

GENERAL NOTES:
 1. THE CONTRACTOR SHALL NOTIFY THE STOUGHTON ENGINEERING DEPARTMENT AND CHONGRIS ENGINEERING AT LEAST 48 HOURS PRIOR TO REQUIRED INSPECTIONS.
 2. THE CONTRACTOR SHALL NOTIFY A.S. ELLIOT & ASSOCIATES INC IN 2021. BENCHMARK 1 IS A DRILL HOLE SET IN THE STONE WALL INTERSECTION IN THE NORTH CORNER OF LOT 1, ELEV. 256.02 FT. BENCHMARK 2 IS A DRILL HOLE FOUND IN THE SOUTH EAST CORNER OF LOT 4, ELEV. 256.02 FT.
 3. NO FIELD MODIFICATIONS TO THE SITE UTILITIES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER AND APPLICABLE TOWN DEPARTMENTS.
 4. EXISTING SITE CONDITIONS ARE BASED ON A ON-THE-GROUND SURVEY AND ARE SUBJECT TO CHANGE BY OTHERS.
 5. CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIGSAFE) AND ANY OTHER APPLICABLE UTILITY COMPANIES PRIOR TO STARTING WORK.
 6. INDICATED UTILITIES LOCATIONS ARE APPROXIMATE ONLY AND WERE LOCATED BY OTHERS.
 7. CONTRACTOR RESPONSIBLE FOR IMPLEMENTING ALL OSHA PROCEDURES TO INCLUDE BUT NOT LIMITED CONFINED SPACE ENTRY AND EXCAVATION.

EROSION CONTROL NOTES CONTINUED:
 1. AT THE COMPLETION OF THE PROJECT, ALL DISTURBED AREAS ARE TO BE PERMANENTLY LOAMED AND SEDED OR PERMANENTLY STABILIZED WITH SUITABLE GROUND COVER APPROVED BY THE ENGINEER.
 2. REFUELING SHALL BE PERFORMED OFFSITE. IF ON-SITE REFUELING IS REQUIRED IT SHALL BE PERFORMED OUTSIDE THE RIVERFRONT AREABUFFER ZONE AND A SPILL KIT SHALL BE KEPT ON-SITE AT ALL TIMES.
 • REFER TO PLAN REFERENCED IN BASEPLAN NOTE 1 FOR INFORMATIONS REGARDING BEARINGS AND DISTANCES FOR PROPERTY LINES AND EASEMENTS
 • REFER TO PLAN REFERENCED IN BASEPLAN NOTE 3 FOR FURTHER DETAILS REGARDING SEWER LINE EXTENSION AND ROADWAY UTILITIES.
 • PLAN DEPICTING EASEMENTS FOR SEWER LINE EXTENSION TO BE PREPARED BY A.S. ELLIOT & ASSOCIATES.

PLANNING BOARD SPECIFIC NOTES:
 1. AT THE COMPLETION OF THE PROJECT, ALL DISTURBED AREAS ARE TO BE PERMANENTLY LOAMED AND SEDED OR PERMANENTLY STABILIZED WITH SUITABLE GROUND COVER APPROVED BY THE ENGINEER.
 2. REFUELING SHALL BE PERFORMED OFFSITE. IF ON-SITE REFUELING IS REQUIRED IT SHALL BE PERFORMED OUTSIDE THE RIVERFRONT AREABUFFER ZONE AND A SPILL KIT SHALL BE KEPT ON-SITE AT ALL TIMES.

8. CONTRACTOR AND OWNER TO FINALIZE ALL SLAB AND FOUNDATION ELEVATIONS BASED ON FINAL ARCHITECTURAL PLANS AND FIELD CONDITIONS. BASEMENT SLABS TO BE 18" MINIMUM ABOVE THE ESTIMATED GROUND LEVEL. THE TOP OF FOUNDATION ELEVATION MUST BE 18" FT. MINIMUM ABOVE THE CENTERLINE OF ROADWAY AT CENTERLINE OF FOUNDATION.

9. PROPOSED GRADES DEMONSTRATE THE STORM WATER RUNOFF FROM PROPERTIES WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES OR DRAINAGE FROM OR TO THE STREET SWALES IN ADDITION TO THE PROPOSED MANAGEMENT SYSTEM MAY BE REQUIRED.

10. THE PROPOSED SEWER MAIN EXTENSION IS PREPARED BY OTHERS.

11. CONTRACTOR TO CONFIRM ALL UTILITIES IN THE FIELD AND CONFORM WITH THE MOST CURRENT VERSION OF THE 'STOUGHTON STANDARDS FOR DESIGN AND CONSTRUCTION OF BUILDING SEWERS' AND ALL OTHER APPLICABLE STATE AND TOWN REGULATIONS.

12. CONTRACTOR TO CONFIRM ALL UTILITIES IN THE FIELD.

13. LANDSCAPE PLANTING PLAN PREPARED BY OTHERS.

BASEPLAN NOTES:
 1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY A.S. ELLIOT & ASSOCIATES, INC. DATED OCTOBER 19, 2021.

2. LOCATION OF TREES REFERENCED FROM A PLAN PREPARED BY A.S. ELLIOT & ASSOCIATES, INC. STAMPED 12/27/23, TITLED TOPOGRAPHIC PLAN OF LAND.

3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED IN NOTE 1. PRIOR TO THE START OF ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DIG-SAFE.

4. THE LOCATION OF THE SEWER MAIN EXTENSION, WATER MAIN AND GAS MAIN IS REPRODUCED FROM A PLAN BY PVI SITE DESIGN, DATED 04/03/2023, REV 073123, TITLED SEWAGE EXTENSION 612 PAGE STOUGHTON.

