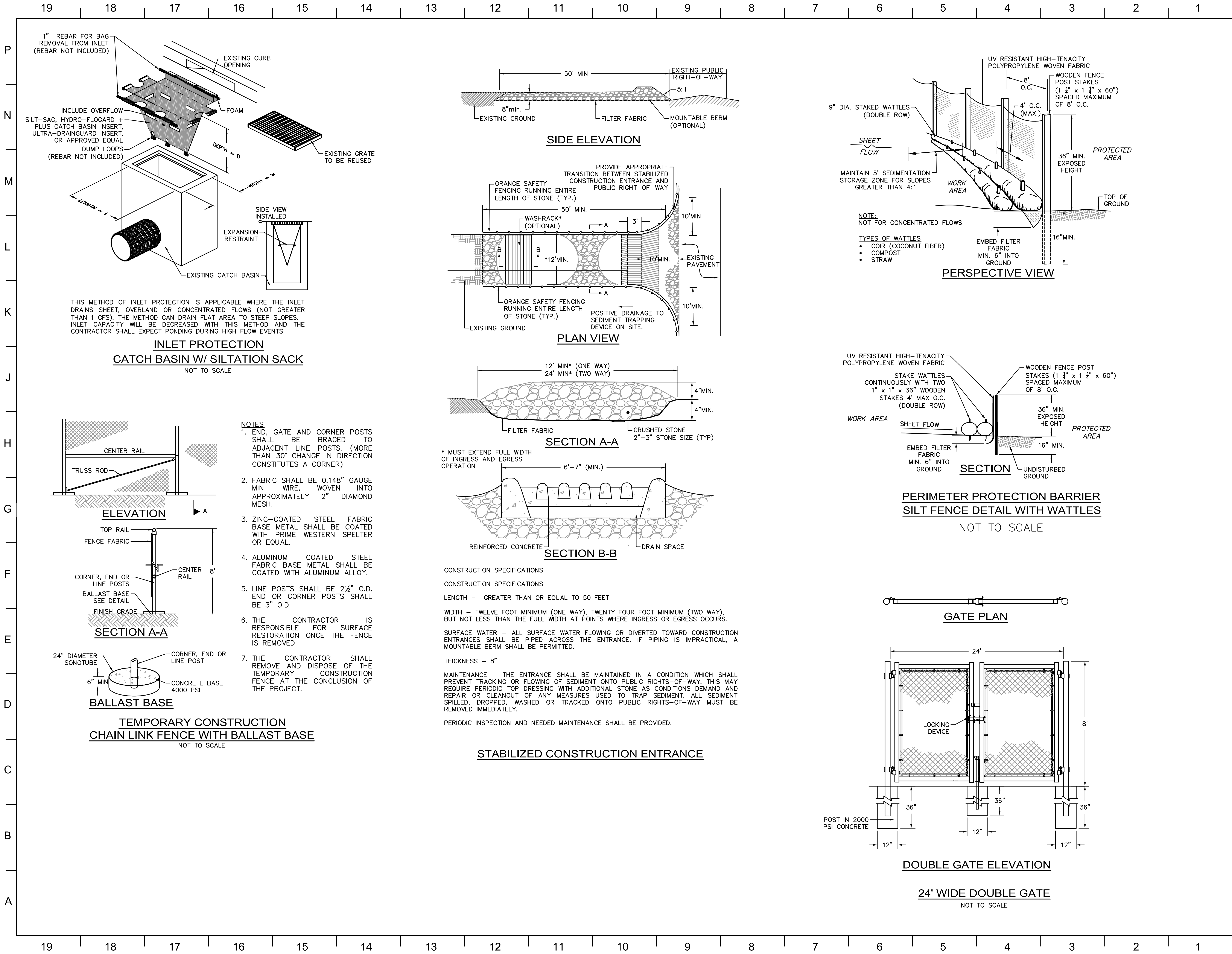
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PROJECT NORTH

