

Prepared By:

CHONGRIS
ENGINEERING

256 Beacon Street
Andover, MA 01810
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COMMONWEALTH OF MASSACHUSETTS
ALEKSANDR J. CHONGRIS
CIVIL
No. 56755
REGISTERED
PROFESSIONAL ENGINEER

Plan Title:
PAGE STREET STOUGHTON, MA
LOTS 1 - 4 PERMIT SET

NOT FOR CONSTRUCTION

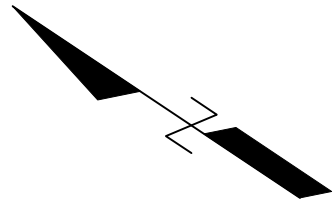
Owner:
Able Realty LLC (Jay Bullens)
156 Farm Street Dover, MA
617-828-3370

Applicant:
DMITRY DEYCH
DIAMOND BUILDERS CORP.
12 POST OFFICE SQUARE, SHARON,
MA 02067
617-828-3370
DMITRYDEYCH@GMAIL.COM

Property Information:
0 PAGE STREET, STOUGHTON, MA
PARCEL ID: 095-03,059,060,061
BOOK, PAGE: 40727, 314
REC PLAN: 714 / 20

2	08/12/24	TOWN COMMENTS
1	08/05/24	TOWN COMMENTS
Rev. No.	Rev. Date	Description
Date: 04/04/2024		
Drawn by:		AJC
Approved by:		AJC
LOT 1 - 4 PROPOSED GRADING AND UTILITY PLAN		
SCALE:		AS NOTED
SHEET 2 OF 7		

LOCUS
NTS



ZONING RC: DIMENSION REQUIREMENTS		
LOT 1	REQUIRED	PROPOSED
MIN AREA (S.F.)	40,000	43,560
MIN LOT FRONTAGE (FT)	100	119'
FRONT SETBACK (FT)	35	46.2
SIDE SETBACK (FT)	15	19.2
REAR SETBACK (FT)	40	>40
MAX BUILDING AREA (%)	25	6
MIN. OPEN SPACE (%)	50	>50
NOTE:		
1. REFERENCED FROM TOWN OF STOUGHTON ZONING "200 ATTACHMENT 3		
TABLE OF DIMENSIONAL AND DENSITY REGULATIONS"		
2. FROM PLAN NOTED IN BASE PLAN NOTE #1		

SETBACKS FROM PROPERTY LINE REFERENCE A SURVEY PLAN PREPARED BY A.S. ELLIOT. ACTUAL LOCATION OF HOUSE & DRIVEWAY TO BE CERTIFIED AND STAKED OUT BY A PLS.

STORMWATER CALCULATION:

ROOF AREA INFILTRATION SYSTEM):

FOOTPRINT AREA: 2,225 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 2,225 S.F. X 0.083 FT. = 185 C.F.

DESIGN CALCS:

USE TWO CULTEC 330XL CHAMBERS

- 52.0" WIDE + 6.0" SPACING = 58.0" C-C ROW SPACING
- 1 CHAMBERS/ROW X 7.00' LONG +1.50' ROW ADJUSTMENT = 8.50' ROW LENGTH +12.0" END STONE X 2 = 10.50' BASE LENGTH
- 2 ROWS X 52.0" WIDE + 6.0" SPACING X 1 + 12.0" SIDE STONE X 2 = 11.17' BASE WIDTH
- 6.0" BASE + 30.5" CHAMBER HEIGHT + 6.0" COVER = 3.54' FIELD HEIGHT
- 2 CHAMBERS X 52.2 CF +1.50' ROW ADJUSTMENT X 7.45 SF X 2 ROWS = 126.7 CF CHAMBER STORAGE
- 415.3 CF FIELD - 126.7 CF CHAMBERS = 288.6 CF STONE X 40.0% VOIDS = 115.4 CF STONE STORAGE

CHAMBER STORAGE + STONE STORAGE = 242.1 CF > 185 CF, OK
OVERALL STORAGE EFFICIENCY = 58.3%
OVERALL SYSTEM SIZE = 10.50' X 11.17' X 3.54'

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

- BOTTOM AREA OF CHAMBERS: 10.50 FT x 11.17 FT = 117.3 S.F.
- PROVIDED STORAGE: 242.1 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 242.1 C.F. / [0.08 FT/HR x 117.3 S.F.] = 25.8HRS < 72 HRS, THEREFORE OK

DRIVEWAY INFILTRATION TRENCHES:

DRIVEWAY AREA: 1,467 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 1,467 S.F. X 0.083 FT. = 122 C.F.

DESIGN CALCS:

INSTALL A 2'(W)x2'(H) STONE INFILTRATION TRENCH ALONG THE EDGE OF THE DRIVEWAY.

