



# STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH

30 FREEMAN STREET  
STOUGHTON, MA 02072

## OWNER

TOWN OF STOUGHTON  
10 PEARL STREET  
STOUGHTON, MA 02072  
P: 781.341.1300  
F: 781.232.9295

## OWNER'S PROJECT MANAGER

POMEROY ASSOCIATES  
49 BEDFORD STREET  
P.O. BOX 445  
EAST BRIDGEWATER, MA 02333  
P: 508.456.4232

## ARCHITECT

DORE & WHITTIER ARCHITECTS, INC.  
260 MERRIMAC STREET  
BUILDING 7, 2nd FLOOR  
NEWBURYPORT, MA 01950  
P: 978.499.2999  
F: 978.499.2944

212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428  
F: 802.863.6955

## CIVIL CONSULTANT

NITSCH ENGINEERING, INC.  
2 CENTER PLAZA, SUITE 430  
BOSTON, MA 02108  
P: 617.338.0063  
F: 617.338.6472

## MEPFP CONSULTANT

GARCIA GALUSKA DeSUSA, INC.  
370 FAUNCE CORNER ROAD  
DARTMOUTH, MA 02747  
P: 508.998.5700  
F: 508.998.0883

## STRUCTURAL CONSULTANT

ENGINEERS DESIGN GROUP, INC.  
350 MAIN ST., FLOOR 2  
MALDEN, MA 02148  
P: 781.396.9007  
F: 781.396.9008

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
GENERAL G0.00 GC1.10 GC1.20	COVER SHEET: CODE PLANS - BASEMENT AND LEVEL 1 CODE PLAN - LEVEL 2	A7.50	STAIR RAILING DETAILS	M3.01	HVAC DETAILS I
CIVIL C000 C100	NOTES, LEGEND & ABBREVIATIONS SITE EROSION & SEDIMENTATION CONTROL PLAN	A7.51	STAIR DETAILS	M3.02	HVAC DETAILS II
C200 C300 C400 C500 C600 C601 C602 C603 C604	SITE DEMOLITION PLAN SITE GRADING PLAN SITE LAYOUT PLAN SITE UTILITY PLAN CIVIL DETAILS CIVIL DETAILS I CIVIL DETAILS II CIVIL DETAILS III CIVIL DETAILS IV	A7.52	ELEVATOR DETAILS	M3.03	HVAC DETAILS III
STRUCTURAL S0.01 S0.02 S0.03 S0.04 S0.05 S0.06 S1.10 S1.20 S1.30 S1.40 S2.01 S3.01 S4.01 S5.01	GENERAL NOTES TYPICAL DETAILS TYPICAL DETAILS TYPICAL DETAILS TYPICAL DETAILS TYPICAL DETAILS BASEMENT LEVEL PLAN LEVEL 1 FLOOR PLAN LEVEL 2 FLOOR PLAN ROOF PLAN SECTIONS SECTIONS SECTIONS TRUSS ELEVATIONS TRUSS DETAILS	A8.10	DOOR & WINDOW SCHEDULE & DOOR TYPES	M4.01	HVAC CO.
A1.10 A1.20 A1.30 A1.40 A1.50 A1.60 A1.70 A2.10 A2.20 A2.30 A2.40 A2.50 A2.60 A2.70 A3.10 A3.20 A3.30 A3.40 A3.50 A3.60 A3.70 A4.10 A4.20 A4.30 A4.40 A4.50 A4.60 A4.70 A5.10 A5.20 A5.30 A5.40 A5.50 A5.60 A5.70 A6.10 A6.20 A6.30 A6.40 A6.50 A6.60 A6.70 A6.80 A6.90 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42 A6.44 A6.46 A6.48 A6.50 A6.52 A6.54 A6.56 A6.58 A6.60 A6.62 A6.64 A6.66 A6.68 A6.70 A6.72 A6.74 A6.76 A6.78 A6.80 A6.82 A6.84 A6.86 A6.88 A6.90 A6.92 A6.94 A6.96 A6.98 A6.10 A6.12 A6.14 A6.16 A6.18 A6.20 A6.22 A6.24 A6.26 A6.28 A6.30 A6.32 A6.34 A6.36 A6.38 A6.40 A6.42					

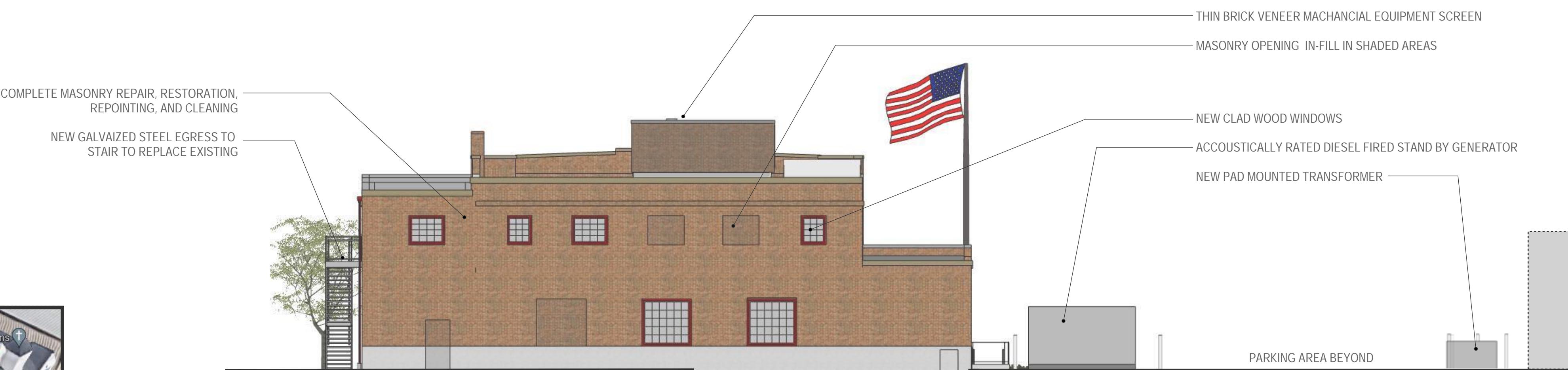




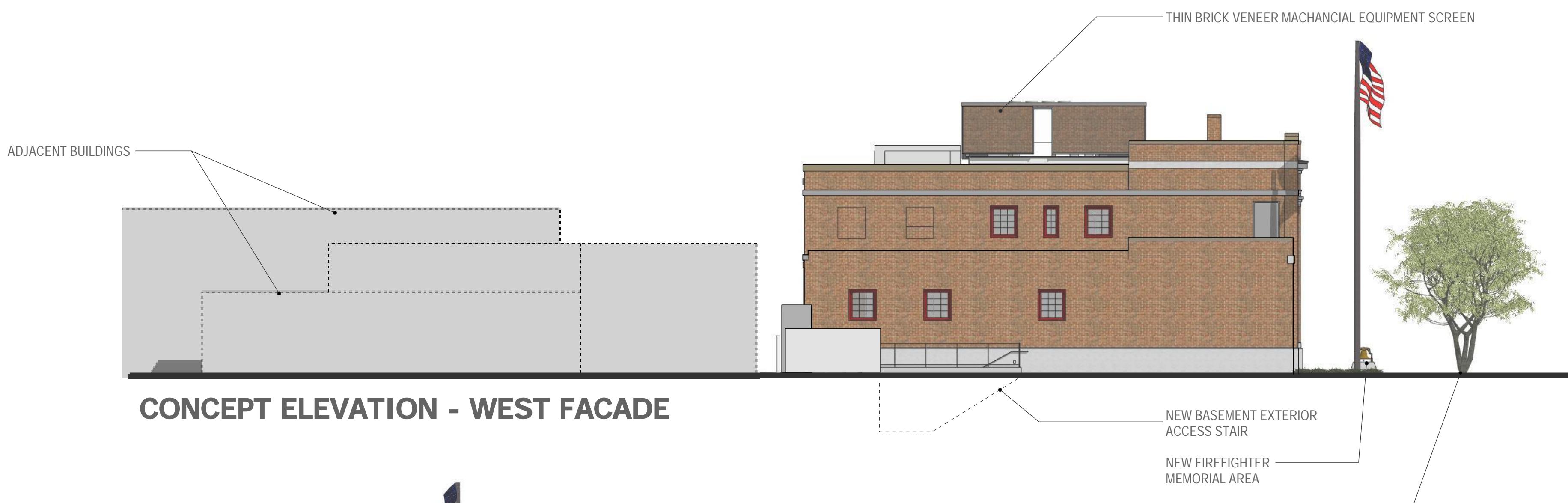
GOOGLE AERIAL - VIEW FROM SOUTH OF EXST. CONDITIONS



3D RENDERING - CONCEPT VIEW FROM SOUTH



CONCEPT ELEVATION - REAR FACADE



CONCEPT ELEVATION - WEST FACADE

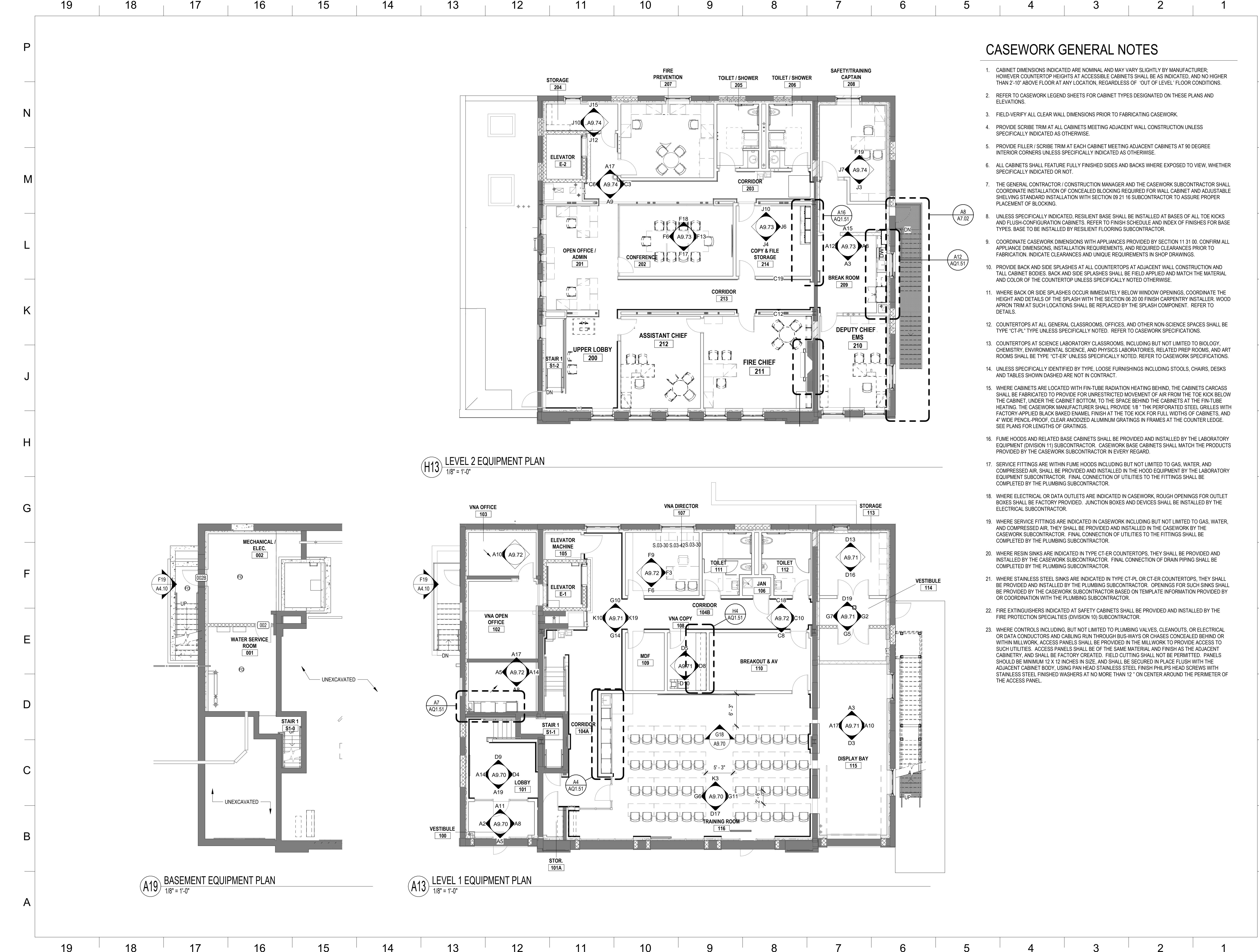


CONCEPT ELEVATION - EAST FACADE



CONCEPT ELEVATION - FRONT FACADE

**RECORD SET 2024-12-02**



**dw**  
**DORE + WHITTIER**

**MASSACHUSETTS**  
260 MERRIMAC ST, BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999

**VERMONT**  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

**STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH**

**J** 30 FREEMAN STREET  
STOUGHTON, MA 02072

PROJECT NUMBER: **19-0796**

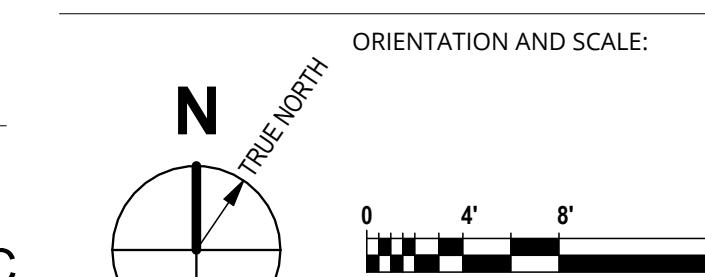
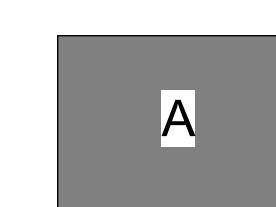
SEAL AND SIGNATURE:

REVISIONS:		
NO.	DATE	TITLE

**ISSUE TITLE AND DATE:**  
**RECORD SET 2024-12-02**

COPYRIGHT © 2020 by Dore & Whittier Architects, Inc. (D-W). These documents are D-W's instruments of service and as such, D-W retains all copyrights, common law, and statutory rights. Use of these documents without D-W's express written permission will result in copyright infringement.