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SITE UTILITY PLAN

SHEET NUMBER:
C5.00



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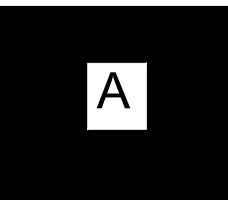
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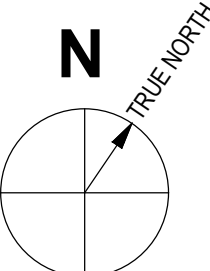
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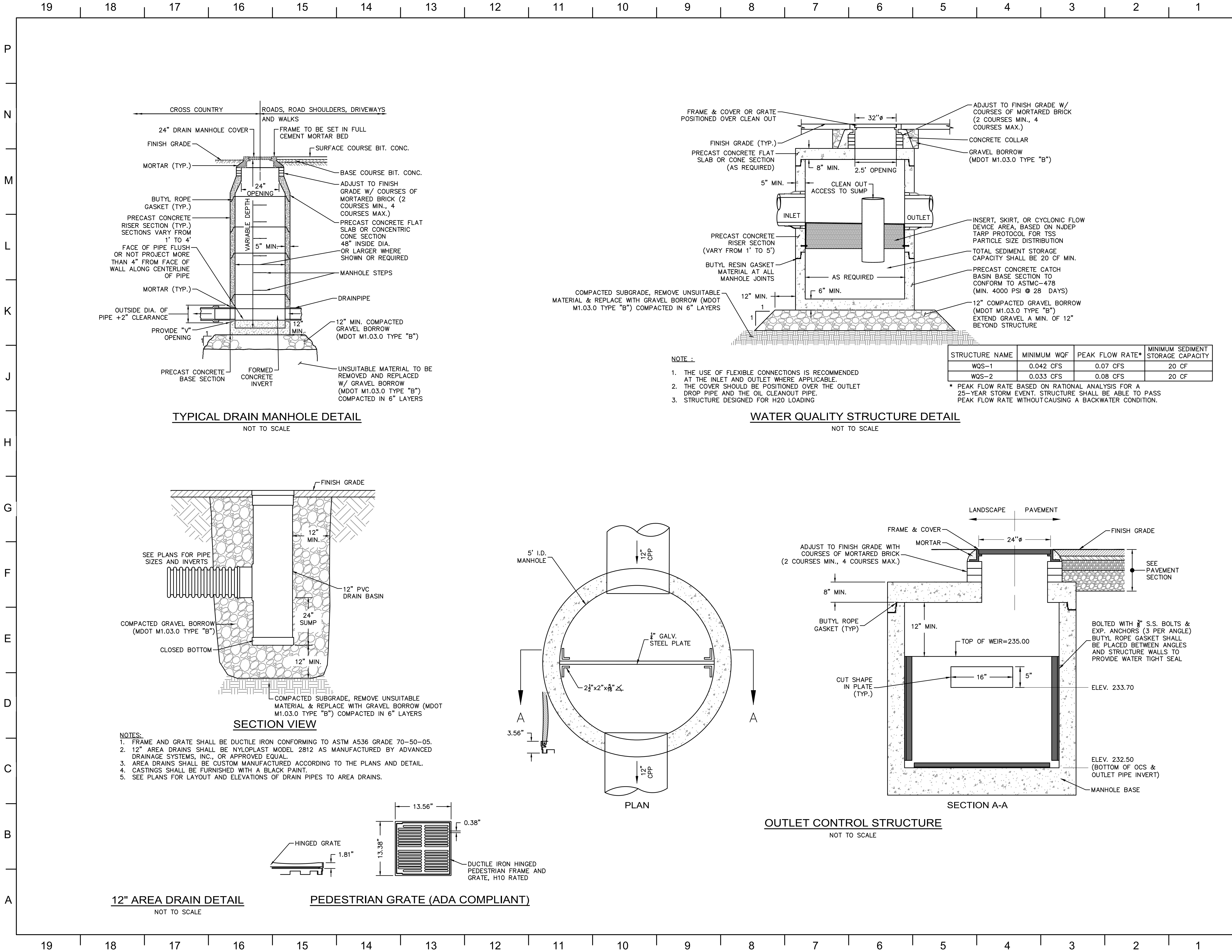
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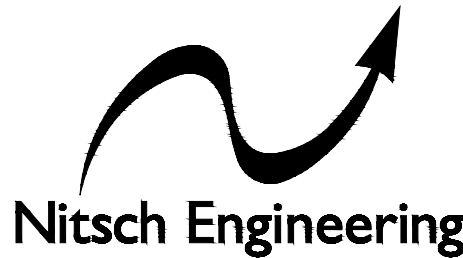
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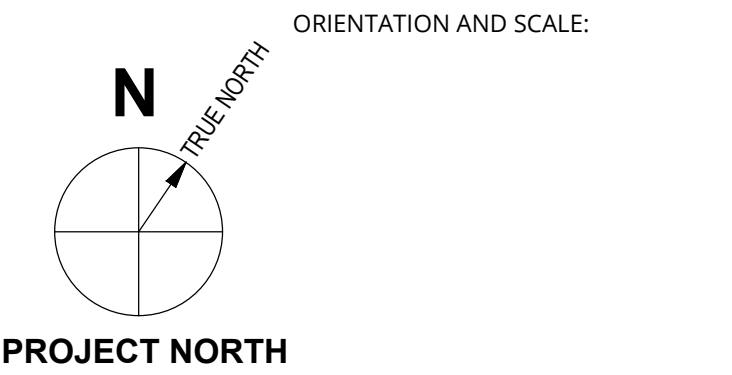
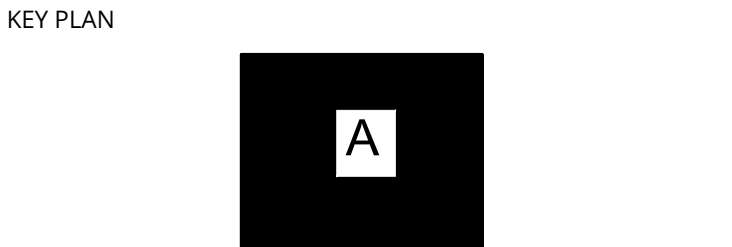
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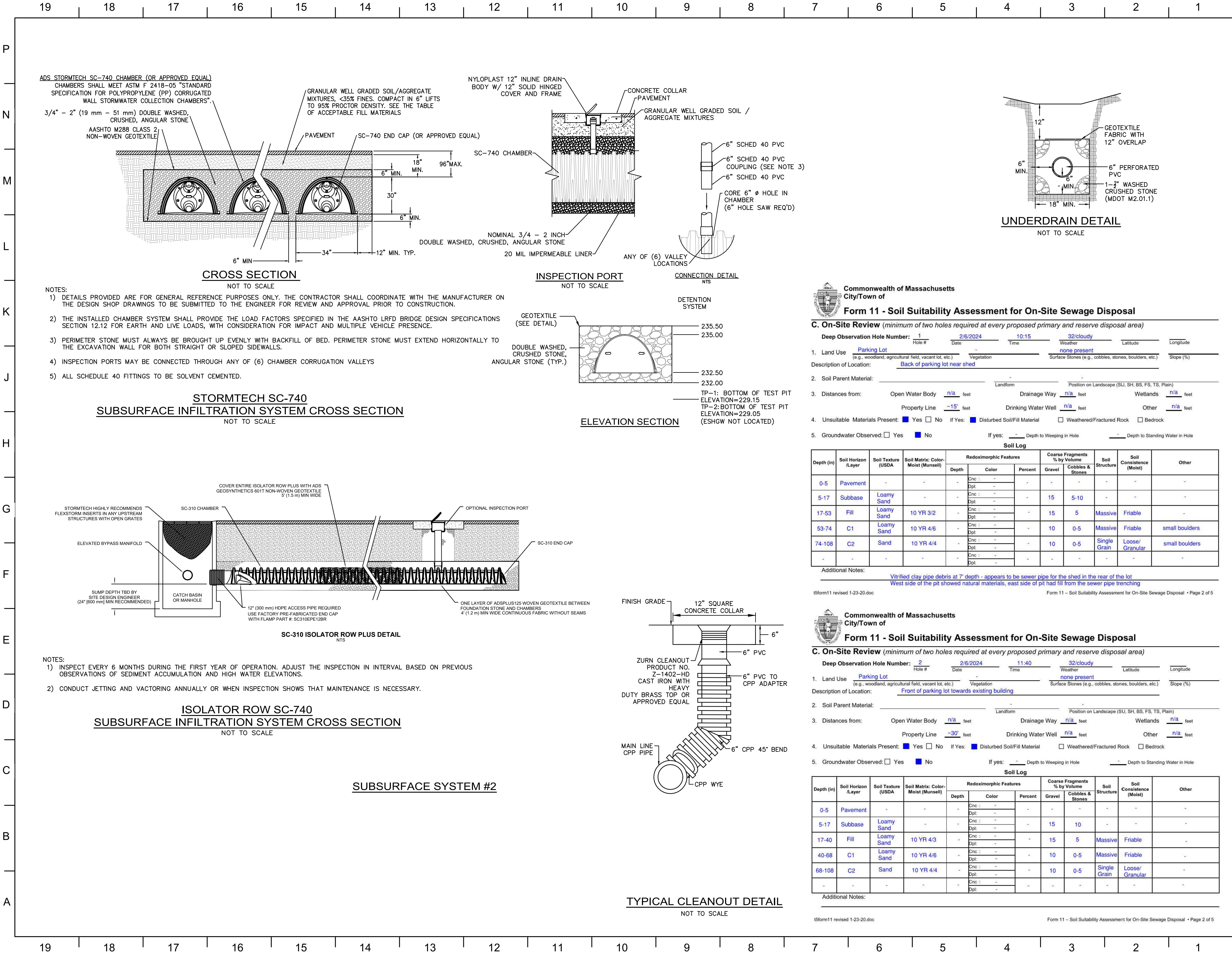
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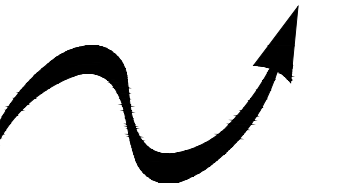
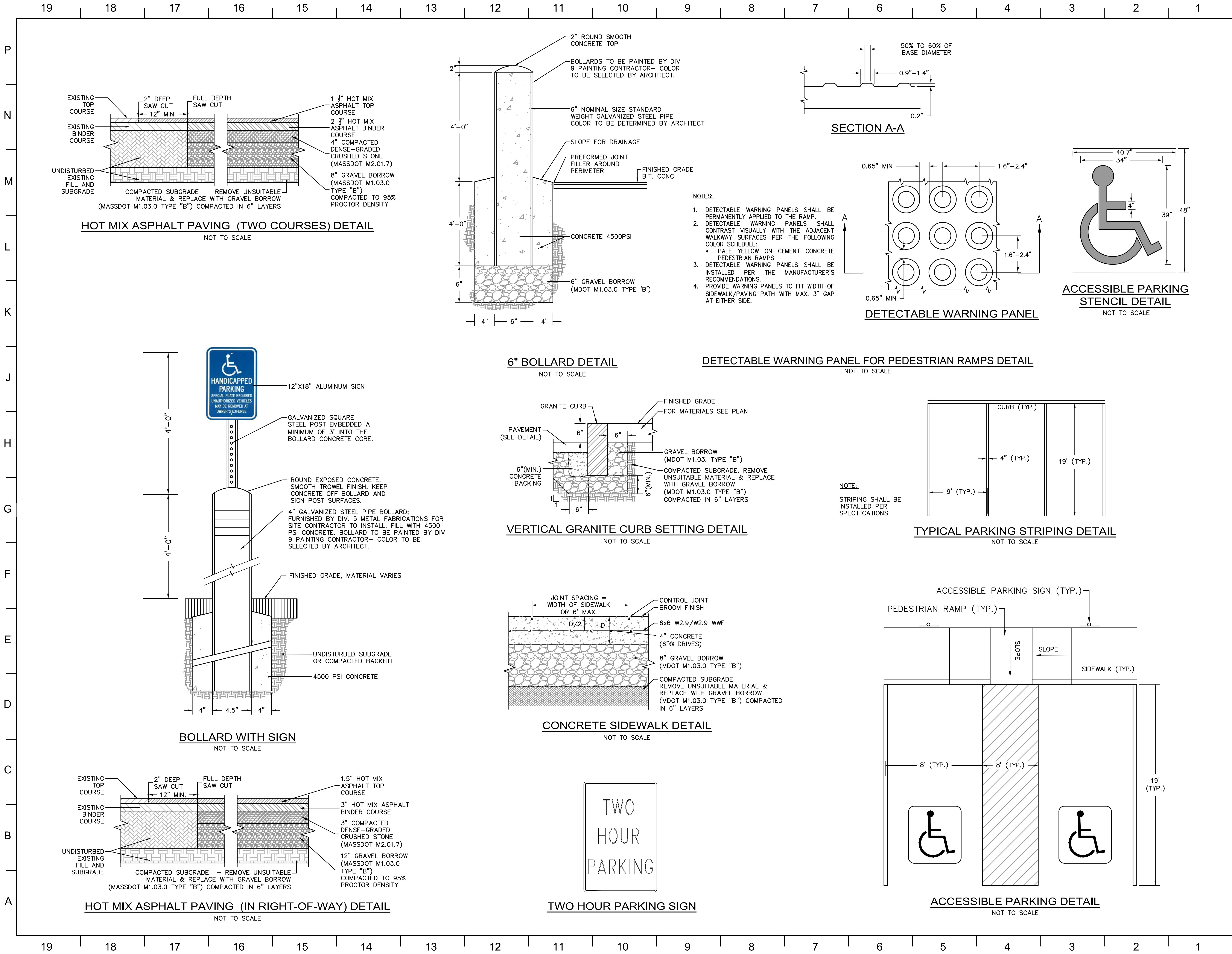
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C6.01