VOID AREA: 40%

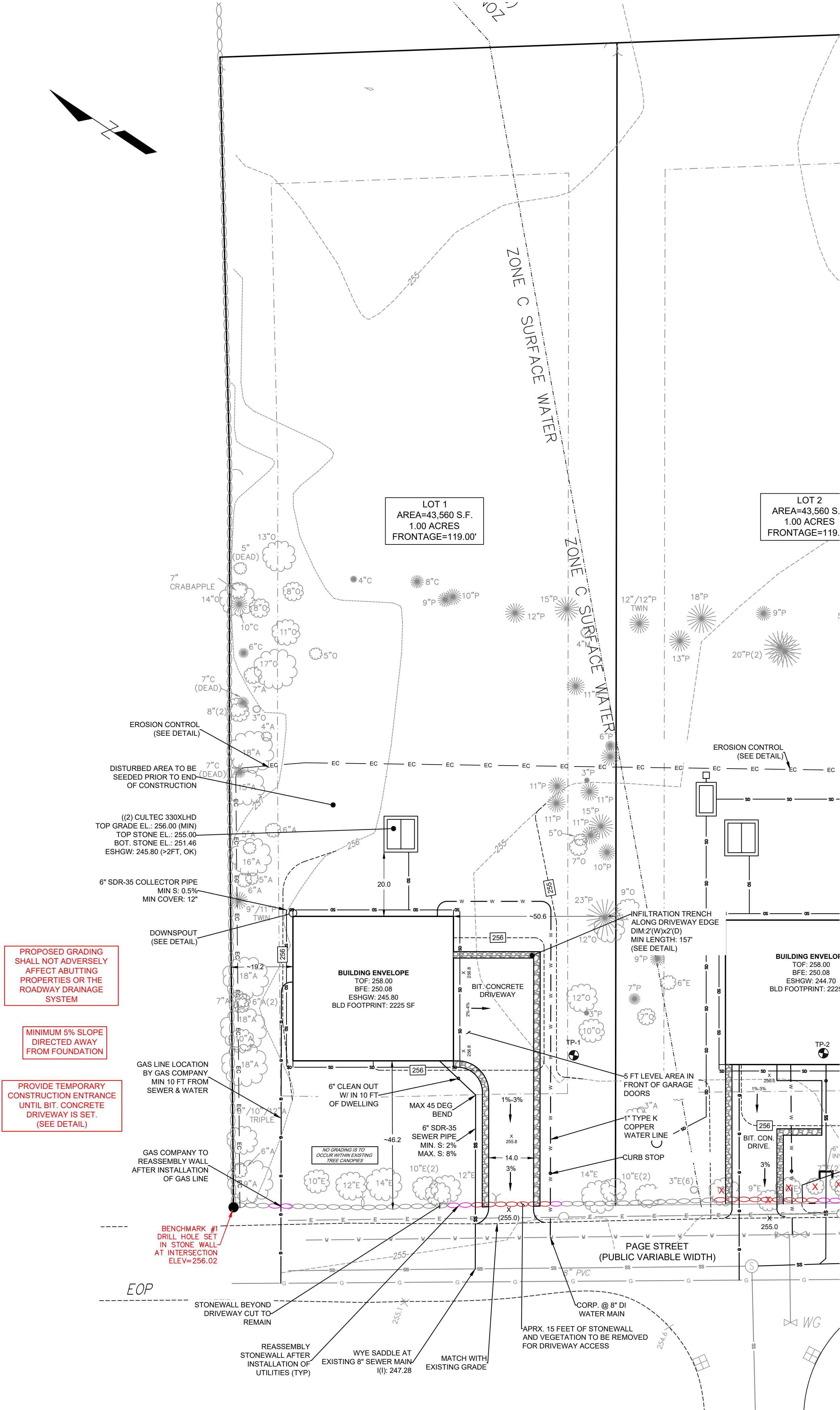
MINIMUM LENGTH OF TRENCH: 157 FT

TOTAL STORAGE: 40% x 2 FT x 2 FT x 157 FT = 252 C.F.

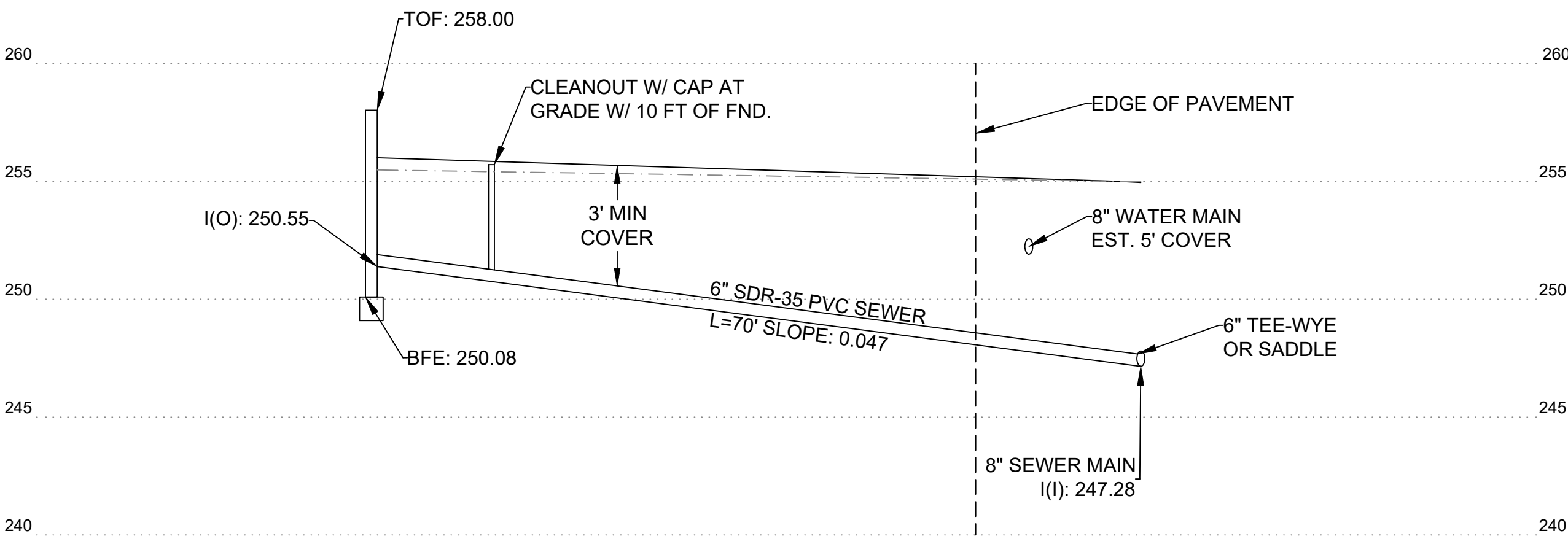
DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