5. BUILDING ENVELOPE ARE FOR PERMITTING PURPOSES ONLY. AN ASSUMED BOX FOOTPRINT OF 222 SF IS SHOWN. IF A DIFFERENT FOOTPRINT IS PROPOSED, REVISED PLANS SHALL BE SUBMITTED TO THE TOWN FOR APPROVAL.

6. THE SEWER INVERT ELEVATIONS REFERENCE THE ABOVE PLAN. ELEVATIONS OF FINAL INVERTS ARE TO BE VERIFIED PRIOR TO SEWER LINE EXTENSION, BUT BEFORE SITE CONSTRUCTION. IF ELEVATIONS ARE NOT KNOWN, CHONGRIS ENGINEERING IS TO BE CONTACTED.

7. TEST PITS WERE PERFORMED BY ALEKSANDR CHONGRIS, SE #14554, IN DECEMBER 2021.

8. EASEMENTS SHOWN IN THIS PLAN HAVE NOT YET BEEN RECORDED. NO CONSTRUCTION TO START UNTIL ALL EASEMENTS HAVE BEEN RECORDED AND APPROVAL GIVEN BY THE ENGINEERING DEPARTMENT.

DRIVEWAY NOTES:
 1. MAXIMUM SLOPE OF PAVED DRIVEWAY NOT TO EXCEED 10%.

2. FIRST 25 FT OF DRIVEWAY NOT TO EXCEED 3%.

3. ALL EROSION CONTROL FROM DRIVEWAY WITHIN PROPERTY LINE LIMITS TO BE CONVEYED INTO STORMWATER COLLECTION SYSTEM AS SHOWN ON THE PLAN.

4. DRIVEWAYS TO BE PERPENDICULAR FROM EDGE OF PAGE STREET.

5. IF DRIVEWAY SIDE SLOPES EXCEED 3:1, A GUARDRAIL IS REQUIRED.

6. ALL DRIVEWAYS SHALL CONFORM TO AAB REQUIREMENTS.

WATER SERVICES:
 1. MINIMUM WATER SERVICES IS TO BE 1" UNLESS APPROVAL FROM THE LOCAL WATER DEPARTMENT.

2. MINIMUM COVER IS 5 FEET.

3. ALL WATER SERVICES TO HAVE CURB STOP INSTALLED ON PRIVATE PROPERTY.

4. TRENCHES TO BE INSTALLED WITH WATER PIPE.

5. WATER SERVICE SHALL BE SEAMLESS, FROM MAIN TO CURB BOX AND FROM CURB BOX TO THE FOUNDATION.

6. SEWER AND WATER SERVICES TO HAVE A MINIMUM 10 FT HORIZONTAL SEPARATION.

DRAINAGE & GRADING NOTES:
 1. NO SLOPES SHALL BE GREATER THAN 3:1.

2. TOP OF FOUNDATION TO BE 2 FEET ABOVE CENTERLINE OF ROADWAY AT CENTERLINE OF FOUNDATIONS.

3. BOTTOM OF CELLAR FLOOR TO BE 18" ABOVE ESTIMATED SEASONAL HIGH GROUND WATER.

4. THE PROPOSED SITE GRADING SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES OR THE ROADWAY DRAINAGE SYSTEM.

5. INFILTRATION SYSTEM TO BE A MINIMUM OF 10 FT FROM SLAB AND 20 FT FROM FOUNDATION.

6. BOTTOM OF INFILTRATION SYSTEM TO BE 2 FEET ABOVE ESTIMATED SEASONAL HIGH GROUND WATER.

SEWER NOTES:
 1. SEWER AND WATER SERVICE HORIZONTAL SEPARATION TO BE 10 FT MINIMUM.

2. WYE CLEAN OUT TO BE WITHIN 10 FEET FROM HOUSE.

3. ONE CLEAN OUT ALLOWED TO CHANGE DIRECTION, AND OTHER CHANNELS TO BE PROVIDED BY PRECAST CONCRETE.

4. CLEAN OUTS TO BE SAME SIZE AS SEWER LATERAL. MINIMUM DIAMETER AND PIPE TYPE IS SDR-35 6".

5. CLEAN OUTS SHALL BE WITHIN 6" OF GRADE AND CAPPED.

6. NO LOWS ALLOWED.

7. MINIMUM COVER OF 3 FEET.

8. FLOWABLE FILL MAY BE REQUIRED FOR STREET CONNECTION FOR LOT 1. CONFIRM WITH DPW.

10. VERTICLE SEPARATION BETWEEN WATER LINES TO BE NO LESS THAN 18" IF LESS THAN 18", ENCASE JOINTS OF SEWER PIPE WITH CONCRETE WILL BE REQUIRED.

11. GRAVEL FOR TRENCH BACKFILL SHALL NOT HAVE STONE GREATER THAN 4".

12. PIPE BASE TO BE 3" STONE (6" ABOVE AND BELOW).

EROSION CONTROL NOTES:
 1. PRIOR TO THE COMMENCEMENT OF WORK, SEDIMENT BARRIERS SHALL BE PLACED ON THE SITE. SEDIMENT BARRIERS ON THE SITE PLACEMENT ADDITIONAL BARRIERS, SILT FENCE OR BERMS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER, HIS/HER REPRESENTATIVES, OR THE LOCAL AUTHORITY THE TOWN IS TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF WORK FOR INSPECTION OF THE EROSION CONTROL MEASURES.

2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS, INCLUDING CONCRETE WASHOUT AREAS AND STOCKPILE AREAS, UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.

3. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A WEEKLY BASIS AND IMMEDIATELY AFTER EACH RAINFALL. REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCORDINGLY, ALL SEDIMENT TRACTED ONTO PUBLIC RIGHT OF WAYS OR PAVED AREAS SHALL BE SWEEP AT THE END OF EACH WORKING DAY.

4. IF A DRAINAGE OR RUN-OFF PROBLEM OCCURS DURING CONSTRUCTION, THE APPLICANT SHALL TAKE IMMEDIATE CORRECTIVE MEASURES.

5. ALL STUMPS SHALL BE REMOVED FROM THE SITE. NO STUMPS SHALL BE BURIED ON SITE.

11. ALL STOCKPILES SHALL HAVE EROSION CONTROL MEASURES AROUND THE STOCKPILE. AT ALL TIMES STOCKPILES SHALL BE LOCATED ONLY WITHIN THE LIMIT OF WORK BOUNDARIES AND AS FAR AWAY AS REASONABLY POSSIBLE FROM THE RESOURCE AREAS.

12. UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED WITH A 4-6 INCH LAYER OF LOAM AND SEED.

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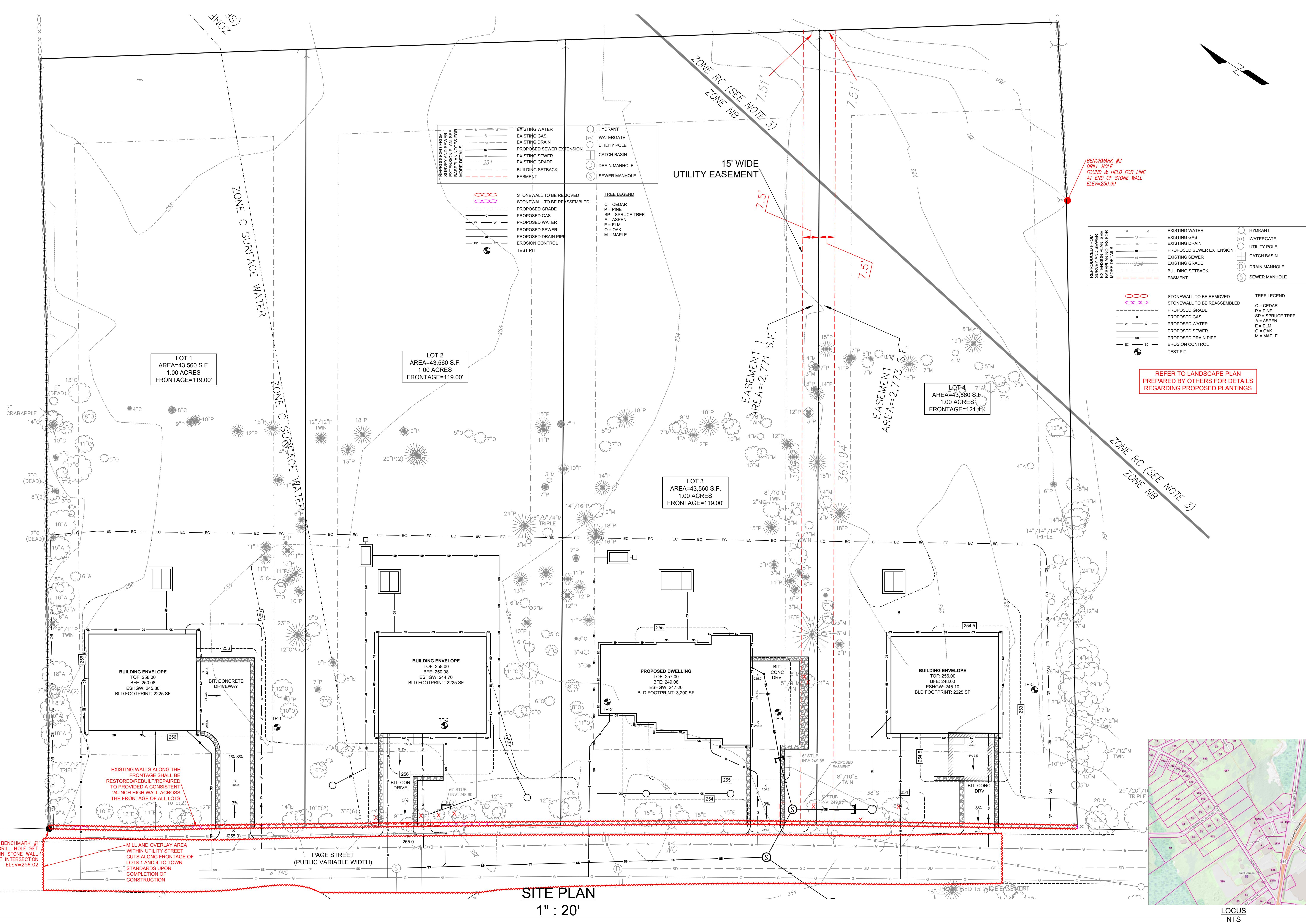
Plan Title:
 PAGE STREET STOUGHTON, MA
 LOTS 1 - 4 PERMIT SET
 NOT FOR CONSTRUCTION