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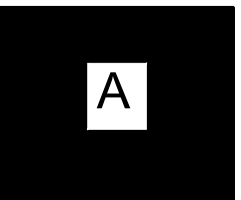
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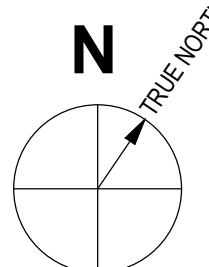
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SHEET TITLE:
CIVIL DETAILS III

SHEET NUMBER:

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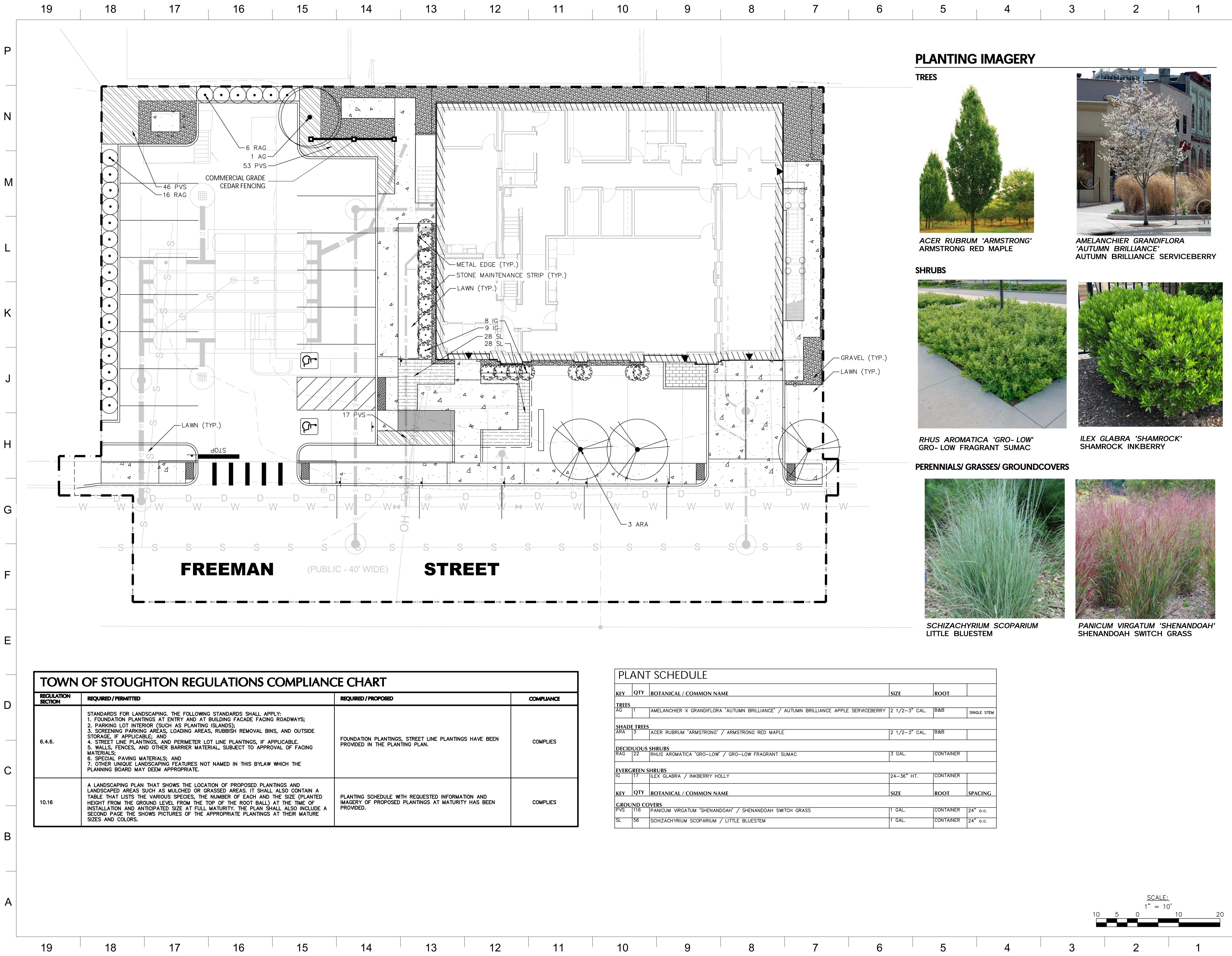
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PROJECT NORTH

SHEET TITLE:

CIVIL DETAILS IV

SHEET NUMBER: _____



TOWN OF STOUGHTON REGULATIONS COMPLIANCE CHART			
REGULATION SECTION	REQUIRED / PERMITTED	REQUIRED / PROPOSED	COMPLIANCE
6.4.6.	STANDARDS FOR LANDSCAPING. THE FOLLOWING STANDARDS SHALL APPLY: 1. FOUNDATION PLANTINGS AT ENTRY AND AT BUILDING FACADE FACING ROADWAYS; 2. PARKING LOT INTERIOR (SUCH AS PLANTING ISLANDS); 3. SCREENING PARKING AREAS, LOADING AREAS, RUBBISH REMOVAL BINS, AND OUTSIDE STORAGE, IF APPLICABLE; AND 4. STREET LINE PLANTINGS, AND PERIMETER LOT LINE PLANTINGS, IF APPLICABLE. 5. WALLS, FENCES, AND OTHER BARRIER MATERIAL, SUBJECT TO APPROVAL OF FACING MATERIALS; 6. SPECIAL PAVING MATERIALS; AND 7. OTHER UNIQUE LANDSCAPING FEATURES NOT NAMED IN THIS BYLAW WHICH THE PLANNING BOARD MAY DEEM APPROPRIATE.	FOUNDATION PLANTINGS, STREET LINE PLANTINGS HAVE BEEN PROVIDED IN THE PLANTING PLAN.	COMPLIES
10.16	A LANDSCAPING PLAN THAT SHOWS THE LOCATION OF PROPOSED PLANTINGS AND LANDSCAPED AREAS SUCH AS MULCHED OR GRASSED AREAS. IT SHALL ALSO CONTAIN A TABLE THAT LISTS THE VARIOUS SPECIES, THE NUMBER OF EACH AND THE SIZE (PLANTED HEIGHT FROM THE GROUND LEVEL FROM THE TOP OF THE ROOT BALL) AT THE TIME OF INSTALLATION AND ANTICIPATED SIZE AT FULL MATURITY. THE PLAN SHALL ALSO INCLUDE A SECOND PAGE THE SHOWS PICTURES OF THE APPROPRIATE PLANTINGS AT THEIR MATURE SIZES AND COLORS.	PLANTING SCHEDULE WITH REQUESTED INFORMATION AND IMAGERY OF PROPOSED PLANTINGS AT MATURITY HAS BEEN PROVIDED.	COMPLIES