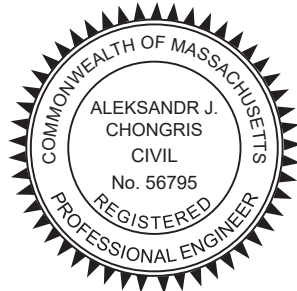
- BOTTOM AREA OF CHAMBERS: 157 FT x 2 FT = 314 S.F.
- PROVIDED STORAGE: 252 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 252 C.F. / [0.08 FT/HR x 314 S.F.] = 10 HRS < 72 HRS, OK



SITE PLAN
1" : 20'



SEWER PROFILE
V: 1" : 5'
H: 1" : 10'



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Approved by: AJC

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DMITRY DEYCH

LOT 1 SITE PLAN LAYOUT

SHEET 3 OF 7

2

08/12/24

TOWN COMMENTS

1

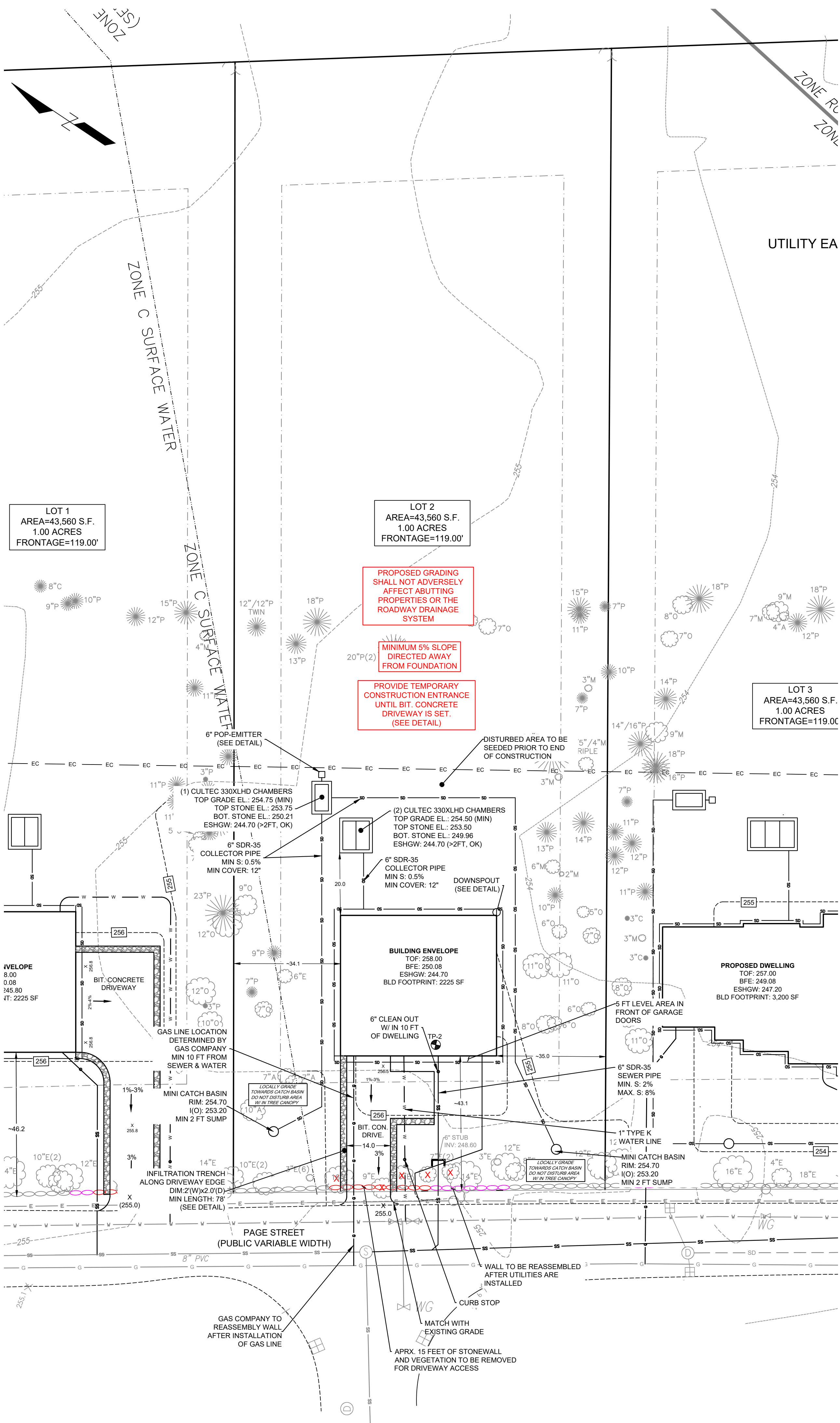
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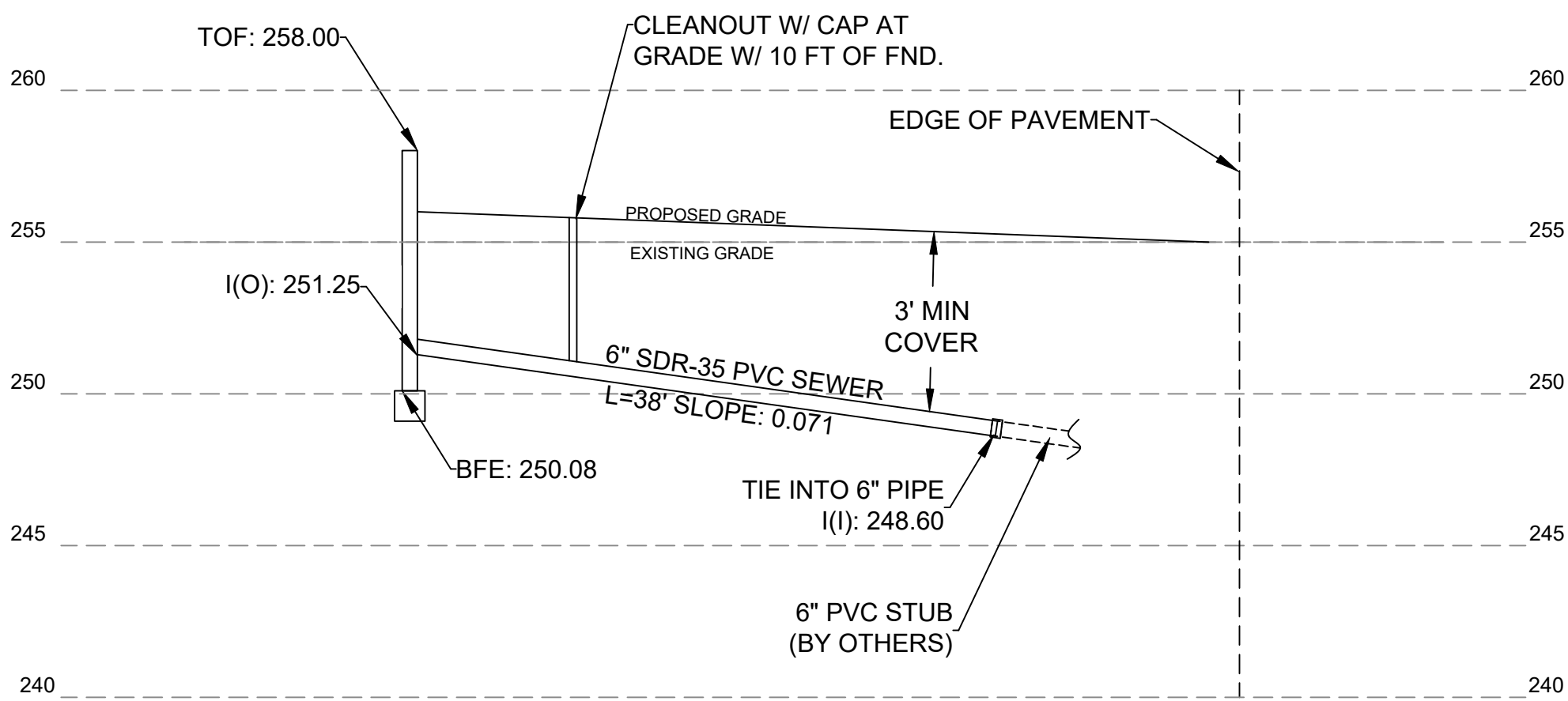
Rev. No.