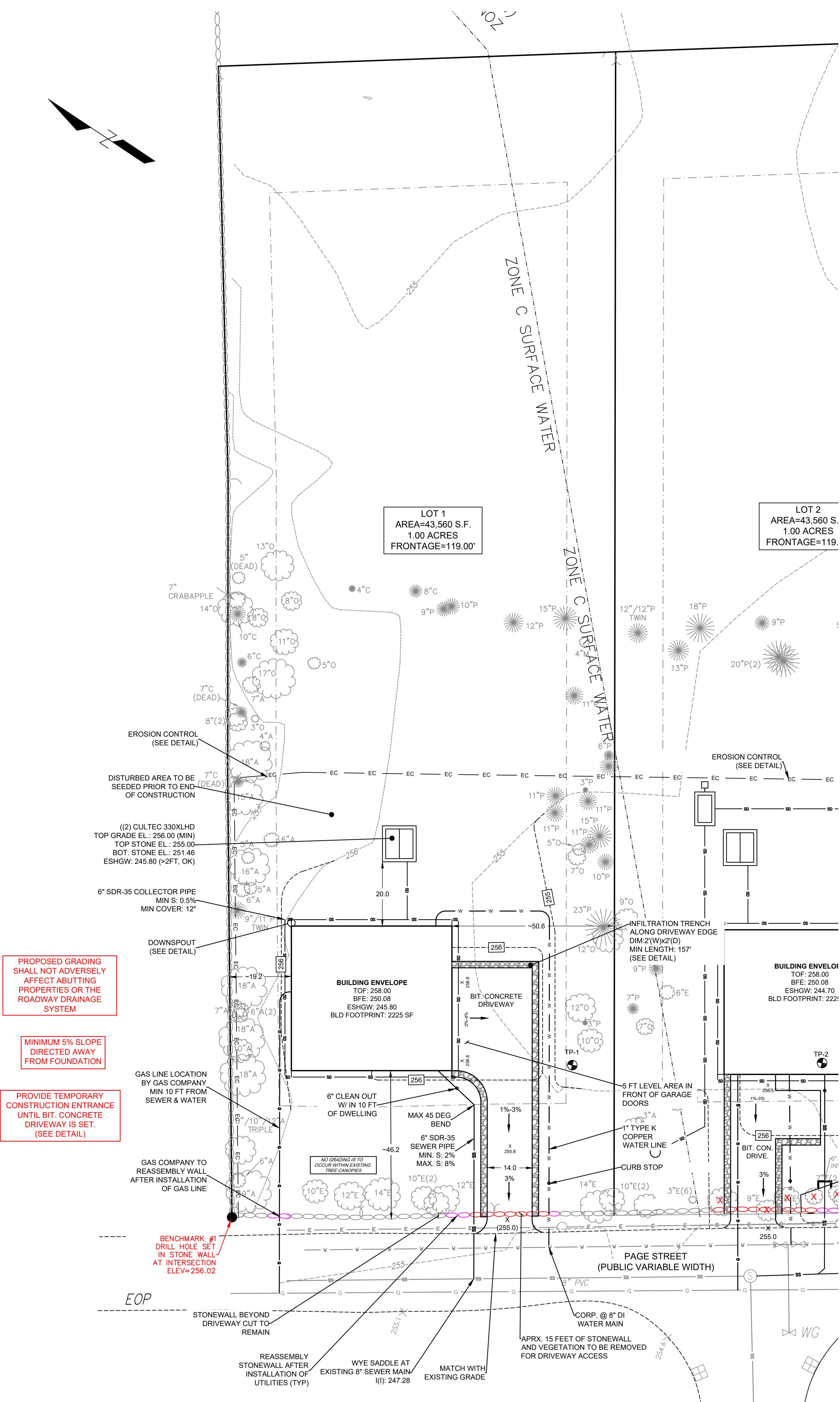
Owner:
 Able Realty LLC (Jay Bullens)
 156 Farm Street Dover, MA
 617-828-3370

Applicant:
 DMITRY DEYCH
 DIAMOND BUILDERS CORP.
 12 POST OFFICE SQUARE, SHARON,
 MA 02067
 617-828-3370
 DMITRYDEYCH@GMAIL.COM

Property Information:
 0 PAGE STREET, STOUGHTON, MA
 PARCEL ID: 095-03,059,060,061
 BOOK, PAGE: 40727, 314
 REC PLAN: 714 / 20

2	08/12/24	TOWN COMMENTS
1	08/05/24	TOWN COMMENTS
Rev. No.	Rev. Date	Description
Date: 04/04/2024		
Drawn by: AJC		
Approved by: AJC		
LOT 1 - 4 PROPOSED GRADING AND UTILITY PLAN		
SCALE: AS NOTED		
SHEET 2 OF 7		





ZONING RC: DIMENSION REQUIREMENTS		
LOT 1	REQUIRED	PROPOSED
MIN AREA (S.F.)	40,000	43,560
MIN LOT FRONTAGE (FT)	100	119 ²
FRONT SETBACK (FT)	35	46.2
SIDE SETBACK (FT)	15	19.2
REAR SETBACK (FT)	40	>40
MAX BUILDING AREA (%)	25	6
MIN. OPEN SPACE (%)	50	>50

SETBACKS FROM PROPERTY LINE REFERENCE A SURVEY PLAN PREPARED BY A.S. ELLIOT.
ACTUAL LOCATION OF HOUSE & DRIVEWAY TO BE CERTIFIED AND STAKED OUT BY A PLS.