PLANT SCHEDULE					
KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
TREES					
AG	1	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	2 1/2-3" CAL.	B&B	SINGLE STEM
SHADE TREES					
ARA	3	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	2 1/2-3" CAL.	B&B	
DECIDUOUS SHRUBS					
RAG	22	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	3 GAL.	CONTAINER	
EVERGREEN SHRUBS					
IG	17	ILEX GLABRA / INKBERRY HOLLY	24-36" HT.	CONTAINER	
GROUND COVERS					
PVS	116	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	1 GAL.	CONTAINER	24" o.c.
SL	56	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM	1 GAL.	CONTAINER	24" o.c.

PLANTING IMAGERY

TREES



ACER RUBRUM 'ARMSTRONG'
ARMSTRONG RED MAPLE



AMELANCHIER GRANDIFLORA
'AUTUMN BRILLIANCE'
AUTUMN BRILLIANCE SERVICEBERRY

SHRUBS



RHUS AROMATICA 'GRO-LOW'
GRO-LOW FRAGRANT SUMAC



ILEX GLABRA 'SHAMROCK'
SHAMROCK INKBERRY

PERENNIALS/ GRASSES/ GROUNDCOVERS



SCHIZACHYRIUM SCOPARIUM
LITTLE BLUESTEM



PANICUM VIRGATUM 'SHENANDOAH'
SHENANDOAH SWITCH GRASS



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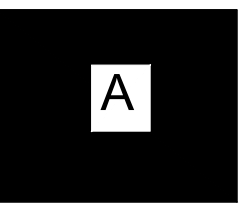
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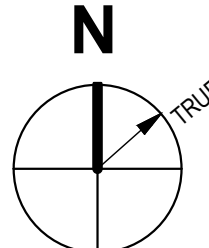
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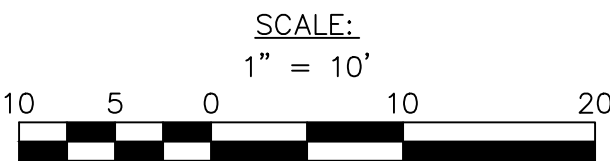
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SHEET TITLE:

PLANTING PLAN

SHEET NUMBER:

LP101



P

GENERAL LANDSCAPE PLANTING NOTES

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS' ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR, AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED. ANY TREE THAT LOSTS THE MAIN LEADER SHALL BE REPLACED.
- THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE ARES ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. THE CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR SEPT 1 - OCTOBER 15, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.
- ALL FENCE AND GUDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONTACTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REJECT PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, MISSING, 25% OR MORE DEAD, WHICH DOES NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- DELIVERY, STORAGE, AND HANDLING
 - A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
 - B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
 - C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL. AT THE TIME OF PLANTING, IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
 - D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, MULCHING, FERTILIZING, ETC) ALL OF THE PLANT MATERIALS AND LAWN FOR THE DURATION OF THE GUARANTEED PERIOD. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24- HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH. CONTRACTOR SHALL CONFIRM WATER SOURCE WITH OWNER PRIOR TO BID AND INCLUDE ALTERNATE MEANS OF WATERING IF NECESSARY.
- ON-SITE WATER SHALL BE FURNISHED BY THE CONTRACTOR. HOSE AND OTHER WATERING EQUIPMENT SHALL BE FURNISHED BY THE CONTRACTOR.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- ALL TREES MUST BE GUVED OR STAKED IF REQUIRED BY ORDINANCE, IF LOCATED ON A SLOPE 3:1 OR GREATER, OR IF THE SITE IS LOCATED IN A HIGH WIND ZONE.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST. MULCH SHALL BE A FIBROUS SHREDDED HARDWOOD MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING WORK. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
- LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT. IF UNDER CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONFIRMATION IS RECEIVED THAT ALL PROPOSED LANDSCAPE ITEMS HAVE BEEN INSTALLED, OR DEFICIENCIES NOTED IN THE PRIOR PUNCH LIST REPORT HAVE BEEN CORRECTED. THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS.
- CONTRACTOR SHALL ASSESS THE NEED FOR ANIMAL PROTECTION ON SITE. IF DEEMED NECESSARY, TREES SHALL BE PROTECTED AS NECESSARY.
- ALL SLOPES 3:1 OR GREATER AND ALL SIDE SLOPES OF BASINS SHALL REQUIRE AN EROSION CONTROL BLANKET: ERONET SC150 BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

A

PLANTING SOIL SPECIFICATIONS

- PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA.. IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODOORS.
- PLANTING SOIL:
 - REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTING DEBRIS AND GRAVEL OVER 1" IN DIAMETER AND DELTERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
 - SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL SAMPLES ANALYZED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
 - AT A MINIMUM, PLANTING SOILS MEETING THESE SPECIFICATIONS MAY BE OBTAINED FROM WECARE DENUAI, P:888-325-1522, OR APPROVED EQUAL.
 - CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS. SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKS PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPULIN UNTIL TIME OF ACTUAL USE.
 - ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
 - THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
 - A. WHERE A PERMANENT IRRIGATION SYSTEM IS PLANNED:
 - a. PARTICLE SIZE ANALYSIS - LOAM: SAND: 60-75% SAND, 25-40% SILT, AND 5-15% CLAY.
 - b. GRAVEL CONTENT (2mm): LESS THAN 10%.
 - c. FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (0.2 to 1.5 MMH4O/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM
 - d. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
 - e. TOXIC SUBSTANCE ANALYSIS
 - f. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED
 - g. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY #4 SIEVE
 - B. WHERE NO PERMANENT IRRIGATION IS PLANNED:
 - a. PARTICLE SIZE ANALYSIS - LOAM: 40-65% SAND, 25-60% SILT, AND 5-20% CLAY.
 - b. GRAVEL CONTENT (2mm): LESS THAN 10%.
 - c. FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (0.2 to 1.5 MMH4O/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM
 - d. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
 - e. TOXIC SUBSTANCE ANALYSIS
 - f. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED
 - g. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY #4 SIEVE
 - C. SOILS FOR BASINS (BIO-RETENTION, INFILTRATION, ETC) AND BLOSSWALS SHALL BE TESTED FOR COMPLIANCE WITH THE CIVIL ENGINEERING SPECIFICATIONS OR OTHER MATERIALS SPECIFICATIONS FOR THE BEST MANAGEMENT PRACTICES MANUAL FOR THE RESPECTIVE STATE IN WHICH THE PROJECT IS LOCATED.
 - SOIL AMENDMENT FOR PLANT MATERIAL:
 - IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL MIXED, 15% AS MINIMUM, THROUGH 1" SIEVE, SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM, MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.
 - A. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOULD WITH 60-90% ORGANIC CONTENT BY WEIGHT. SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".
 - B. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.
 - C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
 - a. GROUND LIMESTONE (WITH A MIN. OF 80% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
 - BRING pH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS
 - BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS
 - b. TERRA-SORB BY PLANT HEALTH CARE® 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.
 - c. MYCOR-RHIZO SAVOR BY PLANT HEALTH CARE® 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.
 - WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
 - CLEAN SOIL FILL IN LANDSCAPE AREAS:
 - LANDSCAPE FILL MATERIAL, BELOW PLANTING AREAS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7.
 - SOIL PLACEMENT:
 - A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN PLANTING AREAS AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
 - B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 8 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE PLACING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
 - C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
 - D. SOIL CONDITIONING:
 - ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER pH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - E. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):
 - a. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX, IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