Rev. Date

Description



SITE PLAN
1" : 20'



SEWER PROFILE
V: 1" : 5'
H: 1" : 10'

ZONING RC: DIMENSION REQUIREMENTS		
LOT 1	REQUIRED	PROPOSED
MIN AREA (S.F.)	40,000	43,560
MIN LOT FRONTAGE (FT)	100	119'
FRONT SETBACK (FT)	35	43.1
SIDE SETBACK (FT)	15	34.1
REAR SETBACK (FT)	40	>40
MAX BUILDING AREA (%)	25	6
MIN. OPEN SPACE (%)	50	>50
NOTE: 1. REFERENCED FROM TOWN OF STOUGHTON ZONING "200 ATTACHMENT 3 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS" 2. FROM PLAN NOTED IN BASE PLAN NOTE #1		

SETBACKS FROM PROPERTY LINE REFERENCE A SURVEY PLAN PREPARED BY A.S. ELLIOT.
ACTUAL LOCATION OF HOUSE & DRIVEWAY TO BE CERTIFIED AND STAKED OUT BY A PLS.

STORMWATER CALCULATION:

ROOF AREA INFILTRATION SYSTEM):

FOOTPRINT AREA: 2,225 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 2,225 S.F. X 0.083 FT. = 185 C.F.

DESIGN CALCS:

USE TWO CULTREC 330XL CHAMBERS

- 52.0" WIDE + 6.0" SPACING = 58.0" C-C ROW SPACING
- 1 CHAMBERS/ROW X 7.00' LONG +1.50' ROW ADJUSTMENT = 8.50' ROW LENGTH +12.0" END STONE X 2 = 10.50' BASE LENGTH
- 2 ROWS X 52.0" WIDE + 6.0" SPACING X 1 + 12.0" SIDE STONE X 2 = 11.17' BASE WIDTH
- 6.0" BASE + 30.5" CHAMBER HEIGHT + 6.0" COVER = 3.54' FIELD HEIGHT
- 2 CHAMBERS X 52.2 CF +1.50' ROW ADJUSTMENT X 7.45 SF X 2 ROWS = 126.7 CF CHAMBER STORAGE
- 415.3 CF FIELD - 126.7 CF CHAMBERS = 288.6 CF STONE X 40.0% VOIDS = 115.4 CF STONE STORAGE

CHAMBER STORAGE + STONE STORAGE = 242.1 CF > 185 CF. OK
OVERALL STORAGE EFFICIENCY = 58.3%
OVERALL SYSTEM SIZE = 10.50' X 11.17' X 3.54'

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

- BOTTOM AREA OF CHAMBERS: 10.50 FT x 11.17 FT = 117.3 S.F.
- PROVIDED STORAGE: 242.1 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 242.1 C.F. / [0.08 FT/HR x 117.3 S.F.] = 25.8HRS < 72 HRS, THEREFORE OK

DRIVEWAY INFILTRATION SYSTEM):

DRIVEWAY AREA: 820 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 820 S.F. X 0.083 FT. = 68.1 C.F.