STORMWATER CALCULATION:

ROOF AREA INFILTRATION SYSTEM):

FOOTPRINT AREA: 2,225 S.F. (collected)

TOTAL VOLUME

DESIGN CALCS:

USE TWO CULTEC 330XL CHAMBERS

- 52.0" WIDE + 6.0" SPACING = 58.0" C-C ROW SPACING
- 1 CHAMBERS/ROW X 7.00' LONG +1.50' ROW ADJUSTMENT = 8.50' ROW LENGTH +12.0" END STONE X 2 = 10.50' BASE LENGTH
- 2 ROWS X 52.0" WIDE + 6.0" SPACING X 1 + 12.0" SIDE STONE X 2 = 11.17' BASE WIDTH
- 6.0" BASE + 30.5" CHAMBER HEIGHT + 6.0" COVER = 3.54' FIELD HEIGHT
- 2 CHAMBERS X 52.2 CF +1.50' ROW ADJUSTMENT X 7.45 SF X 2 ROWS = 126.7 CF CHAMBER STORAGE
- 415.3 CF FIELD - 126.7 CF CHAMBERS = 288.6 CF STONE X 40.0% VOIDS = 115.4 CF STONE STORAGE

CHAMBER STORAGE + STONE STORAGE = 242.1 CF > 185 CF, OK
OVERALL STORAGE EFFICIENCY = 58.3%
OVERALL SYSTEM SIZE = 10.50' X 11.17' X 3.54'

OVERVIEW

DRAWDOWN:
DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]
1. BOTTOM AREA OF CHAMBERS: 10.50 FT x 11.17 FT = 117.3 S.F.
2. PROVIDED STORAGE: 242.1 C.F.
3. HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
4. DW = 242.1 C.F. / [0.08 FT/HR x 117.3 S.F.] = 25.8 HRS < 72 HRS, THEREFORE OK

4. DW = 242.1 P.C. / [0.0314748 X 117.5]

DRIVEWAY AREA: 1,467 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 1,467 S.F. X 0.

DESIGN CALCS:

INSTALL A 2'(W)X

VOID AREA: 40%

MINIMUM LENGTH OF TRENCH: 157 FT

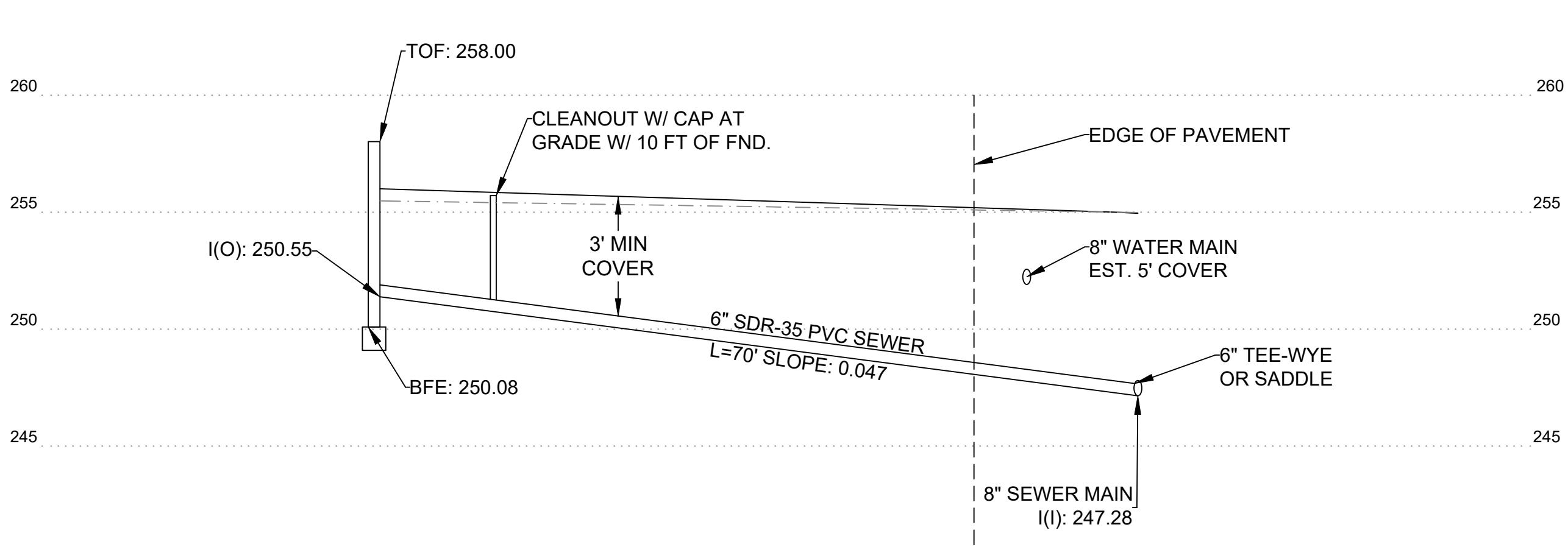
TOTAL STORAGE

DRAWDOWN:

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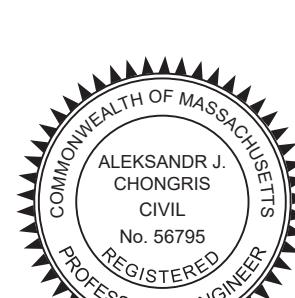
1. BOTTOM AREA OF CHAMBERS: 157 FT x 2 FT = 314 S.F.
2. PROVIDED STORAGE: 252 C.F.
3. HYDRAULIC CONDUCTIVITY = 1.00 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)