KEY PLAN



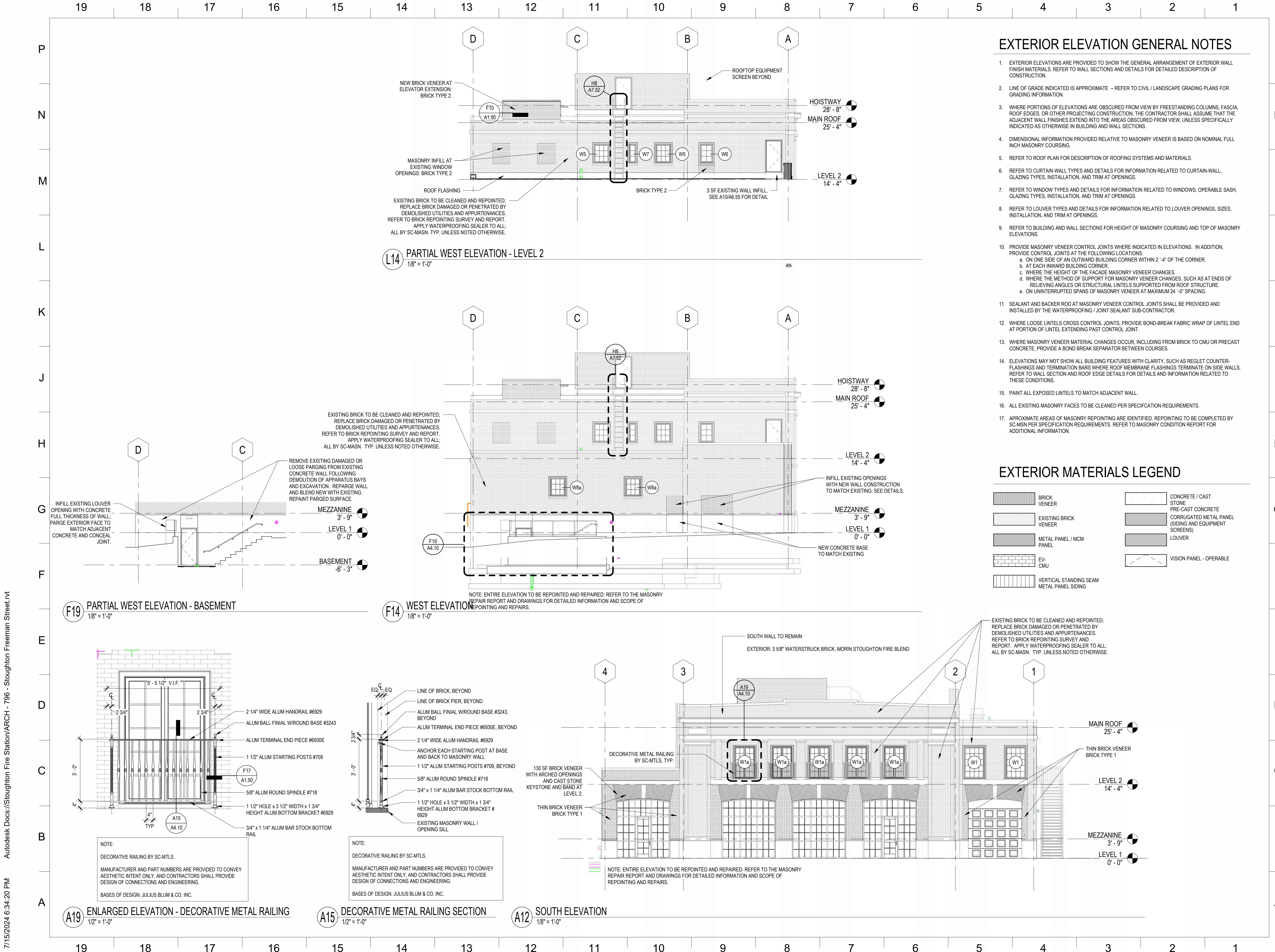
**PROJECT NORTH**

Sheet Title:

**FLOOR PLANS**

SHEET NUMBER:

**AQ1.10**



**dw**  
**DORE + WHITTIER**

**MASSACHUSETTS**  
260 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999

**VERMONT**  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

**STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH**

**30 FREEMAN STREET**  
**STOUGHTON, MA 02072**

**PROJECT NUMBER:**  
**19-0796**

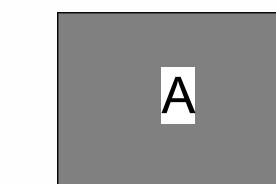
**SEAL AND SIGNATURE:**

**ISSUE TITLE AND DATE:**

**RECORD SET 2024-12-02**

**COPYRIGHT © 2020 by Dore + Whittier Architects, Inc. (D+W). These documents are D+W's instruments of record and are protected by copyright laws. All rights reserved. Any unauthorized copying or use of these documents without D+W's express written permission will result in copyright infringement.**

**KEY PLAN**



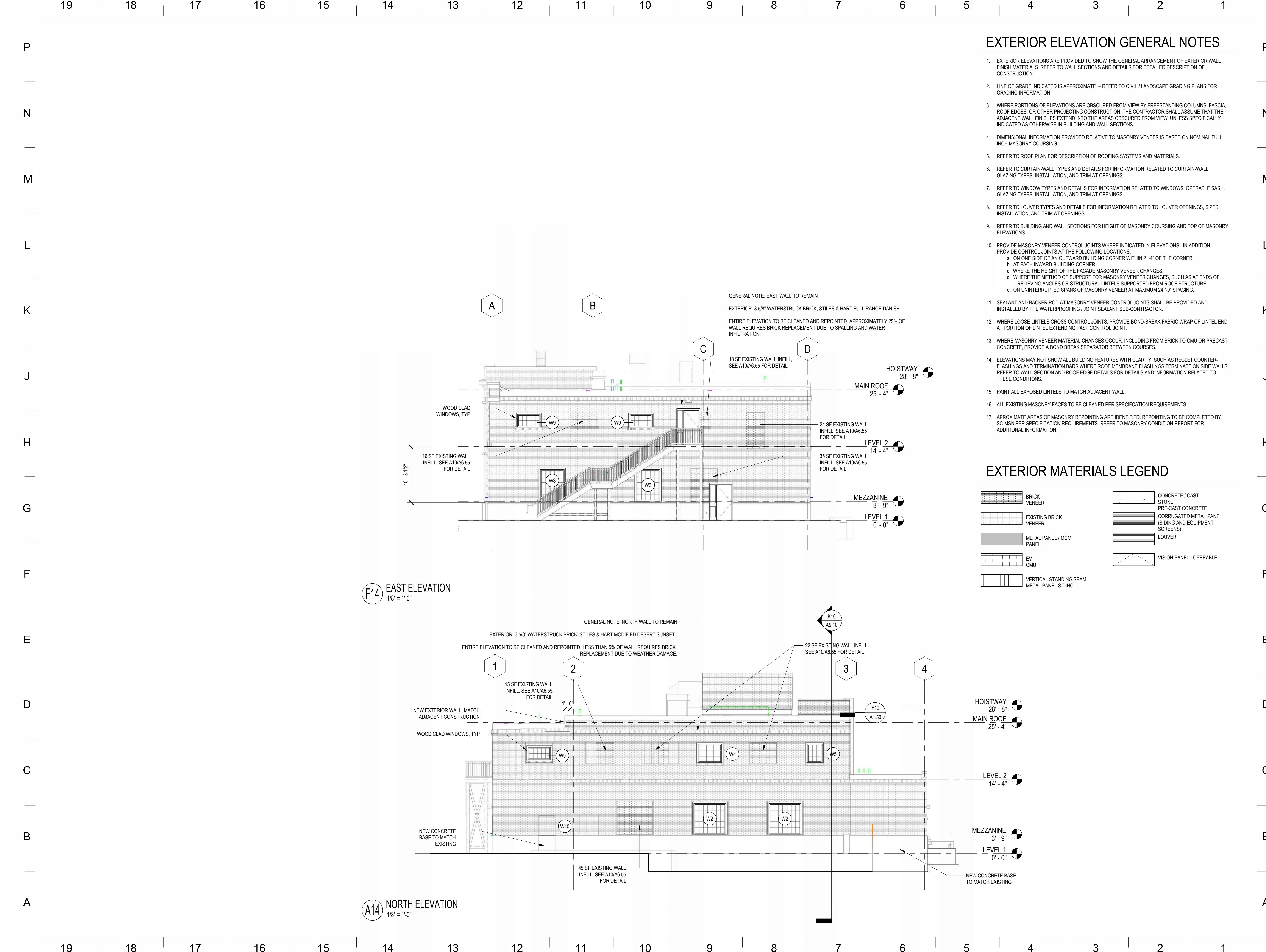
**ORIENTATION AND SCALE:**

**SCALE: AS INDICATED**

**SHEET TITLE:**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER:**

**A4.10**



**dw**  
**DORE + WHITTIER**

**MASSACHUSETTS**  
260 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999

**VERMONT**  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

**STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH**

**J** 30 FREEMAN STREET  
STOUGHTON, MA 02072  
PROJECT NUMBER: **19-0796**  
SEAL AND SIGNATURE:

**H**

**G** REVISIONS:  
NO. DATE TITLE

**F**

**E** ISSUE TITLE AND DATE:  
**RECORD SET 2024-12-02**  
COPYRIGHT © 2020 by Dore & Whittier Architects, Inc (D+W). These documents are D+W's instruments of record and are protected by copyright laws. Any unauthorized copying or distribution without D+W's express written permission will result in copyright infringement.

**D** KEY PLAN  
A

**C** ORIENTATION AND SCALE:  
0 4' 8' 16'  
SCALE: 1/8"=1'-0" GRAPHIC SCALE

**B** SHEET TITLE:  
**EXTERIOR ELEVATIONS**

**A** SHEET NUMBER:  
**A4.11**

19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

**DEMOLITION NOTES:**

1. SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.
2. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.
5. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS REQUIRED TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OF OFFSITE BY CONTRACTOR.
6. UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT THEIR ENDS WITH WATERPROOF BRICK MASONRY OR CEMENT MORTAR WITH A MINIMUM THICKNESS OF 8 INCHES.
7. UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
8. UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED, INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
9. UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
10. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAYS ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
12. EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.
14. REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURB, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.
15. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT.
16. BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
17. THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.

**UTILITY NOTES:**

1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVICING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.
4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
5. GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS.
6. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET COVER FROM THE FINAL DESIGN GRADES.
8. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10-FEET ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR GAS UTILITY SYSTEMS.
11. ALL ONSITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
12. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.
13. ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.

**EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
4. SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
5. AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
6. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ABUTTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK FROM EROSION CONDITIONS. STRAW BALE, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MAXIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT, WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
9. ALL STOCK PILES SHALL BE PROTECTED AND LOCATED A MINIMUM OF 100' FROM EXISTING WETLAND RESOURCE AREAS & WITHIN THE LIMIT OF WORK.
10. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEP AT THE END OF EACH WORKING DAY.
11. ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFFSITE.
12. TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENUDED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
13. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
14. THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION, BUT ONLY WHEN DIRECTED BY THE TOWN OF STOUGHTON. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

**GENERAL NOTES:**

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN ENTITLED "PLAN OF EXISTING CONDITIONS", PREPARED BY RIVERHAWK LAND SURVEY, DATED 10/26/2022.
2. FLOODPLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) NO. 25021C0213E. THE SITE IS IN ZONE X.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
4. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO KNOWN AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
6. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSCH ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
9. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO NOTIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
11. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
13. ELEVATIONS REFER TO NAVD88.
14. FOR SOIL INFORMATION REFER TO GEOTECHNICAL REPORT.