DESIGN CALCS:

INSTALL A 2'(W)x2'(H) STONE INFILTRATION TRENCH ALONG THE EDGE OF THE DRIVEWAY.

VOID AREA: 40%

MINIMUM LENGTH OF TRENCH: 86 FT

TOTAL STORAGE: 40% x 2 FT x 2 FT x 78 FT = 125 C.F.

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

- BOTTOM AREA OF CHAMBERS: 78 FT x 2 FT = 156 S.F.
- PROVIDED STORAGE: 125 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 125 C.F. / [0.08 FT/HR x 156 S.F.] = 10 HRS < 72 HRS, OK



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Applicant:
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LOT 2 SITE PLAN LAYOUT

SHEET 4 OF 7

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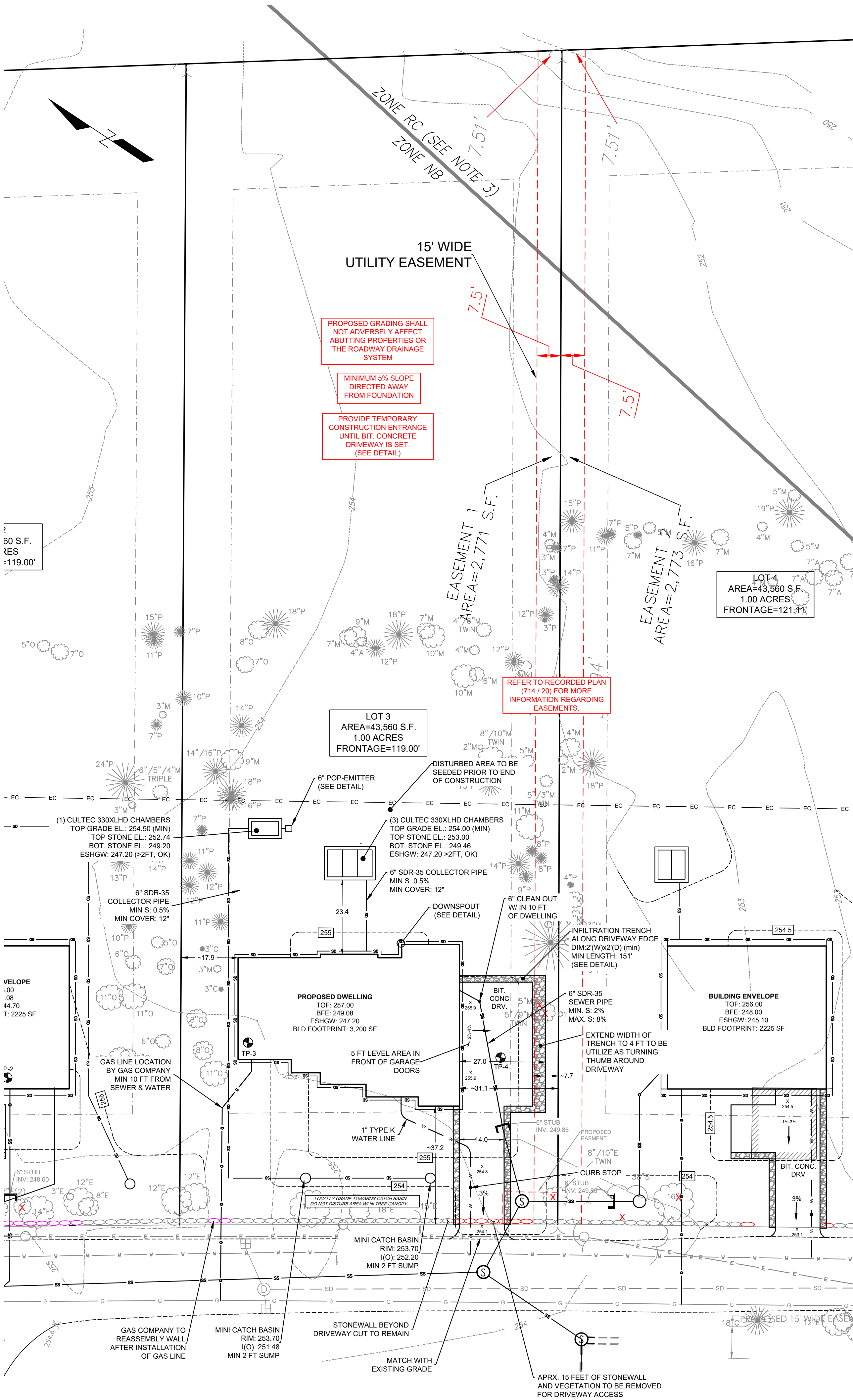
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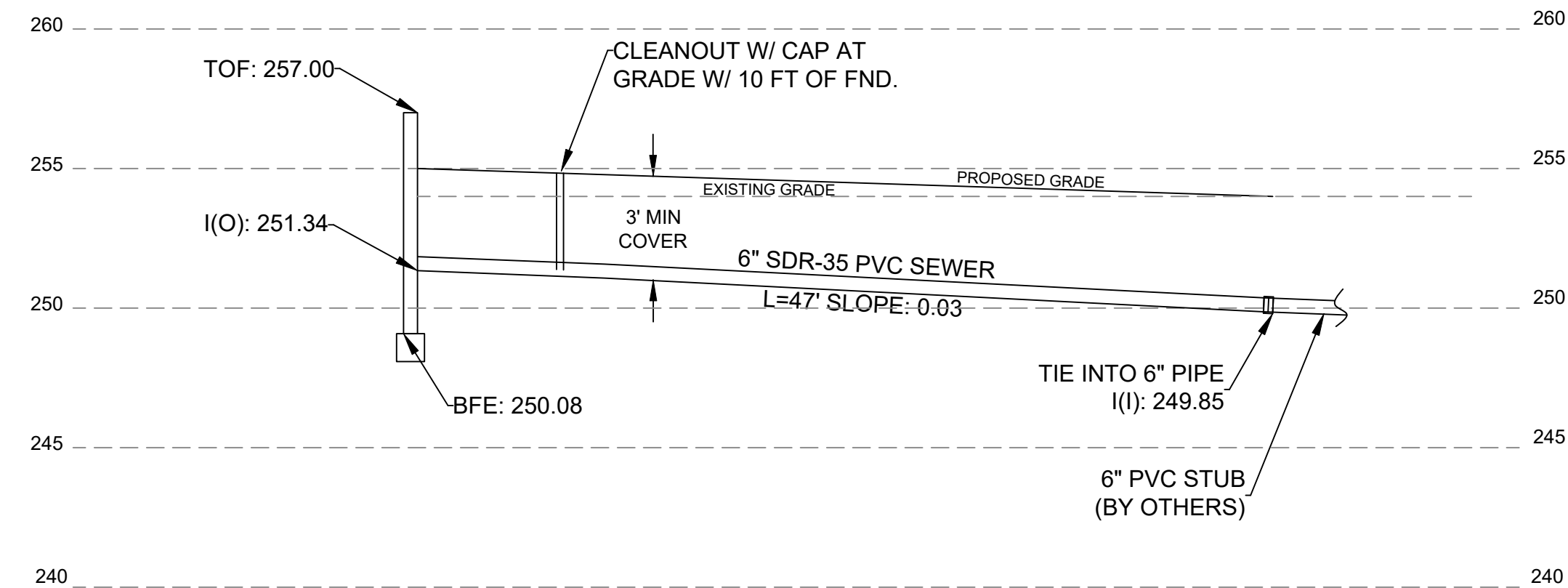
Description