SITE PLAN

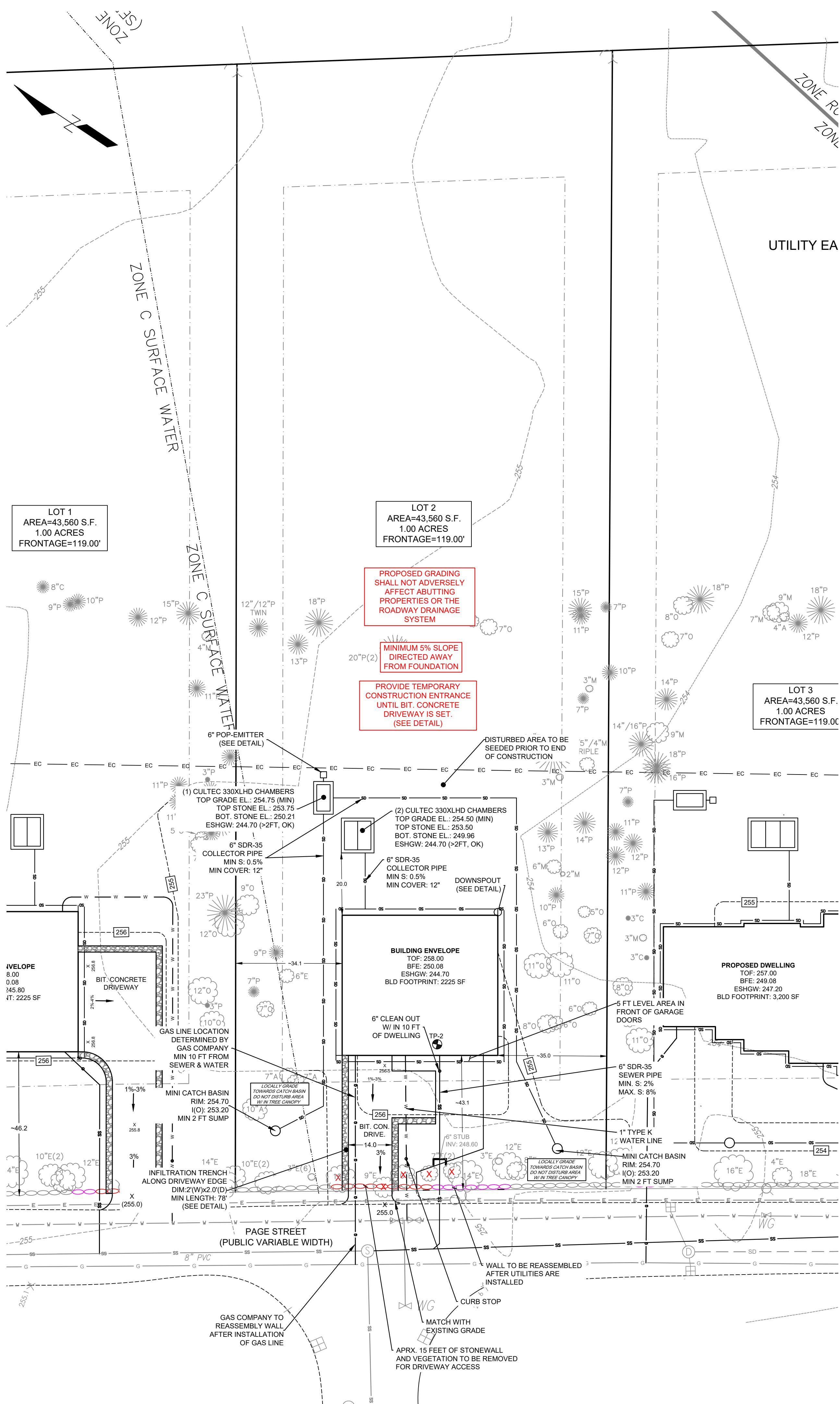


SEWER PROFILE

V: 1" : 5'



A circular logo with a scalloped edge containing the words "PROFESSIONAL ENGINEERING" in a serif font. The logo is partially obscured by a blue ink signature.



ZONING RC: DIMENSION REQUIREMENTS		
LOT 1	REQUIRED	PROPOSED
MIN AREA (S.F.)	40,000	43,560
MIN LOT FRONTAGE (FT)	100	119 ²
FRONT SETBACK (FT)	35	43.1
SIDE SETBACK (FT)	15	34.1
REAR SETBACK (FT)	40	>40
MAX BUILDING AREA (%)	25	6
MIN. OPEN SPACE (%)	50	>50

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STORMWATER CALCULATION:

ROOF AREA INFILTRATION SYSTEM):

FOOTPRINT AREA: 2,225 S.F. (collected)

TOTAL VOLUME

DESIGN CALCS:

- 52.0" WIDE + 6.0" SPACING = 58.0" C-C ROW SPACING
- 1 CHAMBERS/ROW X 7.00' LONG +1.50' ROW ADJUSTMENT = 8.50' ROW LENGTH +12.0" END STONE X 2 = 10.50' BASE LENGTH
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CHAMBER STORAGE + STONE STORAGE = 242.1 CF > 185 CF, OK
OVERALL STORAGE EFFICIENCY = 58.3%
OVERALL SYSTEM SIZE = 10.50' X 11.17' X 3.54'

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

1. BOTTOM AREA OF CHAMBERS: 10.50 FT x 11.17 FT = 117.3 S.F.
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3. HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)

4. DW = 242.1 C.I / [0.081 MIRX]

DRIVEWAY AREA: 820 S.E. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 820 S.F. X 0.083 FT. = 68.1 C.F.

DESIGN CALCS:

INSTALL A 2'(W)x2'(H) STONE INFILTRATION

VOID AREA: 40%

MINIMUM LENGTH

TOTAL STORAGE: 40 % x 2 FT x 2 FT x 78 FT = 125 C.F.