**PROPOSED LEGEND**

— LIMIT OF WORK  
 // // EXISTING UTILITY TO BE ABANDONED, REMOVED AND DISPOSED IF IN CONFLICT WITH NEW SITE IMPROVEMENTS, OR AS INDICATED ON DRAWINGS  
 —○— CONSTRUCTION FENCE  
 —x— x— CONSTRUCTION FENCE  
 —W— DOMESTIC WATER PIPE  
 —FP— FIRE PROTECTION PIPE  
 —S— SANITARY SEWER PIPE  
 —SFM— SEWER FORCE MAIN PIPE  
 —DFM— DRAIN FORCE MAIN PIPE  
 —D— STORM DRAIN PIPE  
 —G— GAS PIPE  
 —E— ELECTRIC DUCTBANK  
 —T/C— TELECOM DUCTBANK  
 —CW— CHILLED WATER PIPE  
 —STM— STEAM PIPE  
 —CR— CONDENSATE RETURN PIPE  
 —HW— HOT WATER PIPE/RETURN  
 —HHW— HEATING HOT WATER  
 —RW— REUSE WATER PIPE  
 —GW— GREY WATER PIPE  
 —X— FUTURE UTILITY, SHOWN FOR INFORMATION ONLY  
 ○ INLET PROTECTION  
 — ELEVATION CONTOURS  
 — MATCH LINE  
 — CENTERLINE

**ABBREVIATIONS**

AB ACCESS BASIN  
 AD AREA DRAIN  
 BC BOTTOM OF CURB ELEVATION  
 BW BOTTOM OF WALL ELEVATION  
 CB CATCH BASIN  
 CCB CAPE COD BERM  
 CI CAST IRON  
 CJ CONTROL JOINT  
 CL CENTER LINE  
 CO CLEANOUT  
 COP CENTER OF PIPE  
 CLDI CEMENT LINED DUCTILE IRON PIPE  
 CP CARRIER PIPE  
 CPP CORRUGATED POLYETHYLENE PIPE  
 DCB DOUBLE CATCH BASIN  
 DMH DRAIN MANHOLE  
 EHH ELECTRIC HANHOLE  
 EJ EXPANSION JOINT  
 EMH ELECTRIC MANHOLE  
 FD FOUNDATION DRAIN  
 FFE FINISHED FLOOR ELEVATION  
 HP HIGH POINT  
 HYD FIRE HYDRANT  
 INV INVERT ELEVATION  
 LF LINEAR FEET  
 LOW LIMIT OF WORK  
 LP LOW POINT  
 LW LAB WASTE  
 M&P MAINTAIN AND PROTECT  
 NIC NOT IN CONTRACT  
 OC ON CENTER  
 OCS OUTLET CONTROL STRUCTURE  
 PD PERIMETER DRAIN  
 PERF PERFORATED  
 PVC POLYVINYL CHLORIDE PIPE  
 R&D REMOVE AND DISPOSE  
 RDS REMOVE AND STOCKPILE  
 RD ROOF DRAIN  
 RIM RIM ELEVATION  
 SMH SEWER MANHOLE  
 SS SEWER SERVICE  
 TC TOP OF CURB ELEVATION  
 TW TOP OF WALL ELEVATION  
 THH TELECOM HANHOLE  
 TMH TELECOM MANHOLE  
 TOP TOP OF PIPE  
 TOD TOP OF DUCT BANK  
 TYP TYPICAL  
 UD UNDERDRAIN  
 USD UNDERSLAB DRAIN  
 VGC VERTICAL GRANITE CURB  
 WQI WATER QUALITY INLET  
 WQS WATER QUALITY STRUCTURE  
 WV WATER VALVE

**P** **dw**  
**N** **DORE + WHITTIER**  
 MASSACHUSETTS  
 260 MERRIMAC ST, BUILDING 7, 2ND FLOOR  
 NEWBURYPORT, MA 01950  
 P: 978-499-2999

**M** **VERMONT**  
 212 BATTERY STREET  
 BURLINGTON, VT 05401  
 P: 802.863.1428

**Nitsch Engineering**

**STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH**

**J** 30 FREEMAN STREET  
 STOUGHTON, MA 02072

PROJECT NUMBER:

**19-0796**

SEAL AND SIGNATURE:  
  
 8/27/2024

REVISIONS:  
 NO. DATE TITLE  
 1 8/14/2024 RESPONSE TO COMMENTS  
 2 8/27/2024 RESPONSE TO COMMENTS

ISSUE TITLE AND DATE:  
**RECORD SET 2024-12-02**

COPYRIGHT © 2020 by Dore & Whittier Architects, Inc. (D+W). These documents are D+W's instruments of service and as such, D+W retains all copyrights, common law, and statutory rights. Use of these documents without D+W's express written permission will result in copyright infringement.

KEY PLAN

**A**

ORIENTATION AND SCALE:  
 N NORTH  
 C PROJECT NORTH

SHEET TITLE:  
**NOTES, LEGEND & ABBREVIATIONS**

SHEET NUMBER:

**CO.00**

**dw**  
DREI WÜTTIER

**SSACHUSETTS**  
1 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
WBUURYPORT, MA 01950  
78-499-2999

**ARMONT**  
1 BATTERY STREET  
ARLINGTON, VT 05401  
02.863.1428

# TOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH

10 FREEMAN STREET  
TAUGHTON, MA 02072

The seal is circular with a serrated outer edge. The words "COMMONWEALTH OF MASSACHUSETTS" are at the top, "MARISSA JEAN VALENTINO" are in the center, "CIVIL" is below that, "No. 53354" is to the left, and "REGISTERED" and "PROFESSIONAL ENGINEER" are at the bottom. A handwritten signature "mvalentino" is written across the bottom of the seal. The date "8/27/2023" is printed at the bottom right.

---

ISIONS:

D.	DATE	TITLE
1	8/14/2024	RESPONSE TO COMMENTS
2	8/27/2024	RESPONSE TO COMMENTS

---

UE TITLE AND DATE:

**ECORD SET 2024-12-02**

IGHT © 2020 by Dore & Whittier Architects, Inc. (D+W). These documents are D+W's instruments and as such, D+W retains all copyrights, common law, and statutory rights. Use of these documents without D+W's express written permission will result in copyright infringement.

A large black rectangle is centered on the page. Inside the rectangle, towards the bottom center, is a white letter 'A'.

## ORIENTATION AND SCALE:

---

SET TITLE:

# SITE EROSION & SEDIMENTATION CONTROL PLAN

---

CKET NUMBER:  
**C1.00**

dw

**SACHUSETTS**  
MERRIMAC ST. BUILDING 7, 2ND FLOOR  
BURYPORT, MA 01950  
8-499-2999

**MONT**  
BATTERY STREET  
LINGTON, VT 05401  
2.863.1428

Nitsch Engineering

# TOUGHTON FIRE HEADQUARTERS PUBLIC HEALTH

FREEMAN STREET  
OUGHTON, MA 02072

NUMBER: 19-0796

GNATURE: *Mariissa Jean Valentino*

MASSACHUSETTS  
CIVIL  
No. 53354  
REGISTERED  
PROFESSIONAL ENGINEER

8/27/2024

---

DATE	TITLE
14/2024	RESPONSE TO COMMENTS
27/2024	RESPONSE TO COMMENTS

---

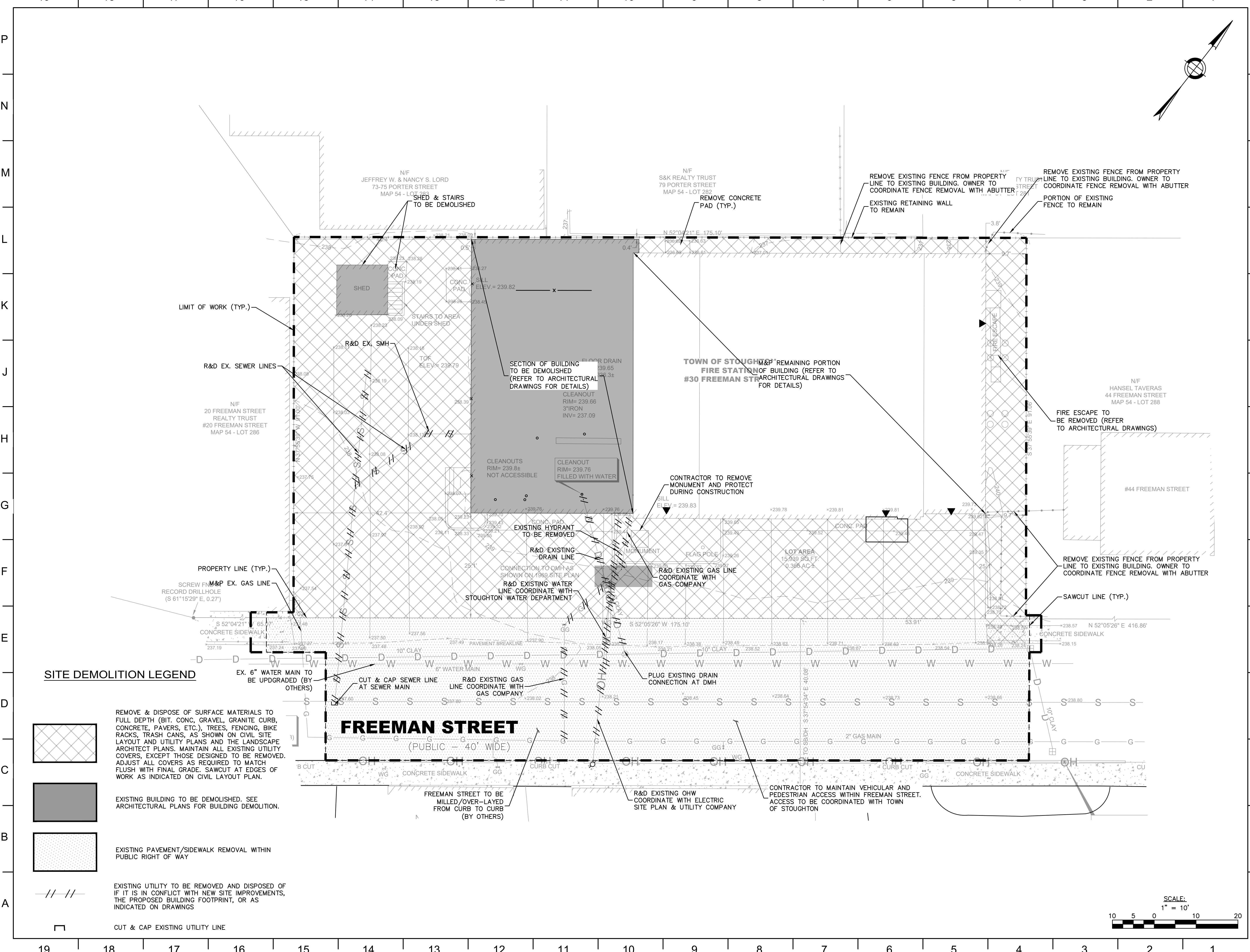
IT © 2020 by Dore & Whittier Architects, Inc. (D+W). These documents are D+W's instruments and as such, D+W retains all copyrights, common law, and statutory rights. Use of these documents without D+W's express written permission will result in copyright infringement.

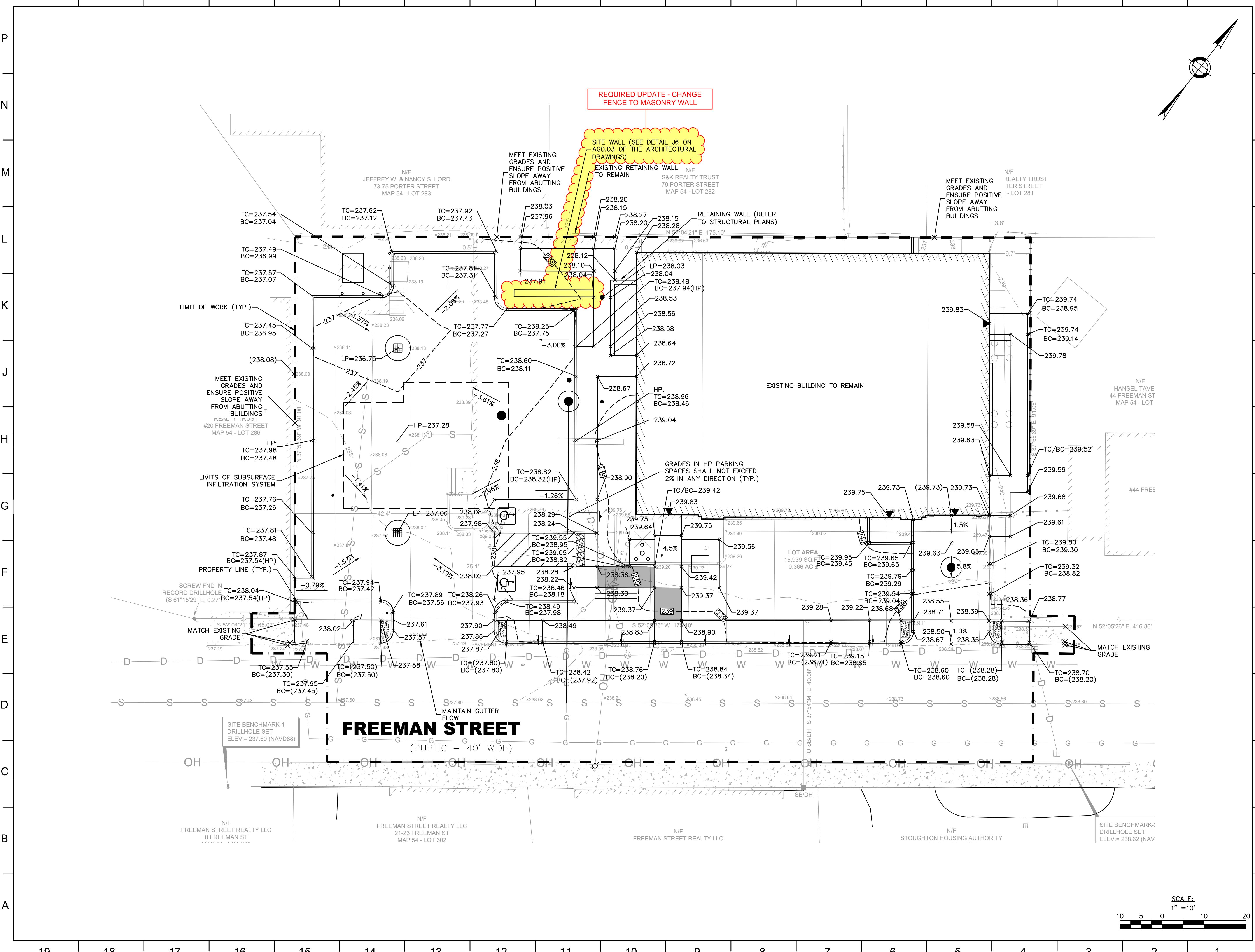
LAN

---

ST TITLE:  
**TE DEMOLITION  
PLAN**

ART NUMBER: **C2.00**





**dw**  
**DORE + WHITTIER**

**MASSACHUSETTS**  
260 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999

**VERMONT**  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

**Nitsch Engineering**

**STOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH**

**30 FREEMAN STREET**  
STOUGHTON, MA 02072

**PROJECT NUMBER:**

**19-0796**

**SEAL AND SIGNATURE:**

**MASSACHUSETTS**  
COMMONWEALTH OF MASSACHUSETTS  
MARISSA JEAN VALENTINO  
NO. 53354  
PROFESSIONAL ENGINEER  
11/22/2024