TOWN COMMENTS

TOWN COMMENTS



SITE PLAN
1" : 20'



SEWER PROFILE
V: 1" : 5'
H: 1" : 10'

ZONING RC: DIMENSION REQUIREMENTS		
LOT 1	REQUIRED	PROPOSED
MIN AREA (S.F.)	40,000	43,560
MIN LOT FRONTAGE (FT)	100	119'
FRONT SETBACK (FT)	35	37.2
SIDE SETBACK (FT)	15	17.9
REAR SETBACK (FT)	40	>40
MAX BUILDING AREA (%)	25	7
MIN. OPEN SPACE (%)	50	>50
NOTE: 1. REFERENCED FROM TOWN OF STOUGHTON ZONING '200 ATTACHMENT 3 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS" 2. FROM PLAN NOTED IN BASE PLAN NOTE #1		

SETBACKS FROM PROPERTY LINE REFERENCE A SURVEY PLAN PREPARED BY A.S. ELLIOT. ACTUAL LOCATION OF HOUSE & DRIVEWAY TO BE CERTIFIED AND STAKED OUT BY A PLS.

STORMWATER CALCULATION:

ROOF AREA INFILTRATION SYSTEM):

FOOTPRINT AREA: 3,200 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 3,200 S.F. X 0.083 FT. = 257 C.F.

DESIGN CALCS:

- 52.0" WIDE + 6.0" SPACING = 58.0" C-C ROW SPACING
- 1 CHAMBERS/ROW X 7.00' LONG +1.50' ROW ADJUSTMENT = 8.50' ROW LENGTH +12.0" END STONE X 2 = 10.50' BASE LENGTH
- 3 ROWS X 52.0" WIDE + 6.0" SPACING X 2 + 12.0" SIDE STONE X 2 = 16.00' BASE WIDTH
- 6.0" BASE + 30.5" CHAMBER HEIGHT + 6.0" COVER = 3.54' FIELD HEIGHT
- 3 CHAMBERS X 52.2 CF +1.50' ROW ADJUSTMENT X 7.45 SF X 3 ROWS = 190.0 CF CHAMBER STORAGE
- 595.0 CF FIELD - 190.0 CF CHAMBERS = 405.0 CF STONE X 40.0% VOIDS = 162.0 CF STONE STORAGE

CHAMBER STORAGE + STONE STORAGE = 352.0 CF = 0.008 AF
OVERALL STORAGE EFFICIENCY = 59.2%
OVERALL SYSTEM SIZE = 10.50' X 16.00' X 3.54'

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

- BOTTOM AREA OF CHAMBERS: 10.50 FT x 16 FT = 168 S.F.
- PROVIDED STORAGE: 352 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 352 C.F. / [0.08 FT/HR x 168 S.F.] = 26.2 HRS < 72 HRS, THEREFORE OK

DRIVEWAY INFILTRATION SYSTEM):

DRIVEWAY AREA: 1,417 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 1,417 S.F. X 0.083 FT. = 118 C.F.

DESIGN CALCS:

INSTALL A 2'(W)x2.0'(H) STONE INFILTRATION TRENCH ALONG THE EDGE OF THE DRIVEWAY.