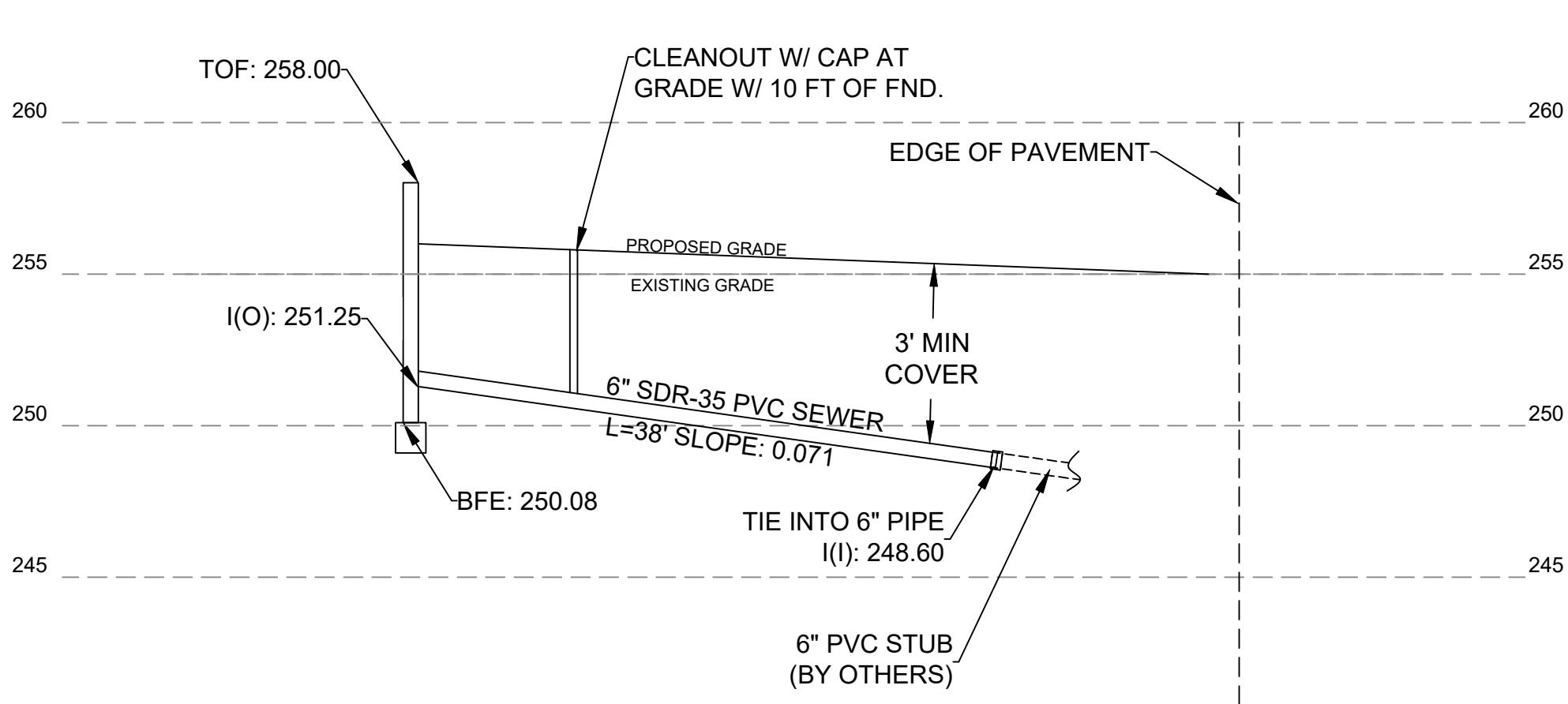
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DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

1. BOTTOM AREA OF CHAMBERS: 78 FT x 2 FT = 156 S.F.
2. PROVIDED STORAGE: 125 C.F.
3. HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)

SITE PLAN

1" : 20'