**REVISIONS:**

NO.	DATE	TITLE
1	8/14/2024	RESPONSE TO COMMENTS
2	8/27/2024	RESPONSE TO COMMENTS

**ISSUE TITLE AND DATE:**

**RECORD SET 2024-12-02**

**KEY PLAN**

**A**

**ORIENTATION AND SCALE:**

**N**  
TRUE NORTH

**PROJECT NORTH**

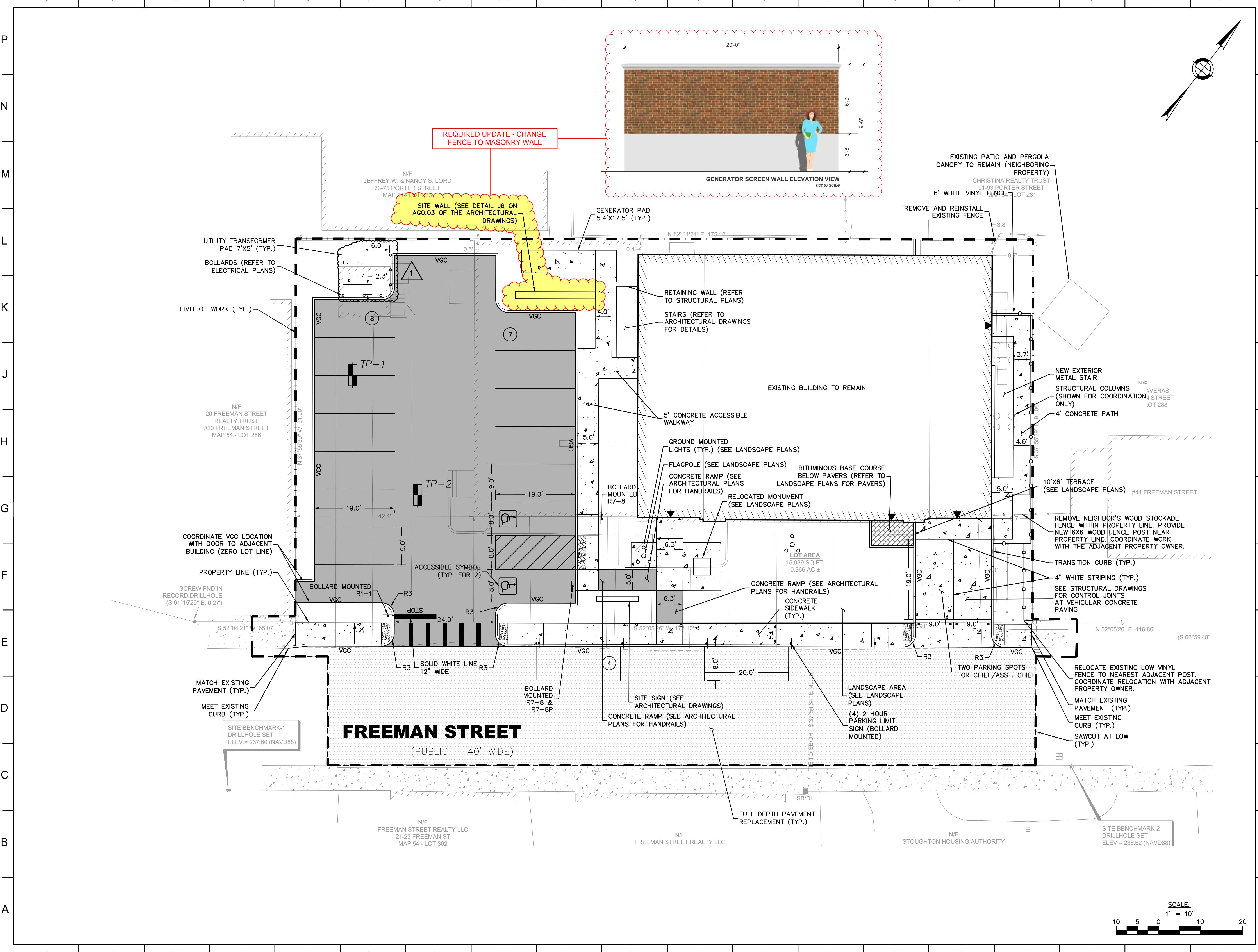
**SHEET TITLE:**

**SITE GRADING**

**PLAN**

**SHEET NUMBER:**

**C3.00**



**dw**  
CORE L. WHITTIER

**SSACHUSETTS**  
1 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
WBUURYPORT, MA 01950  
78-499-2999

**BRMONT**  
1 BATTERY STREET  
ARLINGTON, VT 05401  
02.863.1428

# TOUGHTON FIRE HEADQUARTERS & PUBLIC HEALTH

10 FREEMAN STREET  
TAUGHTON MA 02072

ER: 19-0796

The image shows a circular professional engineer license seal. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "REGISTERED" at the bottom. The inner circle contains "MARISSA JEAN" on top, "VALENTINO" in the center, "CIVIL" below that, "No. 53354" to the left, and "PROFESSIONAL ENGINEER" at the bottom. A handwritten signature "mvalentino" is written across the bottom of the seal. In the bottom right corner, there is a date stamp "11/22/2024".

ISIONS:		
D.	DATE	TITLE
	8/14/2024	RESPONSE TO COMMENTS
2	8/27/2024	RESPONSE TO COMMENTS
5	11/19/2024	TRANSFORMER PAD

UE TITLE AND DATE:

**RIGHT** © 2020 by Dore & Whittier Architects, Inc. (D+W). These documents are D+W's instruments and as such, D+W retains all copyrights, common law, and statutory rights. Use of these documents without D+W's express written permission will result in copyright infringement.

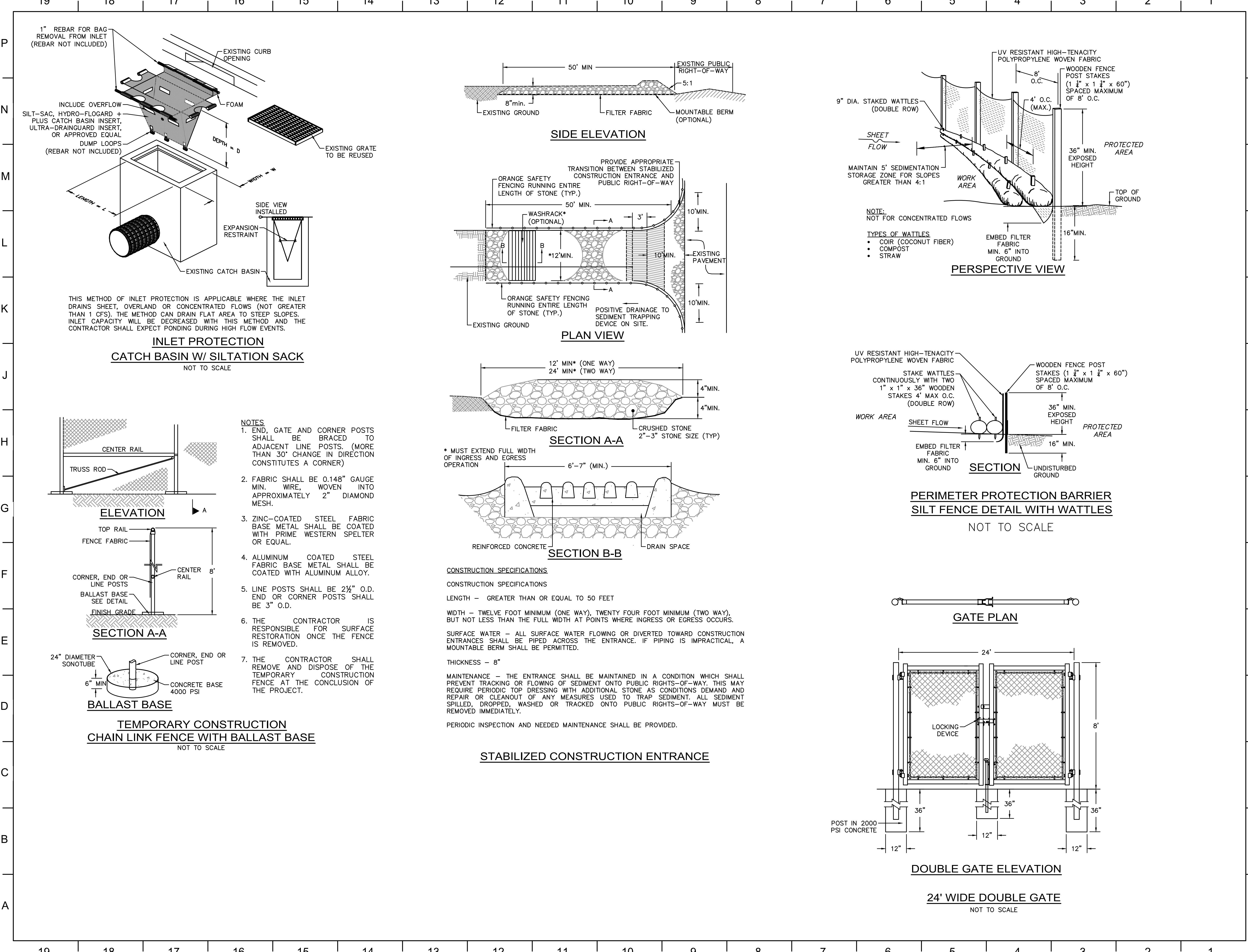
PLAN

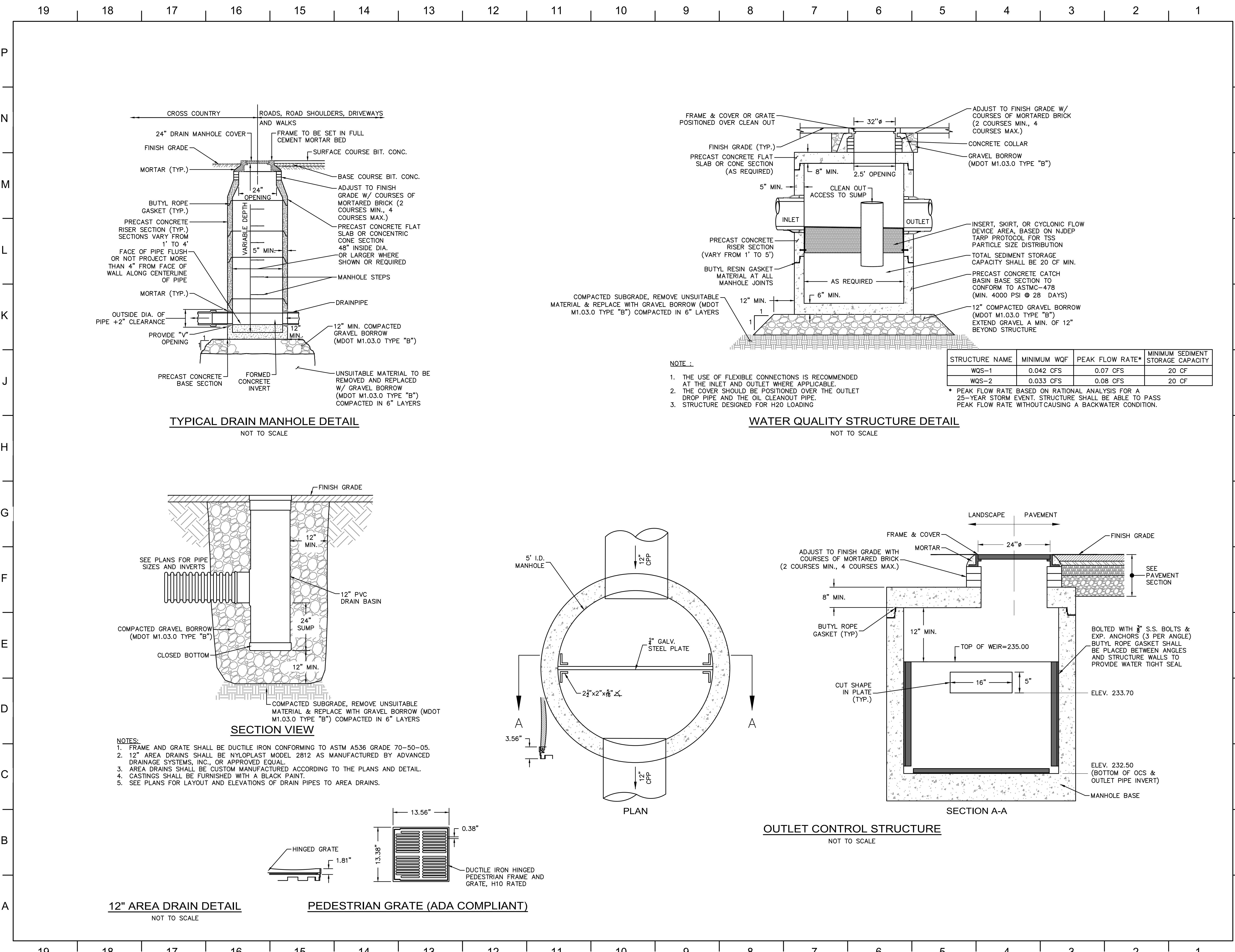
## ORIENTATION AND SCALE:

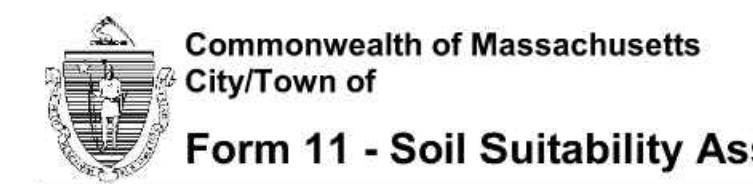
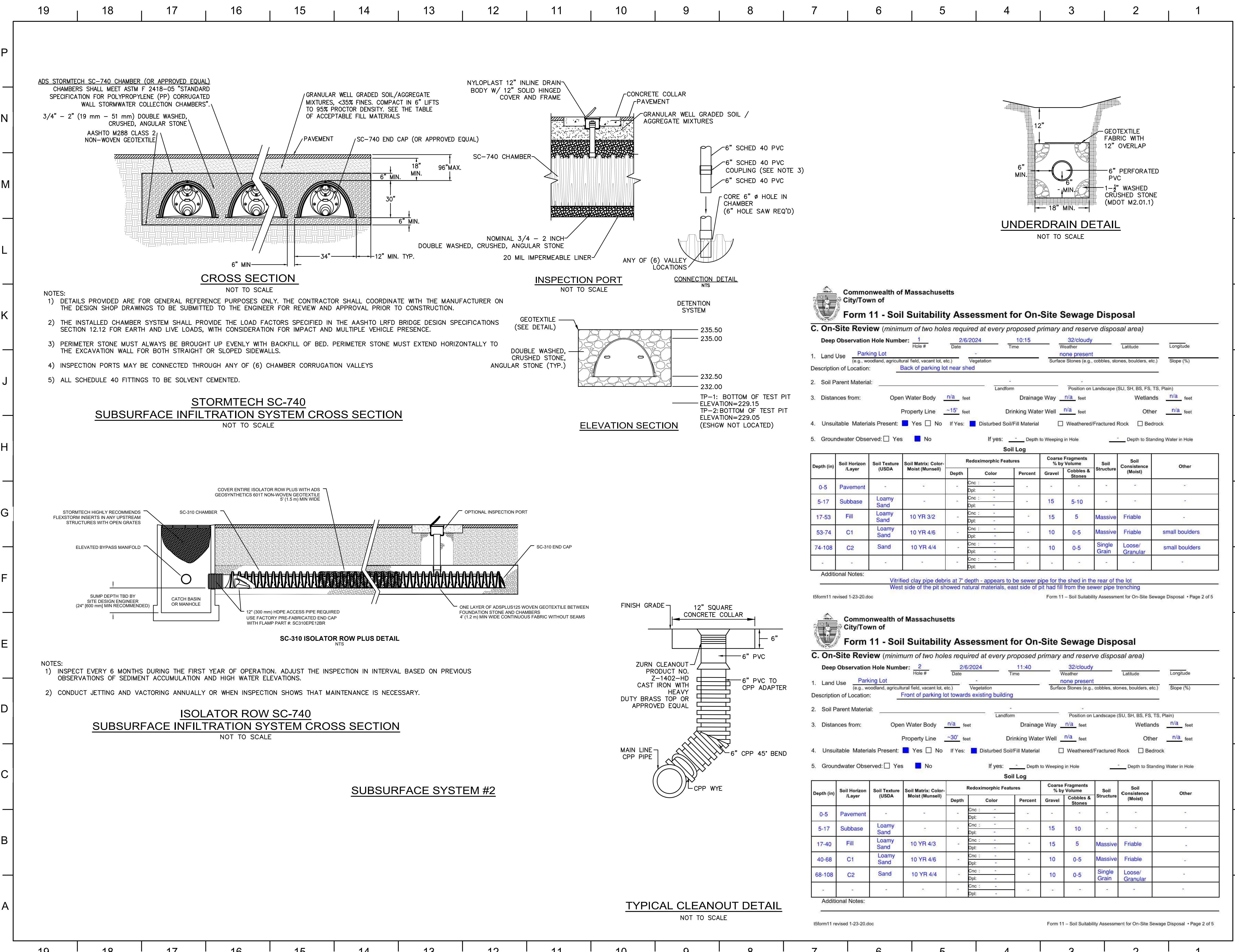
# WHITE LAYOUT PLAN

NET NUMBER:  
**C4.00**









### Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

#### C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number:	1	Hole #	2/6/2024	Date	10:15	Time	32/cloudy	Weather	Latitude	Longitude	
1. Land Use	Parking Lot	(e.g., woodland, agricultural field, vacant lot, etc.)	-	Vegetation	-	Surface Stones (e.g., cobbles, stones, boulders, etc.)	-	none present	Slope (%)	-	
Description of Location:	Back of parking lot near shed										
2. Soil Parent Material:	- Landform Position on Landscape (SU, SH, BS, FS, TS, Plain)										
3. Distances from:	Open Water Body	n/a	feet	Drainage Way	n/a	feet	Wetlands	n/a	feet	-	
	Property Line	~15'	feet	Drinking Water Well	n/a	feet	Other	n/a	feet	-	
4. Unsuitable Materials Present:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If Yes:	<input checked="" type="checkbox"/> Disturbed Soil/Fill Material	<input type="checkbox"/> Weathered/Fractured Rock	<input type="checkbox"/> Bedrock					
5. Groundwater Observed:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If Yes:	-	Depth to Weeping in Hole	-	Depth to Standing Water in Hole				

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistency (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-5	Pavement	-	-	-	Cnc : -	-	-	-	-	-	-
5-17	Subbase	Loamy Sand	-	-	Dpl: -	-	-	-	-	-	-
17-53	Fill	Loamy Sand	10 YR 3/2	-	Cnc : -	-	-	15	5-10	-	-
53-74	C1	Loamy Sand	10 YR 4/6	-	Cnc : -	-	-	15	5	Massive	Friable
74-108	C2	Sand	10 YR 4/4	-	Dpl: -	-	-	10	0-5	Massive	Friable
-	-	-	-	-	Cnc : -	-	-	10	0-5	Single Grain	Loose/Granular
-	-	-	-	-	Dpl: -	-	-	-	-	small boulders	-

Additional Notes:  
Vitrified clay pipe debris at 7' depth - appears to be sewer pipe for the shed in the rear of the lot.  
West side of the pit showed natural materials, east side of pit had fill from the sewer pipe trenching.

t5form11 revised 1-23-2024.doc

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal • Page 2 of 5



### Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal

#### C. On-Site Review (minimum of two holes required at every proposed primary and reserve disposal area)

Deep Observation Hole Number:	2	Hole #	2/6/2024	Date	11:40	Time	32/cloudy	Weather	Latitude	Longitude	
1. Land Use	Parking Lot	(e.g., woodland, agricultural field, vacant lot, etc.)	-	Vegetation	-	Surface Stones (e.g., cobbles, stones, boulders, etc.)	-	none present	Slope (%)	-	
Description of Location:	Front of parking lot towards existing building										
2. Soil Parent Material:	- Landform Position on Landscape (SU, SH, BS, FS, TS, Plain)										
3. Distances from:	Open Water Body	n/a	feet	Drainage Way	n/a	feet	Wetlands	n/a	feet	-	
	Property Line	~30'	feet	Drinking Water Well	n/a	feet	Other	n/a	feet	-	
4. Unsuitable Materials Present:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If Yes:	<input checked="" type="checkbox"/> Disturbed Soil/Fill Material	<input type="checkbox"/> Weathered/Fractured Rock	<input type="checkbox"/> Bedrock					
5. Groundwater Observed:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If Yes:	-	Depth to Weeping in Hole	-	Depth to Standing Water in Hole				

Depth (in)	Soil Horizon /Layer	Soil Texture (USDA)	Soil Matrix: Color-Moist (Munsell)	Redoximorphic Features			Coarse Fragments % by Volume		Soil Structure	Soil Consistency (Moist)	Other
				Depth	Color	Percent	Gravel	Cobbles & Stones			
0-5	Pavement	-	-	-	Cnc : -	-	-	-	-	-	-
5-17	Subbase	Loamy Sand	-	-	Dpl: -	-	-	-	-	-	-
17-40	Fill	Loamy Sand	10 YR 4/3	-	Cnc : -	-	-	15	5	Massive	Friable
40-68	C1	Loamy Sand	10 YR 4/6	-	Dpl: -	-	-	10	0-5	Massive	Friable
68-108	C2	Sand	10 YR 4/4	-	Cnc : -	-	-	10	0-5	Single Grain	Loose/Granular
-	-	-	-	-	Dpl: -	-	-	-	-	-	-

Additional Notes:

t5form11 revised 1-23-2024.doc

Form 11 - Soil Suitability Assessment for On-Site Sewage Disposal • Page 2 of 5

**dw**  
**DORE + WHITTIER**  
MASSACHUSETTS  
260 MERRIMAC ST, BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999  
VERMONT  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

**Nitsch Engineering**  
**STOUGHTON FIRE**  
**K HEADQUARTERS**  
**& PUBLIC HEALTH**

30 FREEMAN STREET  
STOUGHTON, MA 02072

PROJECT NUMBER:  
**19-0796**

SEAL AND SIGNATURE:  
  
8/27/2024

REVISIONS:  
NO. DATE TITLE  
1 8/14/2024 RESPONSE TO COMMENTS  
2 8/27/2024 RESPONSE TO COMMENTS

ISSUE TITLE AND DATE:  
**RECORD SET 2024-12-02**

COPYRIGHT © 2020 by Dore & Whittier Architects, Inc. (D+W). These documents are D+W's instruments of service and as such, D+W retains all copyrights, common law, and statutory rights. Use of these documents without D+W's express written permission will result in copyright infringement.

KEY PLAN



ORIENTATION AND SCALE:  
N  
E  
S  
W

PROJECT NORTH

SHEET TITLE:  
**CIVIL DETAILS II**

SHEET NUMBER:  
**C6.02**



19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

P

N

M

L

K

J

H

G

F

E

D

C

B

A

**dw**  
DORE + WHITTIER

MASSACHUSETTS  
260 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999

VERMONT  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

**Nitsch Engineering**

STOUGHTON FIRE  
HEADQUARTERS  
& PUBLIC HEALTH

30 FREEMAN STREET  
STOUGHTON, MA 02072

PROJECT NUMBER:  
**19-0796**

SEAL AND SIGNATURE:  
  
8/27/2024

R E V I S I O N S :  
N O .      D A T E      T I T L E  
1      8/14/2024      R E S P O N S E   T O   C O M M E N T S  
2      8/27/2024      R E S P O N S E   T O   C O M M E N T S

I S S U E   T I T L E   A N D   D A T E :  
**R E C O R D   S E T   2 0 2 4 - 1 2 - 0 2**

C O P Y R I G H T   ©   2 0 2 0   b y   D o r e   &   W h i t t i e r   A r c h i t e c t s ,   I n c . ( D + W ) .   T h e s e   d o c u m e n t s   a r e   D + W ' s   i n s t r u m e n t s   o f   s e r v i c e   a n d   a s   s u c h ,   d r i v e   a l l   c o p y r i g h t s ,   c o m m o n   l a w ,   a n d   i n s t a t u t o r y   r i g h t s .   U s e   o f   t h e s e   d o c u m e n t s   w i t h o u t   D + W ' s   e x p r e s s   w r i t t e n   p e r m i s s i o n   w i l l r e s u l t   i n   c o p y r i g h t   i n f r i g h t .