LAWN SEED MIX

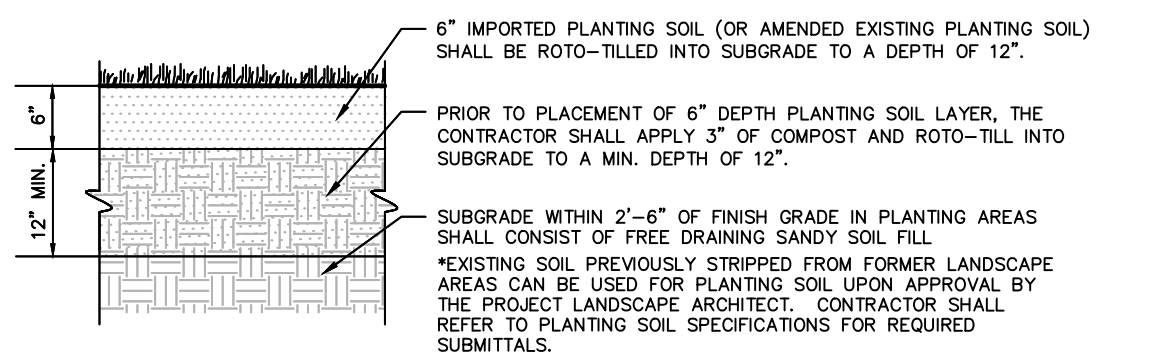
- PRIOR TO SEEDING, AREA IS TO BE TOPSOLED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1/2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATE AT 220 POUNDS PER ACRE:
 - 10% DEERBLUE KENTUCKY BLUEGRASS
 - 25% DAKOTA TALL FESCUE
 - 25% TAOS TALL FESCUE
 - 40% FRONTIER PERENNIAL RYEGRASS
- SEEDING DATES FOR THIS MIXTURE SHALL BE BETWEEN MARCH 15TH TO MAY 15TH OR SEPT 1ST TO OCTOBER 30TH.
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL A STAND OF COVER IS ESTABLISHED AND FOUND ACCEPTABLE TO THE OWNER. SEE LAWN WATERING SCHEDULE NOTES.

WOOD FENCE AT TRANSFORMER

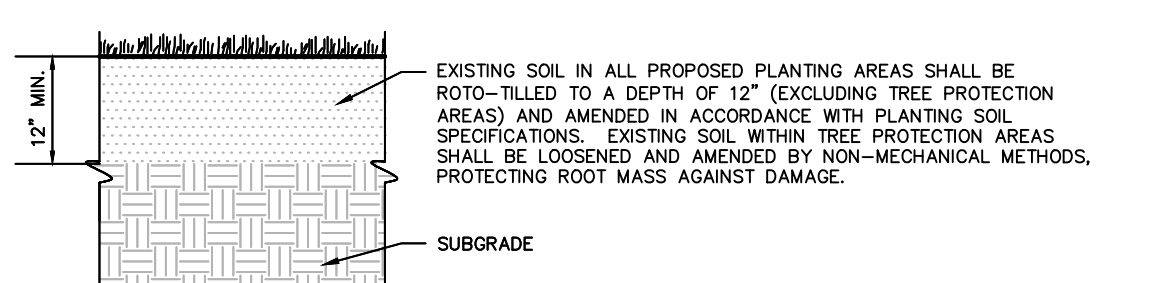
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GENERAL NOTE:

DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH, A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.



IMPORTED OR AMENDED EXISTING PLANTING SOIL WITHIN AREAS OF RAISED GRADE

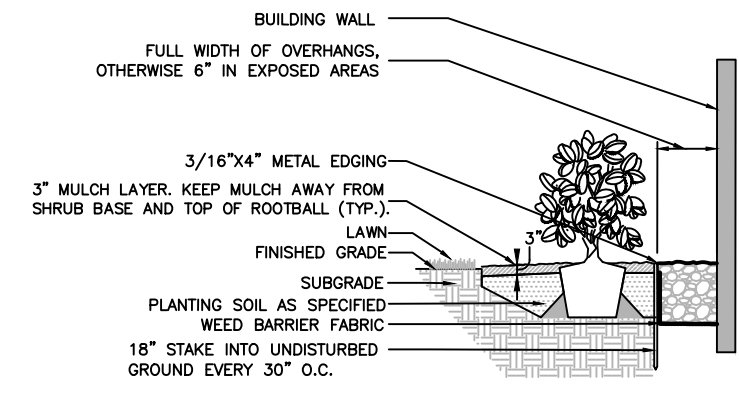


AMENDED EXISTING PLANTING SOIL WITHIN AREAS OF UNCHANGED OR CUT GRADE

- NOTES:
- CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
 - RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
 - IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCESS OF THE PROJECT STATE ENVIRONMENTAL REVIEW AGENCY STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. IF APPLICABLE, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
 - CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.).
 - NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

PLANTING SOIL

NTS

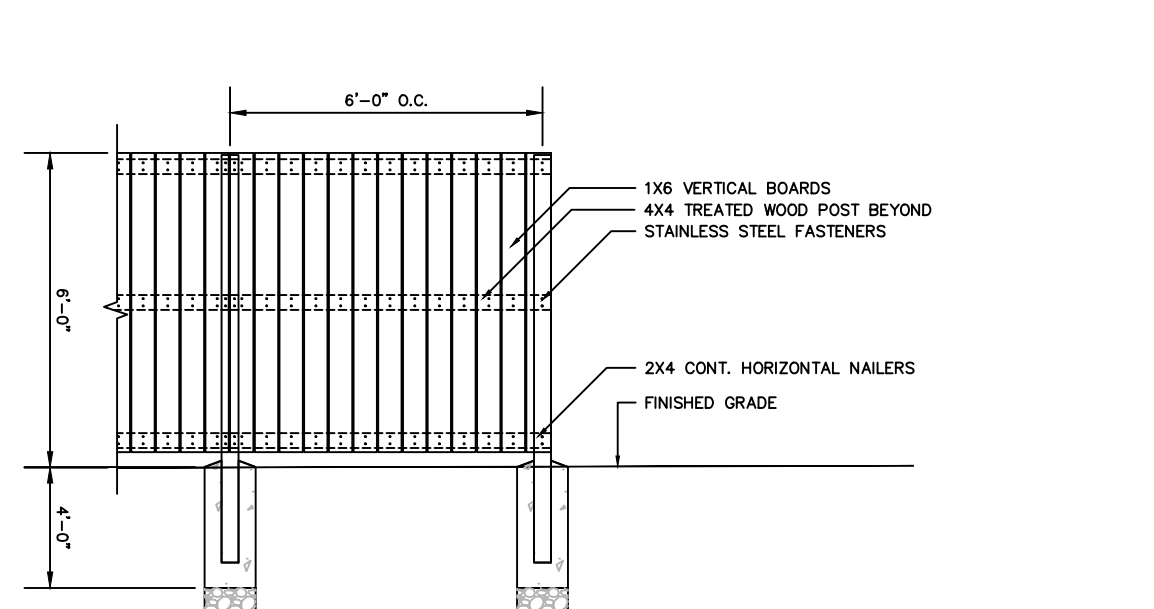


- NOTES:
- LANDSCAPE STEEL EDGE IS REQUIRED BETWEEN RIVERSTONE AND LAWN.
 - DO NOT INSTALL STEEL EDGE BETWEEN PLANTING AREAS.
 - RIVERSTONE TO BE INSTALLED WHEREVER PLANTS OR LAWN MEET BUILDING WALLS, AND UNDER BUILDING OVERHANGS WHERE SHOWN ON THE LANDSCAPE PLANS.