VOID AREA: 40%

MINIMUM LENGTH OF TRENCH: 151 FT

TOTAL STORAGE: 40% x 2 FT x 2 FT x 151FT = 242 C.F.

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

- BOTTOM AREA OF CHAMBERS: 151 FT x 2 FT = 302 S.F.
- PROVIDED STORAGE: 242 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 242 C.F. / [0.08 FT/HR x 302 S.F.] = 10 HRS < 72 HRS, OK



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Plan Title:

PAGE STREET STOUGHTON, MA
LOTS 1 -4 PERMIT SET
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DMITRY DEYCH

LOT 2 SITE PLAN LAYOUT

SHEET 4 OF 7

2

08/12/24

TOWN COMMENTS

1

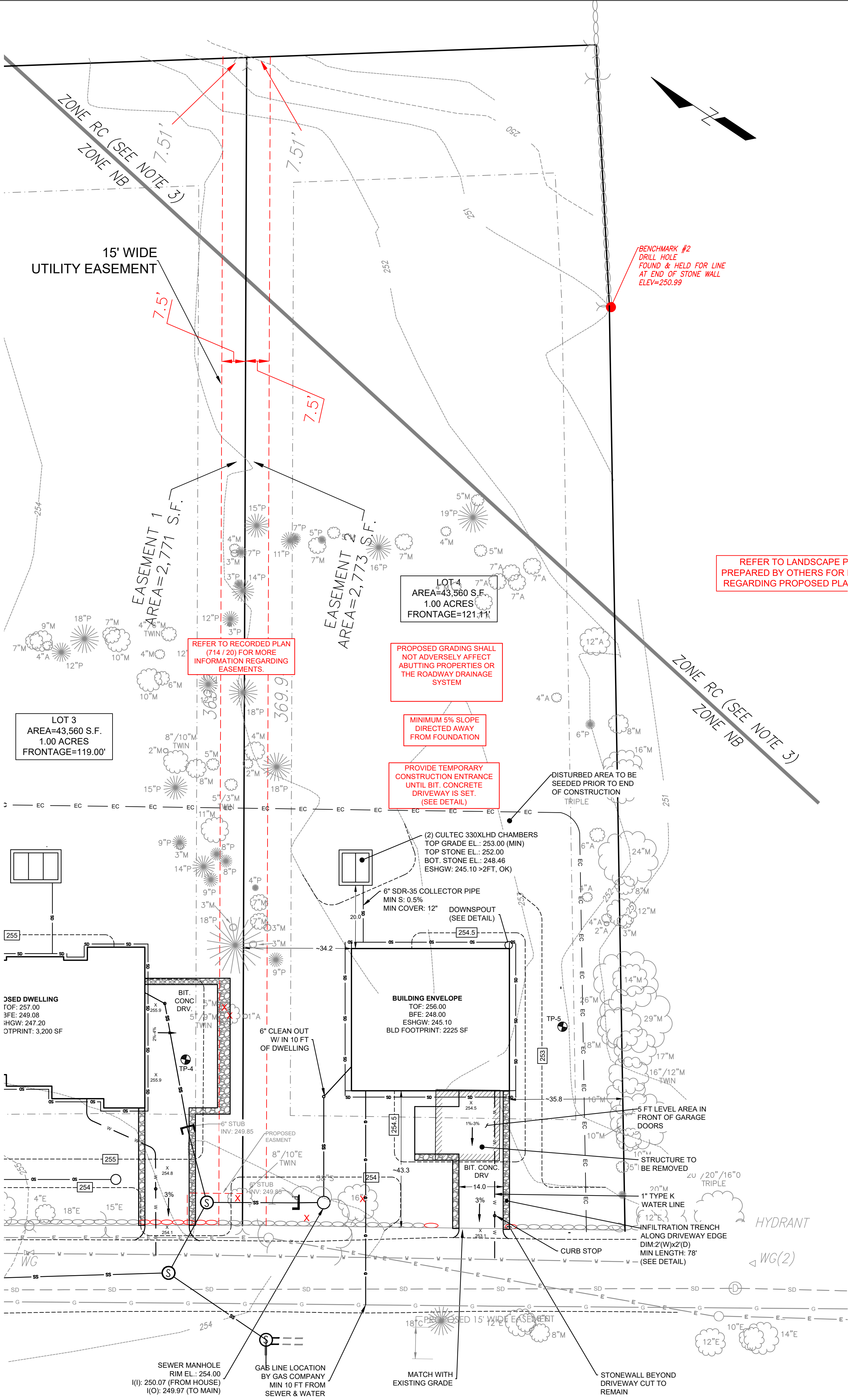
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TOWN COMMENTS

Rev. No.

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Description



ZONING RC: DIMENSION REQUIREMENTS		
LOT 1	REQUIRED	PROPOSED
MIN AREA (S.F.)	40,000	43,560
MIN LOT FRONTAGE (FT)	100	121.11 ²
FRONT SETBACK (FT)	35	43.3
SIDE SETBACK (FT)	15	34.2
REAR SETBACK (FT)	40	>40
MAX BUILDING AREA (%)	25	6
MIN. OPEN SPACE (%)	50	>50
NOTE: 1. REFERENCED FROM TOWN OF STOUGHTON ZONING "200 ATTACHMENT 3 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS" 2. FROM PLAN NOTED IN BASE PLAN NOTE #1		

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STORMWATER CALCULATION:

ROOF AREA INFILTRATION SYSTEM):

FOOTPRINT AREA: 2,225 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 2.225 S.F. X 0.083 FT. = 185 C.F.