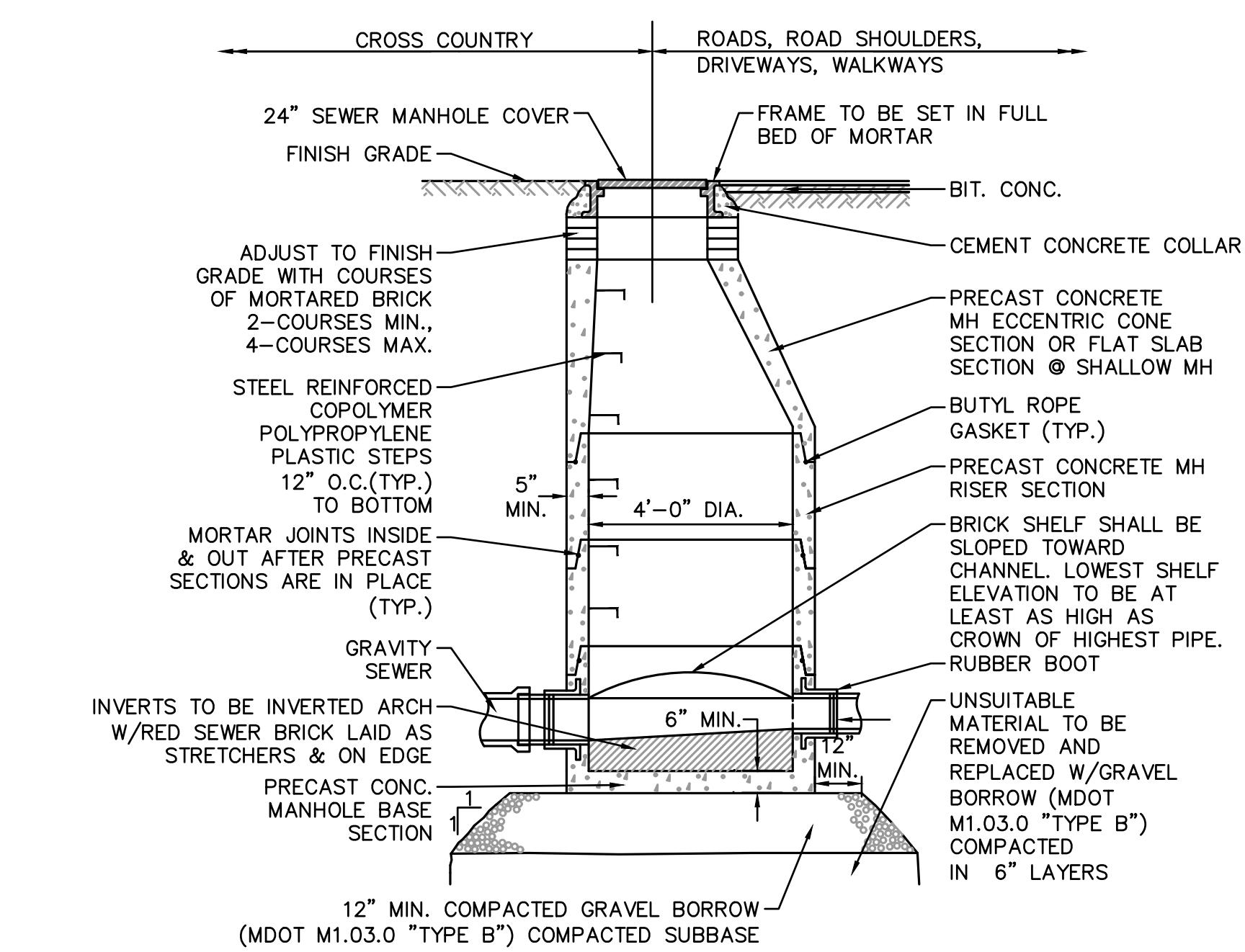
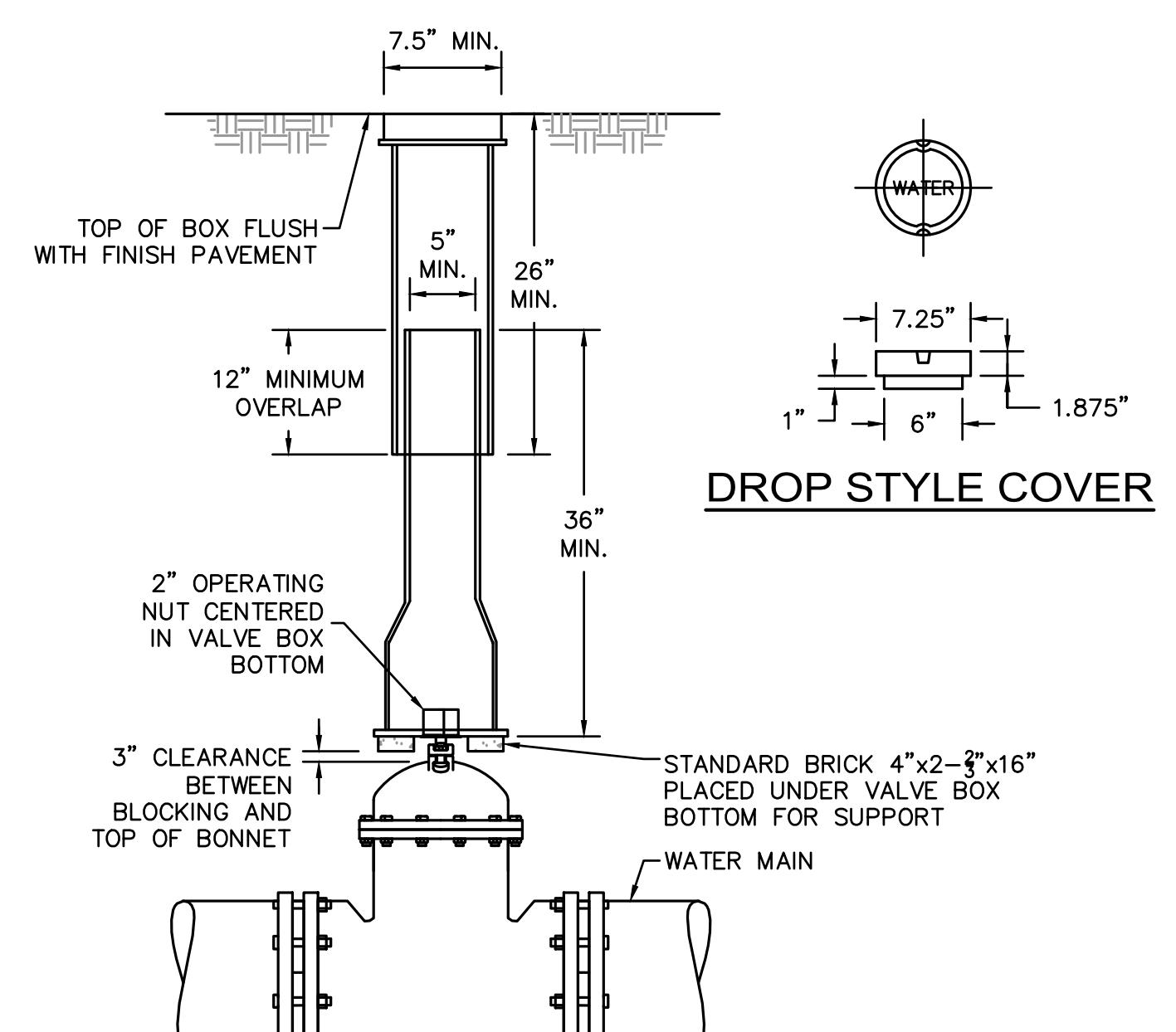
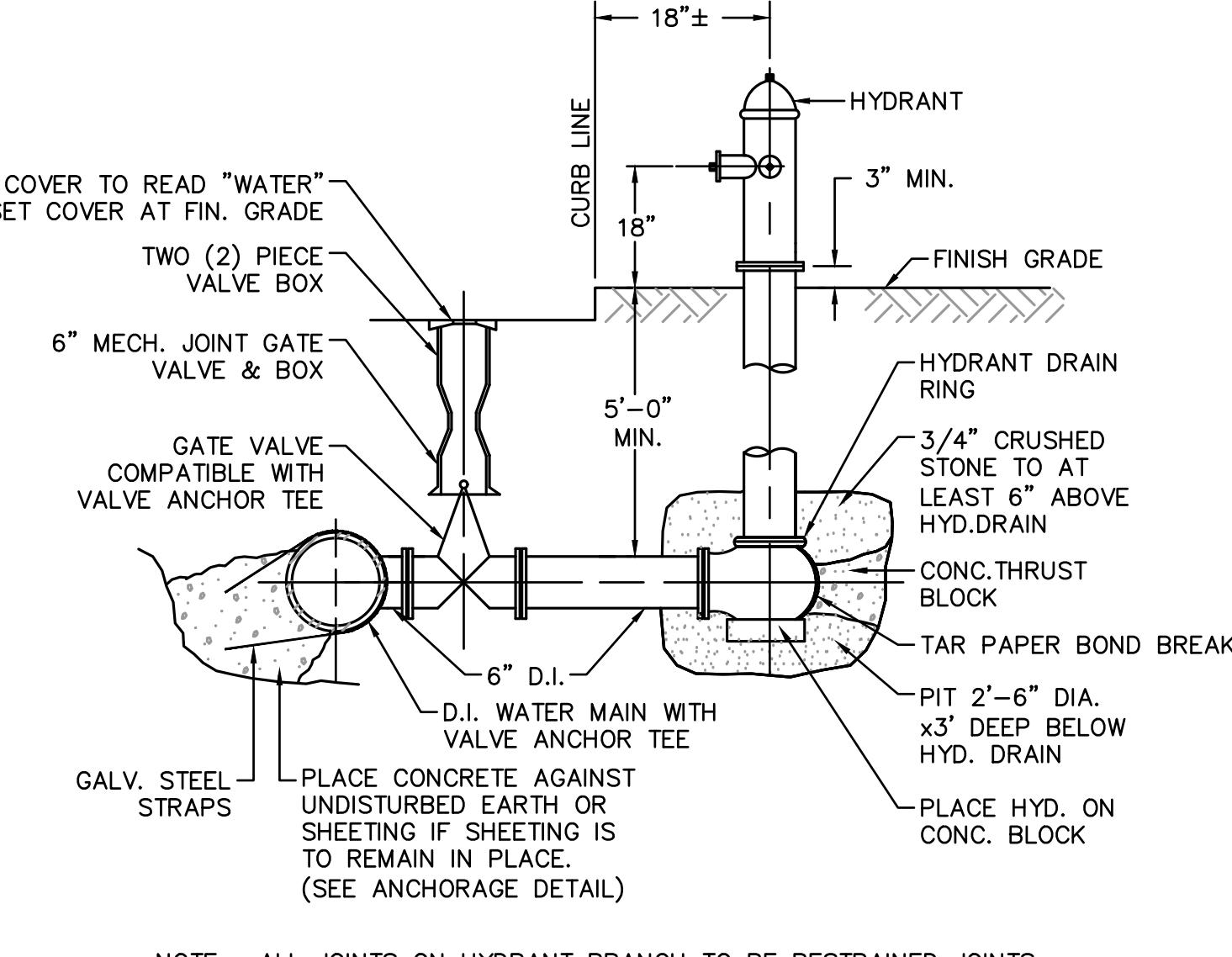
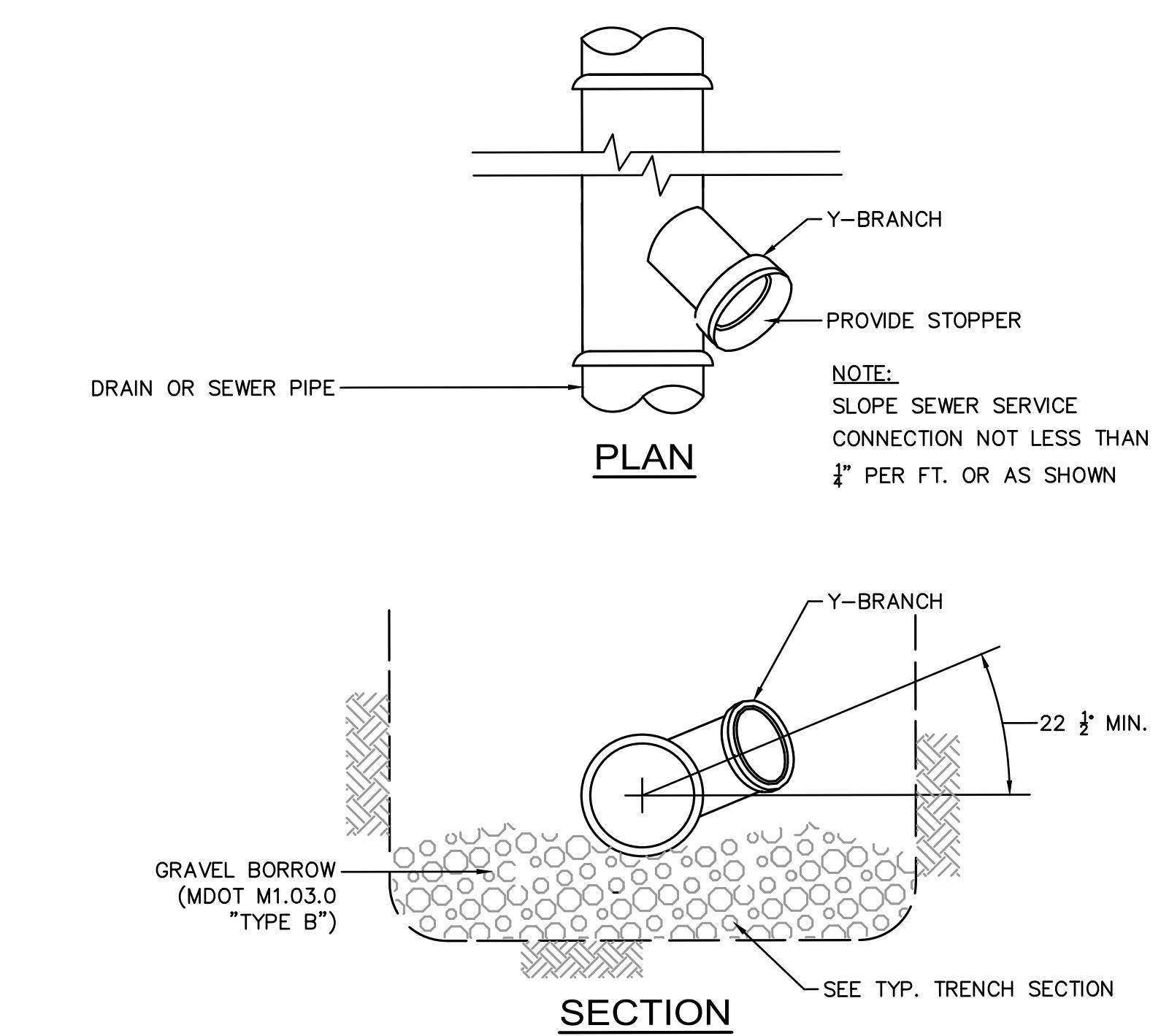
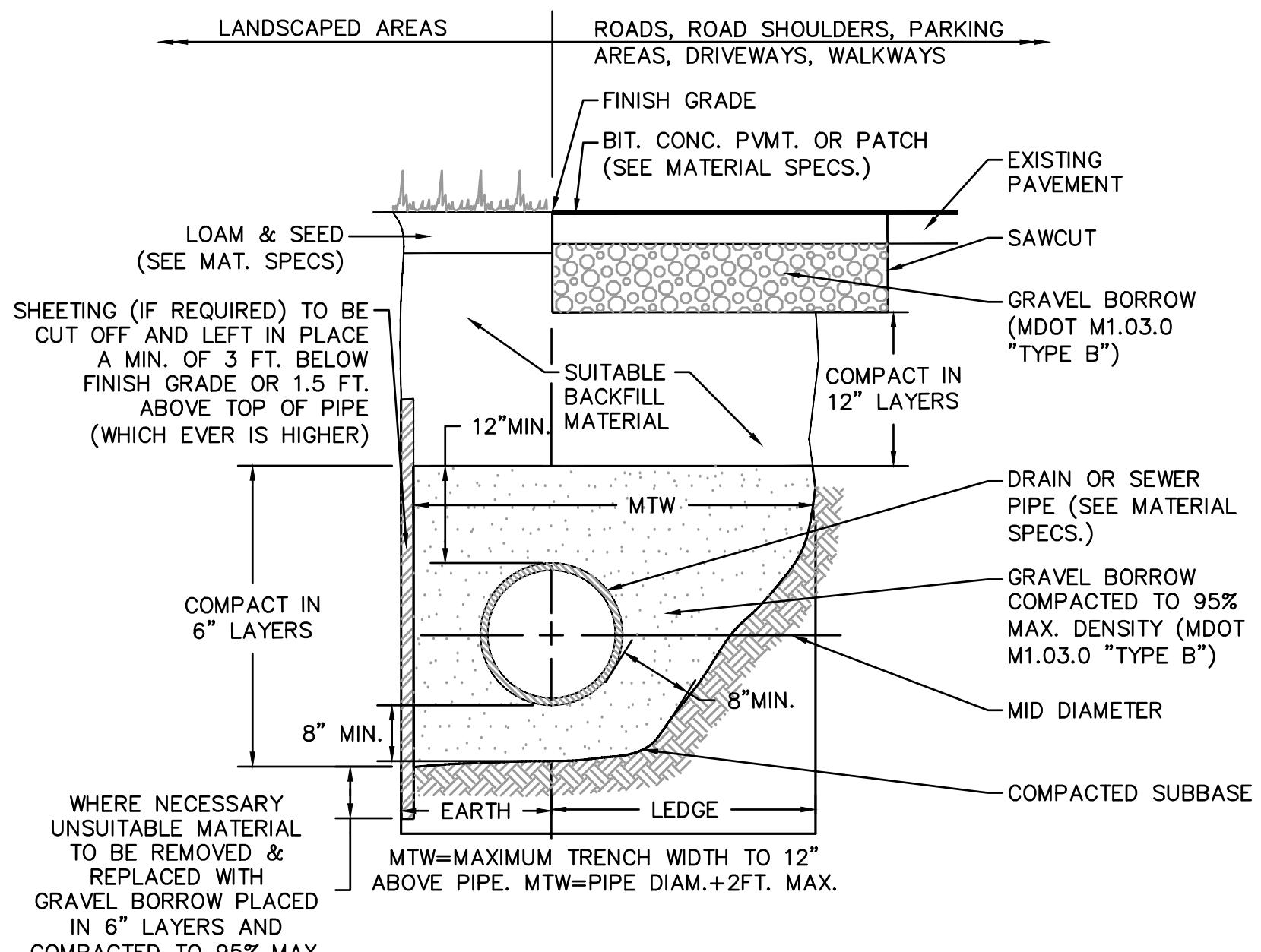
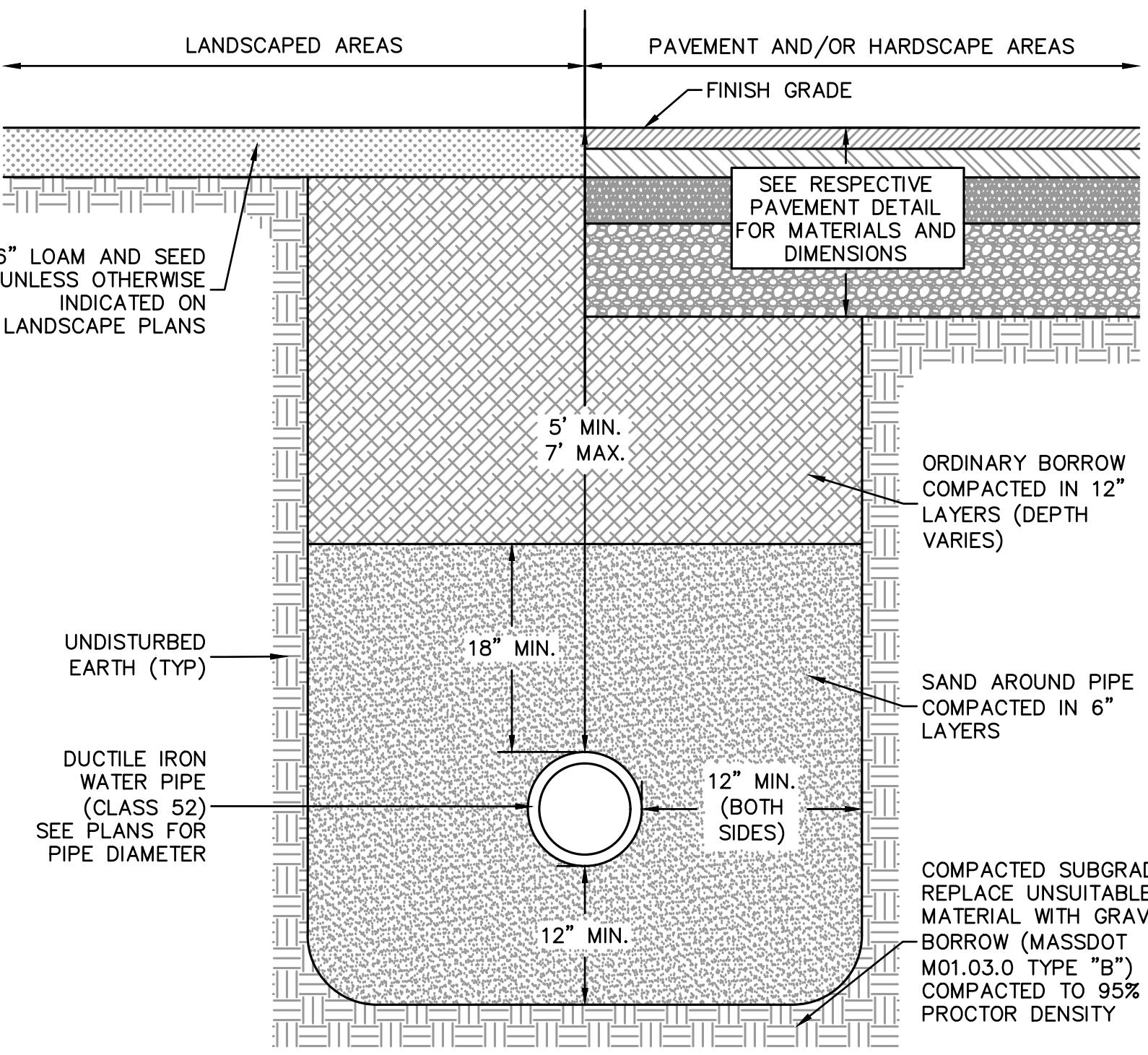
K E Y   P L A N