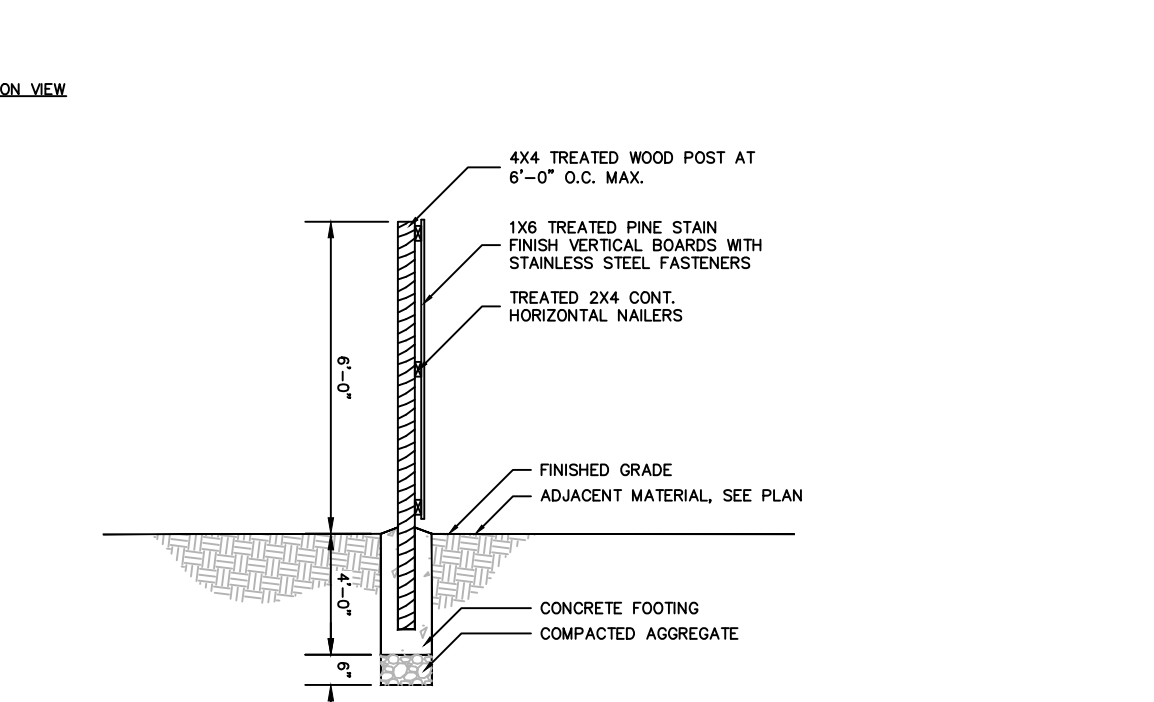
DECORATIVE RIVERSTONE

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ELEVATION VIEW



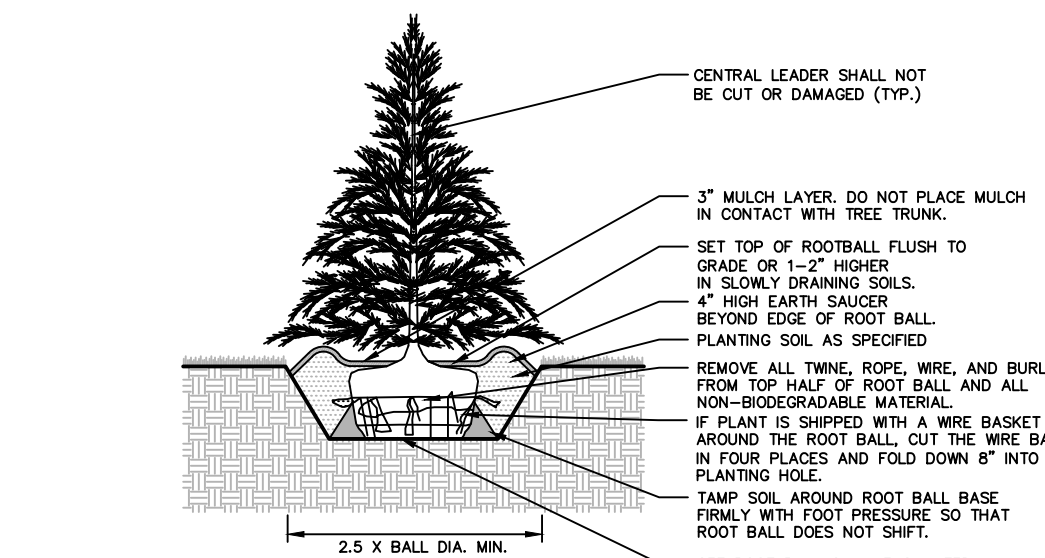
SECTION VIEW



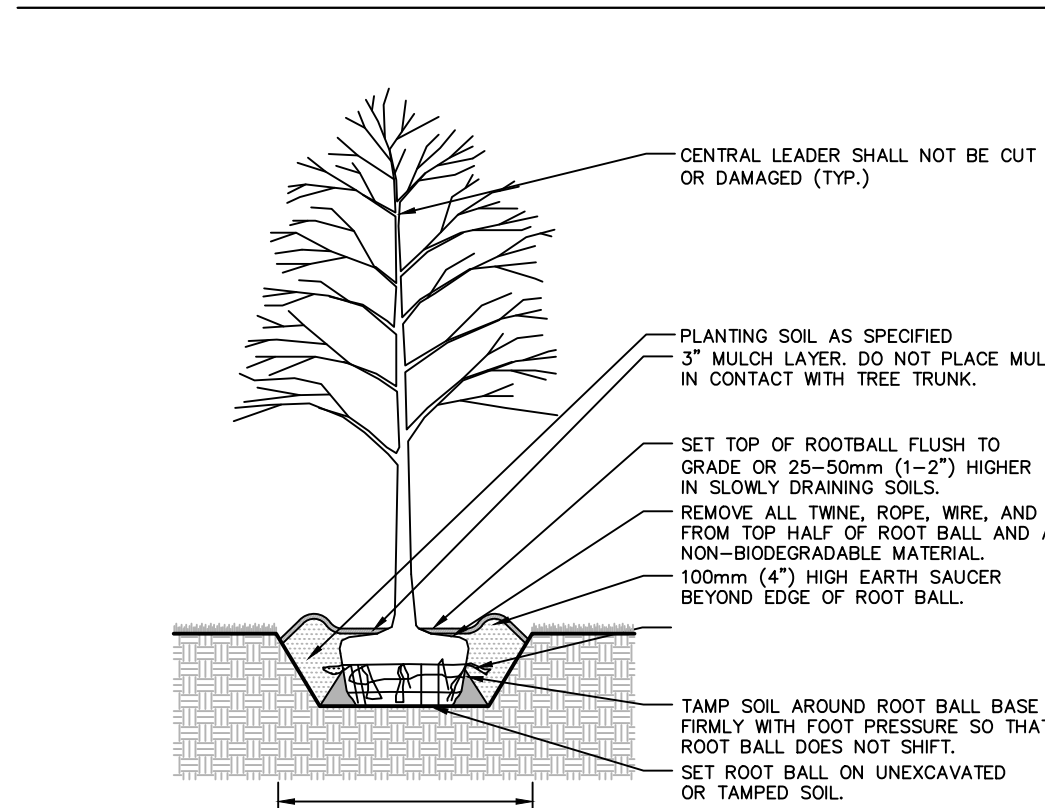
- NOTES:
- TURN DOWN SLAB BETWEEN WOOD POSTS
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION

WOOD FENCE AT TRANSFORMER

NTS

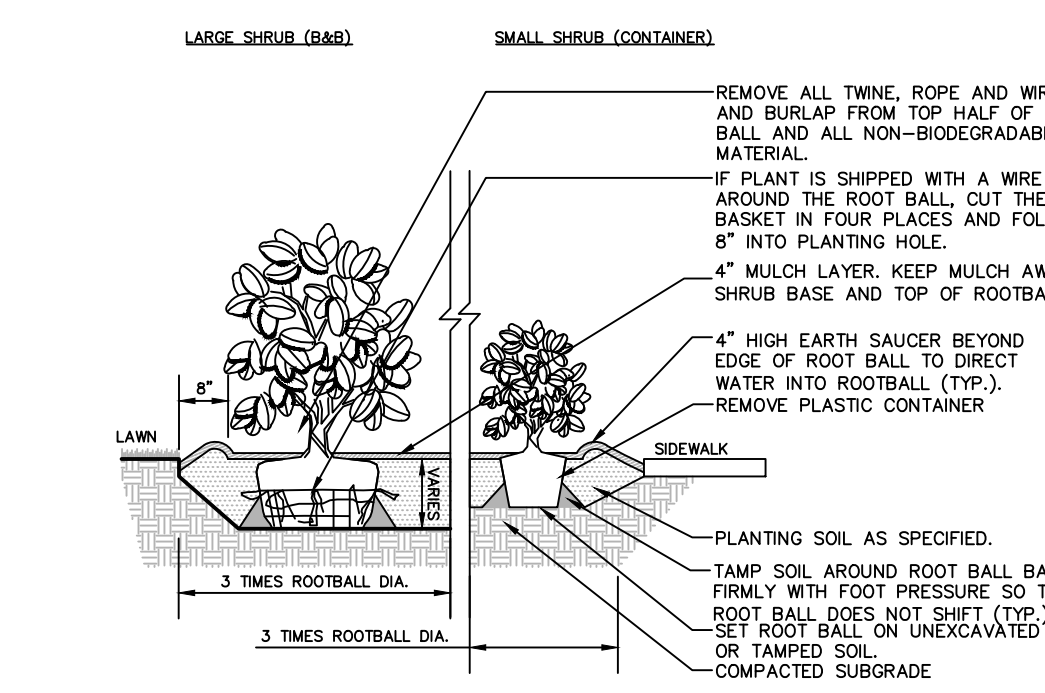


EVERGREEN TREE PLANTING



DECIDUOUS TREE PLANTING

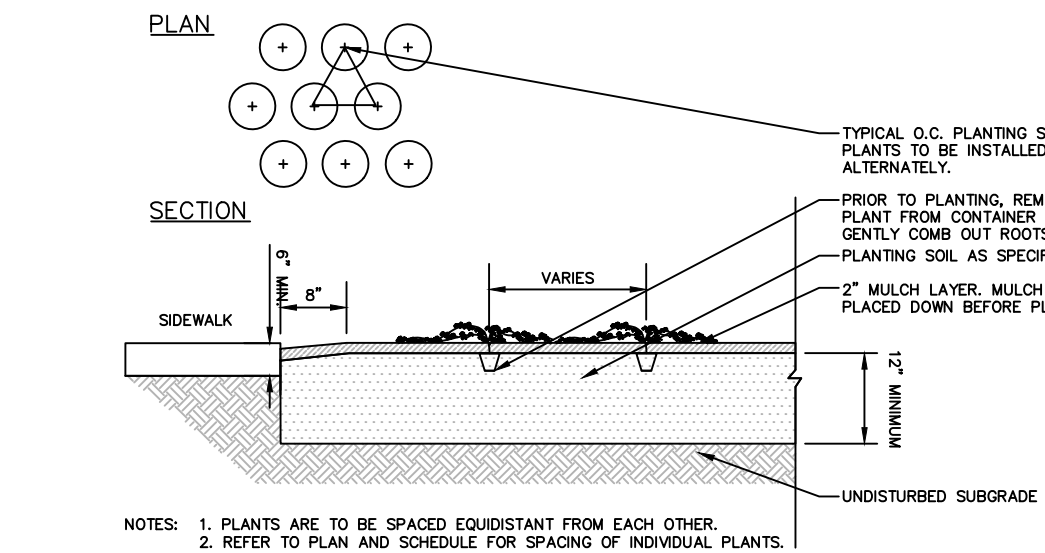
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- NOTES:
- ALL SHRUBS TO BE SET PLUMB.
 - REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.
 - REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

SHRUB PLANTING

NTS



- NOTES:
- PLANTS ARE TO BE SPACED EQUIDISTANT FROM EACH OTHER.
 - REFER TO PLAN AND SCHEDULE FOR SPACING OF INDIVIDUAL PLANTS.
 - REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

GROUNDCOVER / PERENNIAL PLANTING

NTS

DORE + WHITTIER

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LANGAN

STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH

30 FREEMAN STREET
STOUGHTON, MA 02072

PROJECT NUMBER:

SEAL AND SIGNATURE:



REVISIONS:

NO.	DATE	TITLE

ISSUE TITLE AND DATE:

RECORD SET 2024-12-02

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KEY PLAN



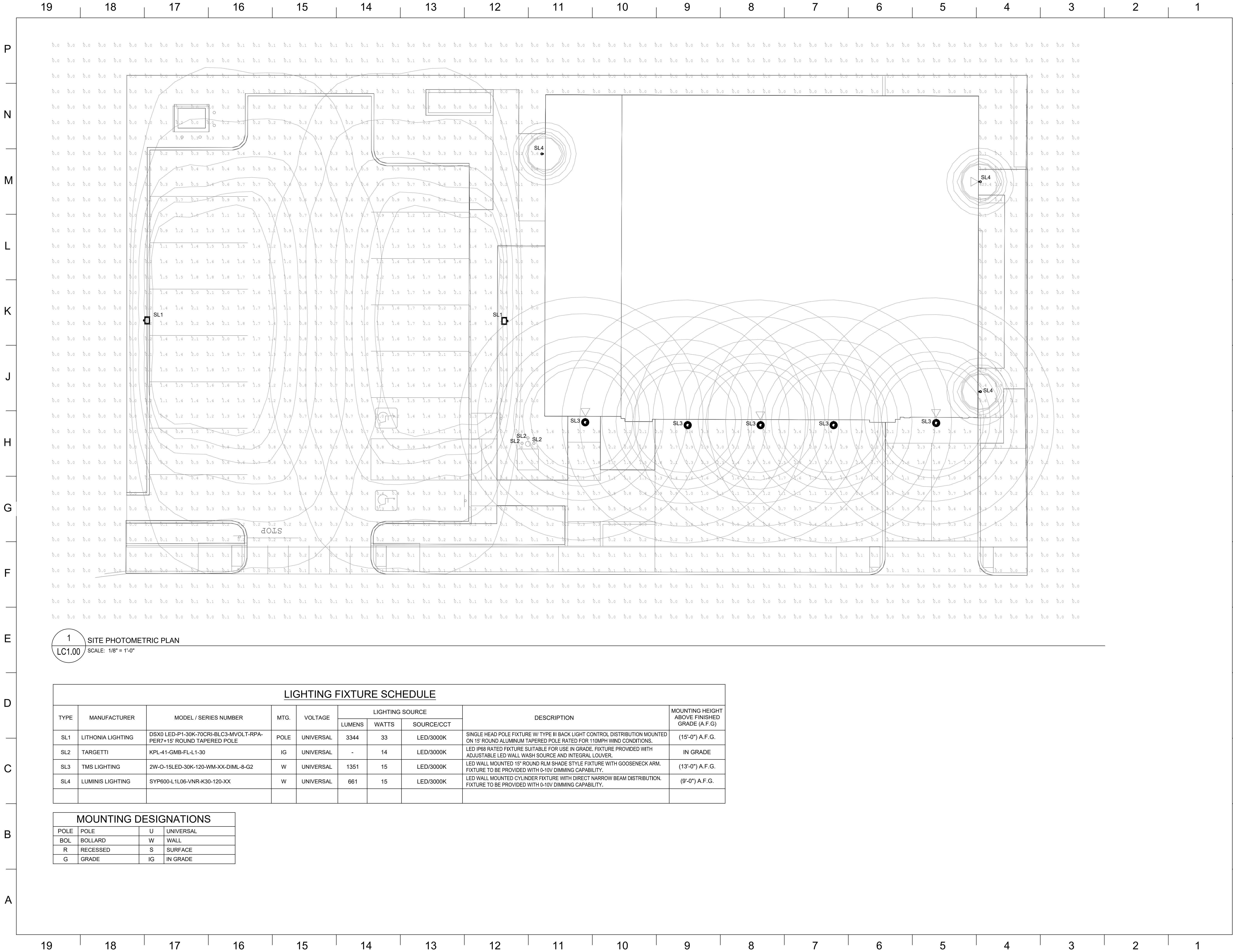
SHEET TITLE:

PLANTING NOTES & DETAILS

NTS

SHEET NUMBER:


LP501



1 SITE PHOTOMETRIC PLAN
LC1.00 SCALE: 1/8" = 1'-0"


LIGHTING FIXTURE SCHEDULE								
TYPE	MANUFACTURER	MODEL / SERIES NUMBER	MTG.	VOLTAGE	LIGHTING SOURCE			MOUNTING HEIGHT ABOVE FINISHED GRADE (A.F.G.)
					LUMENS	WATTS	SOURCE/CCT	
SL1	LITHONIA LIGHTING	DSX0 LED-P1-30K-70CRI-BLC3-MVOLT-RPA-PER7+15' ROUND TAPERED POLE	POLE	UNIVERSAL	3344	33	LED/3000K	SINGLE HEAD POLE FIXTURE W/ TYPE III BACK LIGHT CONTROL DISTRIBUTION MOUNTED ON 15' ROUND ALUMINUM TAPERED POLE RATED FOR 110MPH WIND CONDITIONS.
SL2	TARGETTI	KPL-41-GMB-FL-L1-30	IG	UNIVERSAL	-	14	LED/3000K	LED IP68 RATED FIXTURE SUITABLE FOR USE IN GRADE. FIXTURE PROVIDED WITH ADJUSTABLE LED WALL WASH SOURCE AND INTEGRAL LOUVER.
SL3	TMS LIGHTING	2W-O-15LED-30K-120-WM-XX-DIMML-8-G2	W	UNIVERSAL	1351	15	LED/3000K	LED WALL MOUNTED 15' ROUND RLM SHADE STYLE FIXTURE WITH GOOSENECK ARM. FIXTURE TO BE PROVIDED WITH 0-10V DIMMING CAPABILITY.
SL4	LUMINIS LIGHTING	SYP600-L1L06-VNR-K30-120-XX	W	UNIVERSAL	661	15	LED/3000K	LED WALL MOUNTED CYLINDER FIXTURE WITH DIRECT NARROW BEAM DISTRIBUTION. FIXTURE TO BE PROVIDED WITH 0-10V DIMMING CAPABILITY.

MOUNTING DESIGNATIONS			
POLE	POLE	U	UNIVERSAL
BOL	BOLLARD	W	WALL
R	RECESSED	S	SURFACE
G	GRADE	IG	IN GRADE



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STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH

30 FREEMAN STREET
STOUGHTON, MA 02072

PROJECT NUMBER: **19-0796**

SEAL AND SIGNATURE:

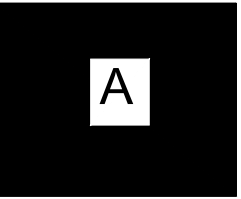
REVISIONS:

NO.	DATE	TITLE

ISSUE TITLE AND DATE:
RECORD SET 2024-12-02

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KEY PLAN

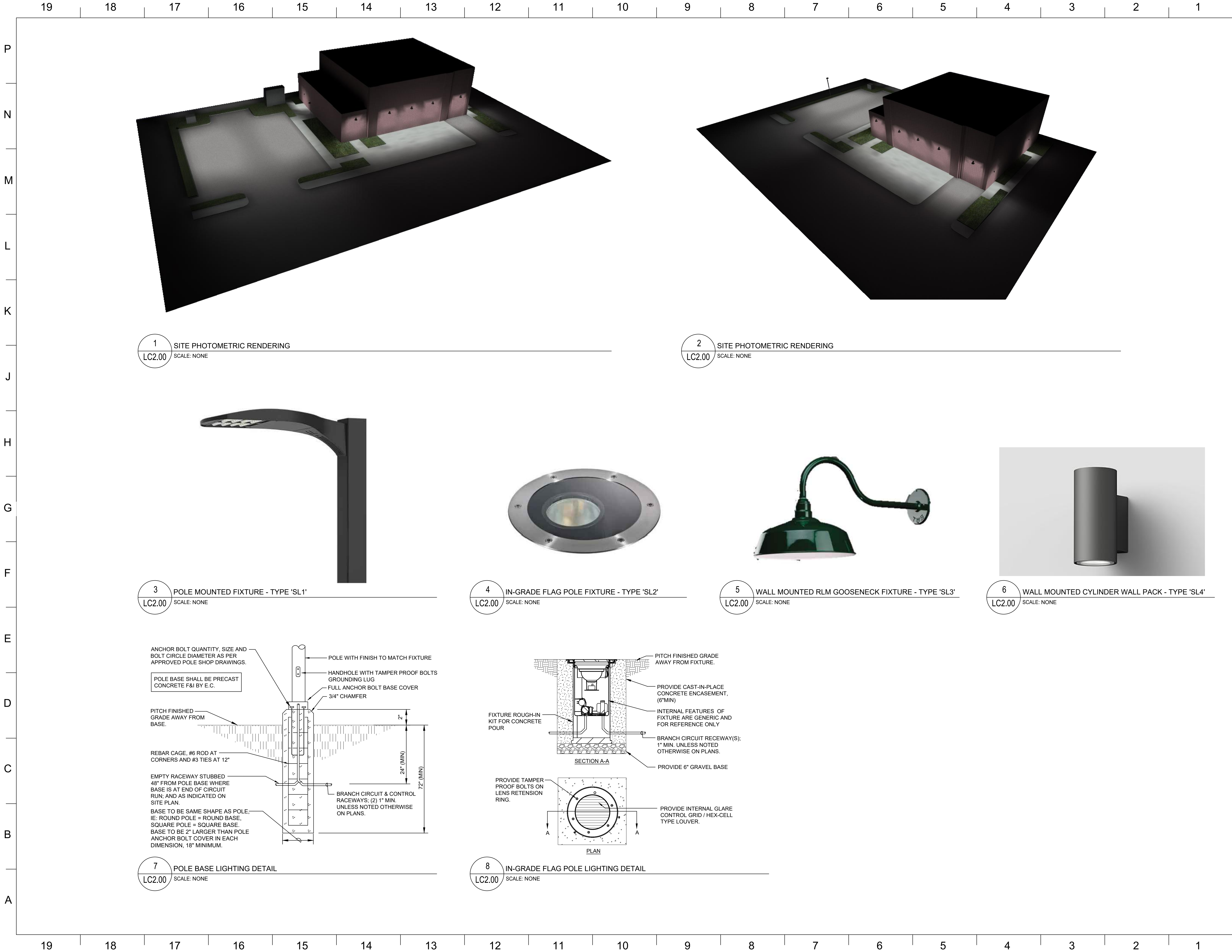


ORIENTATION AND SCALE:

PROJECT NORTH SCALE: AS INDICATED

SHEET TITLE:
PHOTOMETRIC PLAN

SHEET NUMBER:
LC1.00



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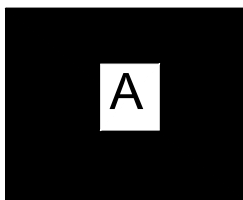
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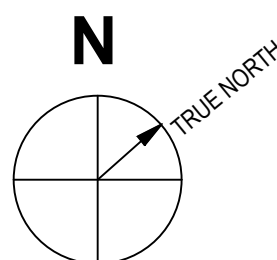
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KEY PLAN



ORIENTATION AND SCALE:



PROJECT NORTH SCALE: AS INDICATED

SHEET TITLE:
**PHOTOMETRIC
RENDERING
AND DETAILS**

SHEET NUMBER:

LC2.00