SEWER PROFILE

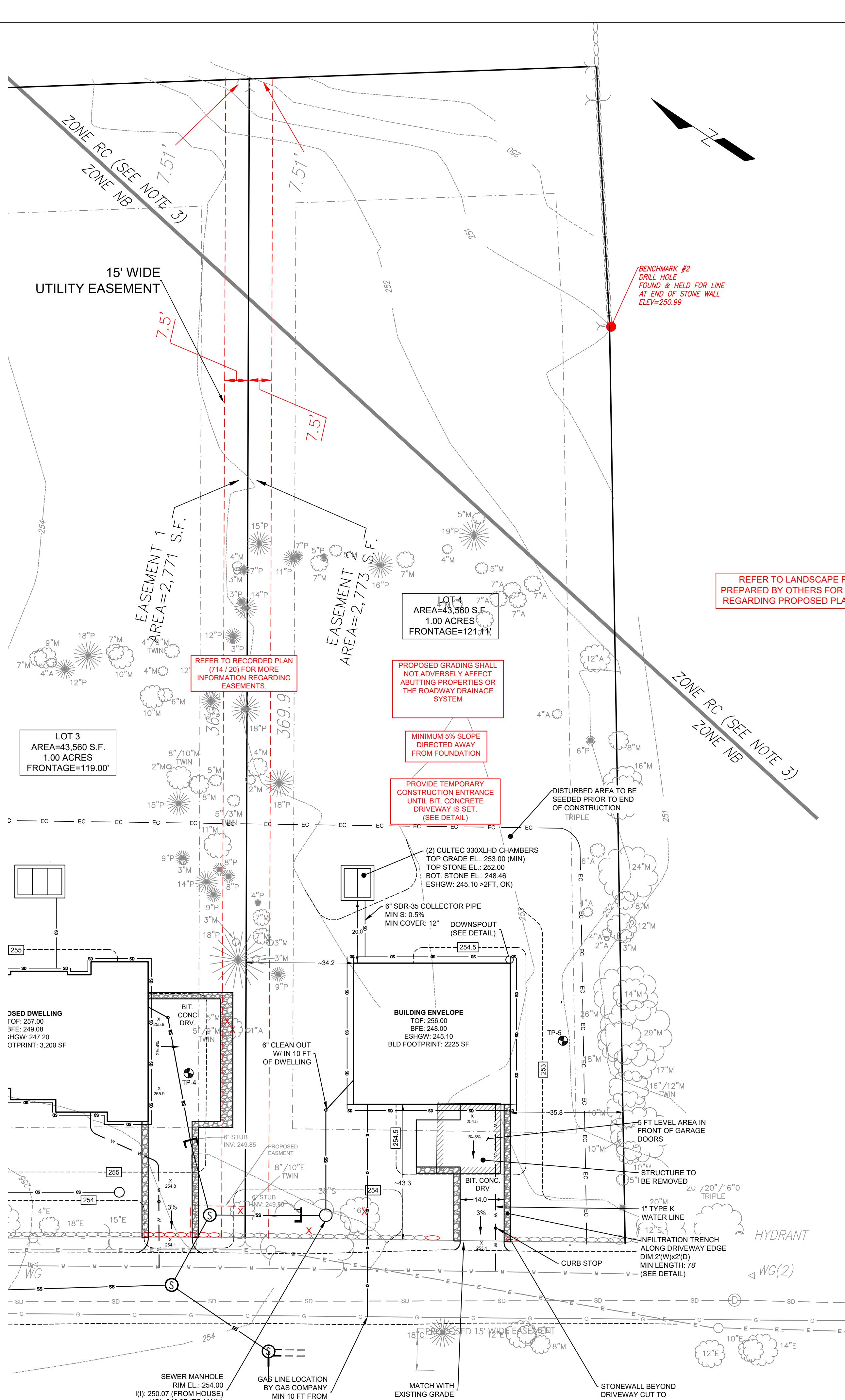
VER PRO

V· 1" · 5'

H: 1" : 10'

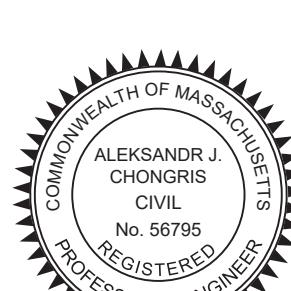
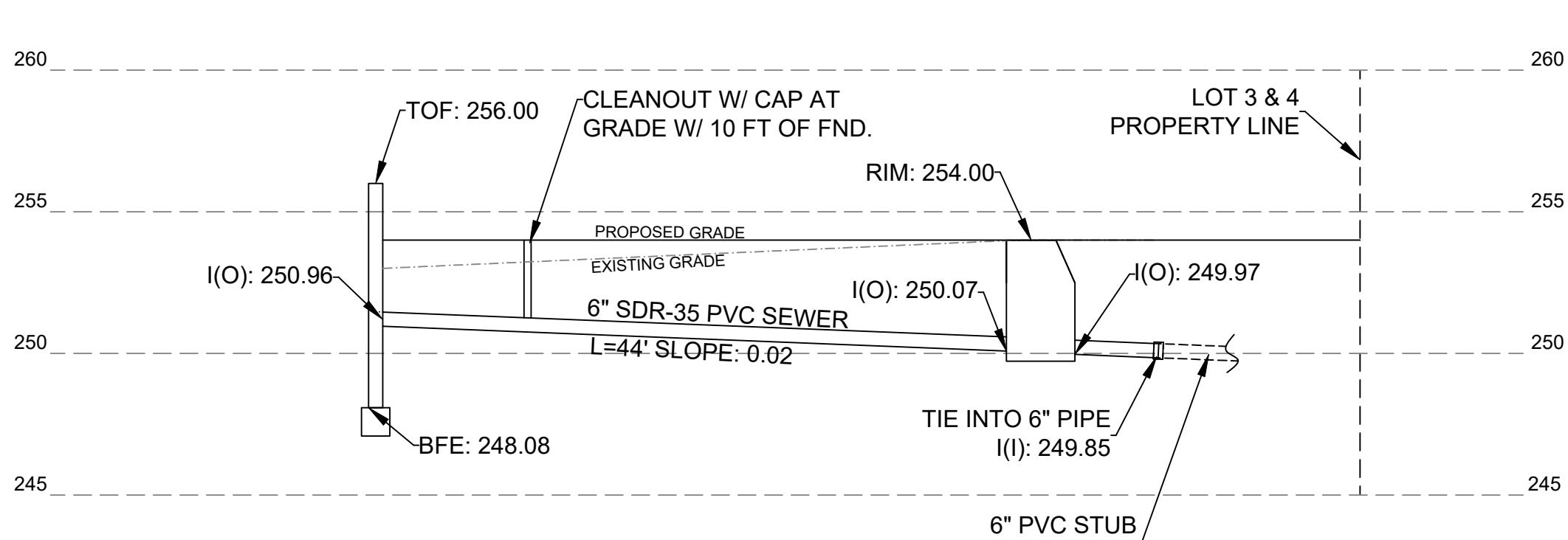
Michael May

Prepared By: CHONGRIS ENGINEERING 256 Beacon Street Andover, MA 01810 978-655-0885 chongrisengineering.com	Plan Title: PAGE STREET STOUGHTON, MA LOTS 1 -4 PERMIT SET NOT FOR CONSTRUCTION	Owner: Able Realty LLC (Jay Bullens) 156 Farm Street Dover, MA 617-828-3370				
	Date: 04/04/2024	Applicant: DMITRY DEYCH				
	Drawn by: AJC	LOT 2 SITE PLAN LAYOUT	2	08/12/24	TOWN COMMENTS	
	Approved by: AJC	SHEET 4 OF 7	1	08/05/24	TOWN COMMENTS	
			Rev. No.	Rev. Date	Description	



SITE PLAN

1" · 20'

<div[](https://imgur.com/500px/500px.png) (A large blue rectangular box with a faint watermark of a map and the text 'Mass Dept of Enviro' at the top right)