O R I E N T A T I O N   A N D   S C A L E :  
N (Top)  
PROJECT NORTH

S H E E T   T I T L E :  
**C I V I L   D E T A I L S   I V**

S H E E T   N U M B E R :  
**C6.04**





P

N

M

L

K

J

H

G

F

E

D

C

B

A

P

N

M

L

K

J

H

G

F

E

D

C

B

A

dw

DORE + WHITTIER

MASSACHUSETTS  
260 MERRIMAC ST. BUILDING 7, 2ND FLOORP:  
978-499-2999VERMONT  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

LANGAN

STOUGHTON FIRE  
HEADQUARTERS &  
PUBLIC HEALTH30 FREEMAN STREET  
STOUGHTON, MA  
02072

PROJECT NUMBER:

SEAL AND SIGNATURE:

REVISIONS:  
NO. DATE TITLE

ISSUE TITLE AND DATE:

RECORD SET 2024-12-02

COPYRIGHT ©2020 by Dore + Whittier Architects, Inc. (D+W). These documents on D+W's service contracts, D+W retains all copyrights, common law, and statutory rights. Use of documents without D+W's express written permission will result in copyright infringement.

KEY PLAN

SHEET TITLE:  
PLANTING  
NOTES & DETAILSSHEET NUMBER:  
LP501

## GENERAL LANDSCAPE PLANTING NOTES

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARD PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
2. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARDS FOR NURSERY STOCK", 1942 EDITION, PREPARED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
3. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMBE AND SHALL BE THE SAME RELATIONSHIP TO PLANTED GROUNDS AS THE PLANTS ORIGINAL HABIT OF GROWTH. PLANTS SAME SPECIES AND SAME VARIETY AS PLANTED GROUNDS SHALL BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPE, SPECIFIC HABIT, OR FEATURES AS SPECIFIED. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.
4. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
5. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINS OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGH PLANTED AREAS. DISCREPANCIES TO BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
7. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR SEPT 1 - OCTOBER 15, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAW SEEDING DATES IN SEEDING NOTES.
8. ALL FENCE AND GUIDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES AND ADVICE THE OWNER TO AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
10. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITY LINES AND ADVICE THE OWNER TO AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
11. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
12. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
13. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIAL AT THE SITE FOR APPROVAL. THE LANDSCAPE ARCHITECT MAY REQUEST ADDITIONAL PLANT MATERIALS. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
14. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL THAT APPEARS DISEASED, WEAK, OR DEAD, WHICH DID NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSHAPED, AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
16. PLANTS, SOILS, AND MATERIALS THAT ARE PACKAGED OR CONTAINED SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DEFORMATION DURING DELIVERY, AND WHILE STORED AT SITE.
17. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING POSITION. PLANTS SHALL BE PLANTED AND MAINTAINED, DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BEND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTION FOR PLANTS DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
18. C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIALS MUST BE SYNTHETIC OR PLASTIC. SHALL BE REMOVED FROM THE PLANTING AREA AT THE TIME OF PLANTING. THE PLANTING AREA WILL BE TILLED WITH A WIRE BASKET AROUND THE ROOT BALL. THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONCRETE FLOORING, THE WIRE BASKET SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
19. D. THE CONTRACTOR WILL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WIND, AND WATER. PLANTS SHALL BE KEPT MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
20. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINELY GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
21. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
22. CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. THE CONTRACTOR SHALL MAINTAIN PLANTINGS AND PLANTING AREAS FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, FERTILIZING, ETC.) PLANT MATERIAL FOR A PERIOD OF ONE YEAR. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
23. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION. PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSEFUL MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS BY LANDSCAPE INSTALLATION OPERATIONS.
24. PLANTS SHALL BE WATERED THOROUGHLY TWICE DAILY FOR THE FIRST 24-HOUR PERIOD AFTER PLANTING. THEREAFTER, WATERING DAILY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH. CONTRACTOR SHALL CONFIRM WATER SOURCE WITH OWNER PRIOR TO BID AND INCLUDE ALTERNATE MEANS OF WATERING IF NECESSARY.
25. ON-SITE WATER SHALL BE FURNISHED BY THE CONTRACTOR. HOSE AND OTHER WATERING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR.
26. AFTER PLANT IS PLANTED IN TREE PIT LOCATION, ALL THINNED HOLDING ROOT BALL SHOULD BE REMOVED. THE THINNED HOLDING ROOT BALL SHOULD BE PULLED DOWN 30" TO THE ROOT BALL IS EXPOSED. SYNTHETIC BURPLATE SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
27. ALL TREES MUST BE GUYED OR STAKED IF REQUIRED BY ORDINANCE, IF LOCATED ON A SLOPE 3:1 OR GREATER, OR IF THE SITE IS LOCATED IN A HIGH WIND ZONE.
28. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT POLLUTION. THE CONTRACTOR SHALL USE A SHREDDED MULCH, HAY, STRAW, OR HAYDRIED MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS AND FOR MAINTAINING THE PLANT LIST SITE BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN. THE GRAPHIC QUANTITY SHOWN SHALL COVER.
30. LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT, IF UNDER CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONFIRMATION IS RECEIVED THAT ALL PROPOSED LANDSCAPE ITEMS HAVE BEEN INSTALLED, OR DEFICIENCIES NOTED IN THE PRIOR PUNCH LIST HAVE BEEN CORRECTED. THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS.
31. CONTRACTOR SHALL ASSESS THE NEED FOR ANIMAL PROTECTION ON SITE, IF DEEMED NECESSARY, TREES SHALL BE PROTECTED AS NECESSARY.
32. ALL SLOPES 3:1 OR GREATER AND ALL SIDE SLOPES OF BASINS SHALL REQUIRE AN EROSION CONTROL BLANKET: EROEN SC150 BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

## PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA. IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
2. PLANTING SOIL:  
REUSE SURFACE SOIL STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING CLEAN SURFACE SOIL. ALL ROOTS, PLANTS, SOIL AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS, IF ON-SITE SOILS ARE TO BE USED FOR PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
3. SUPPLEMENT IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT, OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LANDS, MARSHES OR CONTAMINATED SITES.
4. AT A MINIMUM, PLANTING SOILS MEETING THESE SPECIFICATIONS MAY BE OBTAINED FROM WECARE DENAU, P: 888-325-1522, OR APPROVED EQUAL. CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGE MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER. MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE METHOD OF SOIL AMENDMENT OR ADDITION MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPAILIN.
5. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
6. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINS OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGH PLANTED AREAS. DISCREPANCIES TO BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
7. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR SEPT 1 - OCTOBER 15, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAW SEEDING DATES IN SEEDING NOTES.
8. ALL FENCE AND GUIDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES AND ADVICE THE OWNER TO AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
10. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITY LINES AND ADVICE THE OWNER TO AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
11. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
12. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
13. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIAL AT THE SITE FOR APPROVAL. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
14. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL THAT APPEARS DISEASED, WEAK, OR DEAD, WHICH DID NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSHAPED, AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
16. PLANTS, SOILS, AND MATERIALS THAT ARE PACKAGED OR CONTAINED SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DEFORMATION DURING DELIVERY, AND WHILE STORED AT SITE.
17. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING POSITION. PLANTS SHALL BE PLANTED AND MAINTAINED, DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BEND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTION FOR PLANTS DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
18. C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIALS MUST BE SYNTHETIC OR PLASTIC. SHALL BE REMOVED FROM THE PLANTING AREA AT THE TIME OF PLANTING. THE PLANTING AREA WILL BE TILLED WITH A WIRE BASKET AROUND THE ROOT BALL. THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONCRETE FLOORING, THE WIRE BASKET SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
19. D. THE CONTRACTOR WILL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WIND, AND WATER. PLANTS SHALL BE KEPT MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
20. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINELY GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
21. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
22. CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. THE CONTRACTOR SHALL MAINTAIN PLANTINGS AND PLANTING AREAS FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, FERTILIZING, ETC.) PLANT MATERIAL FOR A PERIOD OF ONE YEAR. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
23. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION. PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSEFUL MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS BY LANDSCAPE INSTALLATION OPERATIONS.
24. PLANTS SHALL BE WATERED THOROUGHLY TWICE DAILY FOR THE FIRST 24-HOUR PERIOD AFTER PLANTING. THEREAFTER, WATERING DAILY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH. CONTRACTOR SHALL CONFIRM WATER SOURCE WITH OWNER PRIOR TO BID AND INCLUDE ALTERNATE MEANS OF WATERING IF NECESSARY.
25. ON-SITE WATER SHALL BE FURNISHED BY THE CONTRACTOR. HOSE AND OTHER WATERING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR.
26. AFTER PLANT IS PLANTED IN TREE PIT LOCATION, ALL THINNED HOLDING ROOT BALL SHOULD BE REMOVED. THE THINNED HOLDING ROOT BALL SHOULD BE PULLED DOWN 30" TO THE ROOT BALL IS EXPOSED. SYNTHETIC BURPLATE SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
27. ALL TREES MUST BE GUYED OR STAKED IF REQUIRED BY ORDINANCE, IF LOCATED ON A SLOPE 3:1 OR GREATER, OR IF THE SITE IS LOCATED IN A HIGH WIND ZONE.
28. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT POLLUTION. THE CONTRACTOR SHALL USE A SHREDDED MULCH, HAY, STRAW, OR HAYDRIED MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS AND FOR MAINTAINING THE PLANT LIST SITE BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN. THE GRAPHIC QUANTITY SHOWN SHALL COVER.
30. LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT, IF UNDER CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONFIRMATION IS RECEIVED THAT ALL PROPOSED LANDSCAPE ITEMS HAVE BEEN INSTALLED, OR DEFICIENCIES NOTED IN THE PRIOR PUNCH LIST HAVE BEEN CORRECTED. THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS.
31. CONTRACTOR SHALL ASSESS THE NEED FOR ANIMAL PROTECTION ON SITE, IF DEEMED NECESSARY, TREES SHALL BE PROTECTED AS NECESSARY.
32. ALL SLOPES 3:1 OR GREATER AND ALL SIDE SLOPES OF BASINS SHALL REQUIRE AN EROSION CONTROL BLANKET: EROEN SC150

19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

P

N

M

L

K

J

H

G

F

E

D

C

B

A

**dw**  
**DORE + WHITTIER**

MASSACHUSETTS  
260 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999

VERMONT  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

 GGD CONSULTING ENGINEERS, INC.  
375 Faunce Corner Road, Suite D, Dartmouth, MA 02747-1258  
p: 508-998-5700 • f: 508-998-0883 • E-MAIL: info@g-d.com

**STOUGHTON FIRE  
HEADQUARTERS  
& PUBLIC HEALTH**

19-0796

PROJECT NUMBER:

SEAL AND SIGNATURE:

ISSUE TITLE AND DATE:

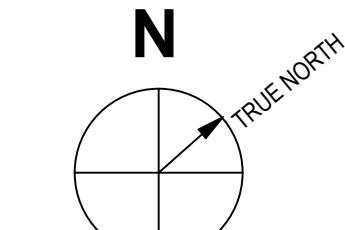
**RECORD SET 2024-12-02**

Copyright © 2020 by Dore & Whittier, Architects, Inc. (D+W). These documents are D+W's instruments of original design and are protected by copyright laws and other intellectual property rights. Use of these documents without D+W's express written permission will result in copyright infringement.

KEY PLAN

**A**

ORIENTATION AND SCALE:



**PROJECT NORTH**

SCALE: AS  
INDICATED

**PHOTOMETRIC  
PLAN**

SHEET NUMBER:

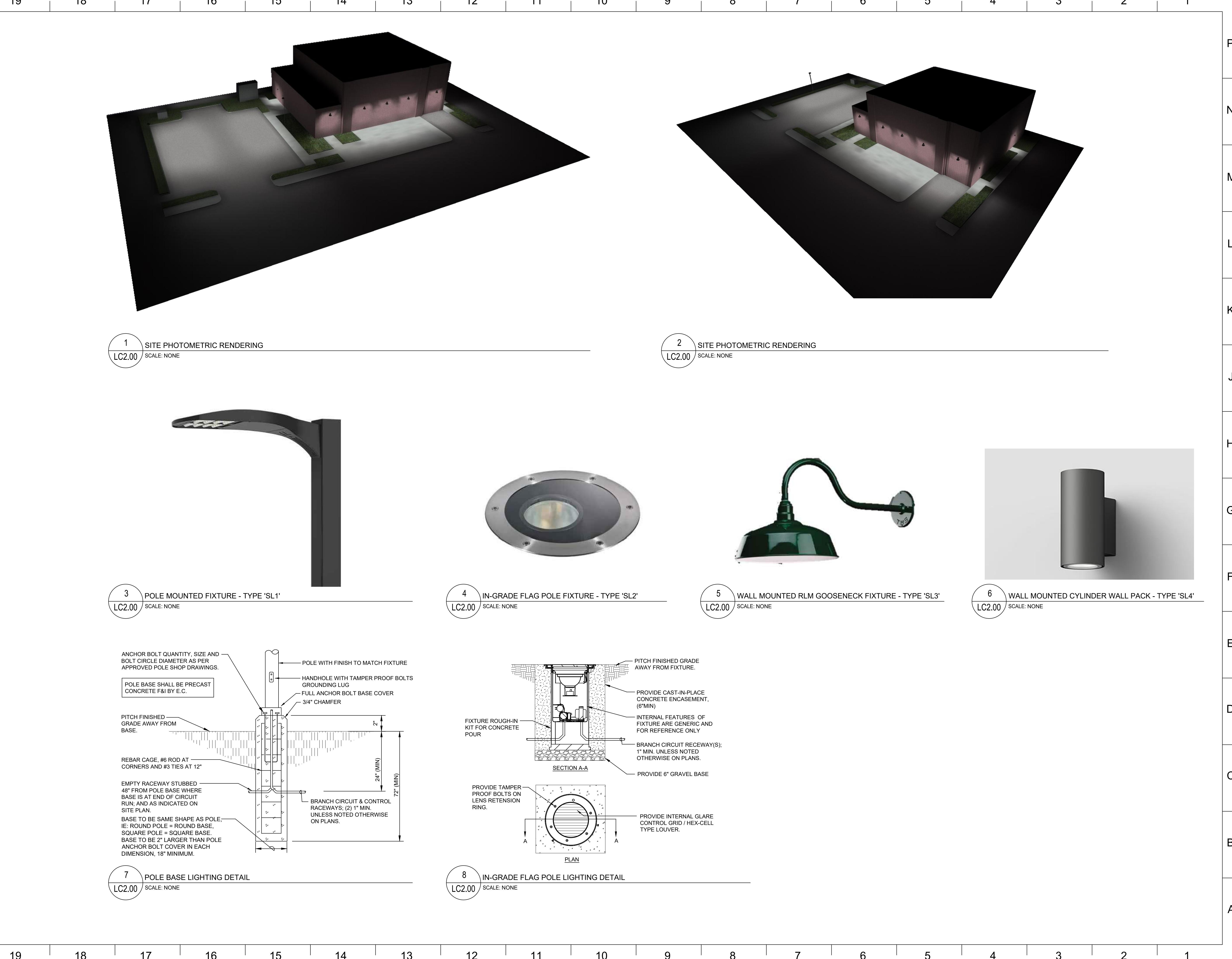
**LC1.00**

**LIGHTING FIXTURE SCHEDULE**

TYPE	MANUFACTURER	MODEL / SERIES NUMBER	MTG.	VOLTAGE	LIGHTING SOURCE			DESCRIPTION	MOUNTING HEIGHT ABOVE FINISHED GRADE (A.F.G.)
					LUMENS	WATTS	SOURCE/CCT		
SL1	LITHONIA LIGHTING	DSX0 LED-P1-30K-70CRI-BLC3-MVOLT-RPA-PERT+15' ROUND TAPERED POLE	POLE	UNIVERSAL	3344	33	LED/3000K	SINGLE HEAD POLE FIXTURE W/ TYPE III BACK LIGHT CONTROL DISTRIBUTION MOUNTED ON 15' ROUND ALUMINUM TAPERED POLE RATED FOR 110MPH WIND CONDITIONS.	(15'-0") A.F.G.
SL2	TARGETTI	KPL-41-GMB-FL-L1-30	IG	UNIVERSAL	-	14	LED/3000K	LED IP68 RATED FIXTURE SUITABLE FOR USE IN GRADE. FIXTURE PROVIDED WITH ADJUSTABLE LED WALL WASH SOURCE AND INTEGRAL LOUVER.	IN GRADE
SL3	TMS LIGHTING	2W-O-15LED-30K-120-VM-XX-DIML-8-G2	W	UNIVERSAL	1351	15	LED/3000K	LED WALL MOUNTED 15" ROUND RLM SHADE STYLE FIXTURE WITH GOOSENECK ARM. FIXTURE TO BE PROVIDED WITH 0-10V DIMMING CAPABILITY.	(13'-0") A.F.G.
SL4	LUMINIS LIGHTING	SYP600-L1L06-VNR-K30-120-XX	W	UNIVERSAL	661	15	LED/3000K	LED WALL MOUNTED CYLINDER FIXTURE WITH DIRECT NARROW BEAM DISTRIBUTION. FIXTURE TO BE PROVIDED WITH 0-10V DIMMING CAPABILITY.	(9'-0") A.F.G.

**MOUNTING DESIGNATIONS**

POLE	POLE	U	UNIVERSAL
BOL	BOLLARD	W	WALL
R	RECESSED	S	SURFACE
G	GRADE	IG	IN GRADE



dw  
DORE + WHITTIER  
MASSACHUSETTS  
260 MERRIMAC ST. BUILDING 7, 2ND FLOOR  
NEWBURYPORT, MA 01950  
P: 978-499-2999  
VERMONT  
212 BATTERY STREET  
BURLINGTON, VT 05401  
P: 802.863.1428

GGD CONSULTING ENGINEERS, INC.  
375 Faunce Corner Road, Suite D, Dartmouth, MA 02747-1258  
p: 508-998-5700 • f: 508-998-0883 • E-MAIL: info@g-d.com

STOUGHTON FIRE  
HEADQUARTERS  
& PUBLIC HEALTH

J 30 FREEMAN STREET  
STOUGHTON, MA 02072  
PROJECT NUMBER: 19-0796  
SEAL AND SIGNATURE: H

G REVISIONS:  
NO. DATE TITLE

F

E ISSUE TITLE AND DATE:  
**RECORD SET 2024-12-02**

D

C

B

A

KEY PLAN  
A

ORIENTATION AND SCALE:  
N TRUE NORTH  
PROJECT NORTH  
SCALE: AS INDICATED

SHEET TITLE:  
**PHOTOMETRIC  
RENDERING  
AND DETAILS**

SHEET NUMBER:  
**LC2.00**

COPYRIGHT © 2020 by Dore + Whittier Architects, Inc. (D+W). These documents are D+W's instruments of original design and are protected by copyright laws and other intellectual property rights. Use of these documents without D+W's express written permission will result in copyright infringement.