DESIGN CALCS:

USE TWO CULTEC 330XL CHAMBERS

- 52.0" WIDE + 6.0" SPACING = 58.0" C-C ROW SPACING
- 1 CHAMBERS/ROW X 7.00' LONG +1.50' ROW ADJUSTMENT = 8.50' ROW LENGTH +12.0' END STONE X 2 = 10.50' BASE LENGTH
- 2 ROWS X 52.0" WIDE + 6.0" SPACING X 1 + 12.0" SIDE STONE X 2 = 11.17' BASE WIDTH
- 6.0" BASE + 30.5" CHAMBER HEIGHT + 6.0" COVER = 3.54' FIELD HEIGHT
- 2 CHAMBERS X 52.2 CF +1.50' ROW ADJUSTMENT X 7.45 SF X 2 ROWS = 126.7 CF CHAMBER STORAGE
- 415.3 CF FIELD - 126.7 CF CHAMBERS = 288.6 CF STONE X 40.0% VOIDS = 115.4 CF STONE STORAGE

CHAMBER STORAGE + STONE STORAGE = 242.1 CF > 185 CF, OK

OVERALL STORAGE EFFICIENCY = 58.3%

OVERALL SYSTEM SIZE = 10.50' X 11.17' X 3.54'

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

- BOTTOM AREA OF CHAMBERS: 10.50 FT x 11.17 FT = 117.3 S.F.
- PROVIDED STORAGE: 242.1 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 242.1 C.F. / [0.08 FT/HR x 117.3 S.F.] = 26.8HRS > 72 HRS, THEREFORE OK

DRIVEWAY INFILTRATION SYSTEM):

DRIVEWAY AREA: 882 S.F. (collected)

TOTAL VOLUME FROM 1.0-INCH RAIN : 882 S.F. X 0.083 FT. = 74 C.F.

DESIGN CALCS:

INSTALL A 2'(W)x2'(H) STONE INFILTRATION TRENCH ALONG THE EDGE OF THE DRIVEWAY.

VOID AREA: 40%

MINIMUM LENGTH OF TRENCH: 78 FT

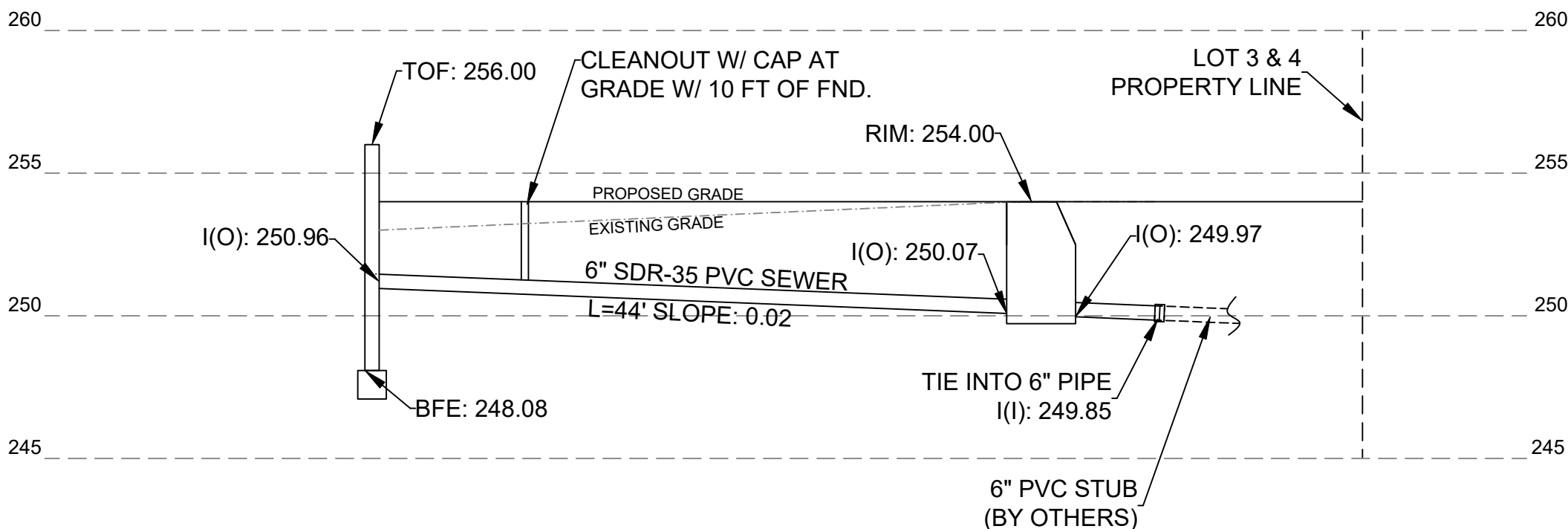
TOTAL STORAGE: 40% x 2 FT x 2 FT x 78 FT = 125 C.F.

DRAWDOWN:

DRAWDOWN TIME (DW): VOLUME (C.F.)/[HYDRAULIC COND. (FT.HR) x BOTTOM AREA (S.F.)]

- BOTTOM AREA OF CHAMBERS: 78 FT x 2 FT = 156 S.F.
- PROVIDED STORAGE: 125 C.F.
- HYDRAULIC CONDUCTIVITY = 1.02 IN/HR = 0.08 FT/HR (RAWLS RATE, SANDY LOAM)
- DW = 125 C.F. / [0.08 FT/HR x 156 S.F.] = 10.0 HRS < 72 HRS, OK

SITE PLAN
1" : 20'



SEWER PROFILE
V: 1" : 5'
H: 1" : 10'



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LOT 4 SITE PLAN LAYOUT

SHEET 6 OF 7

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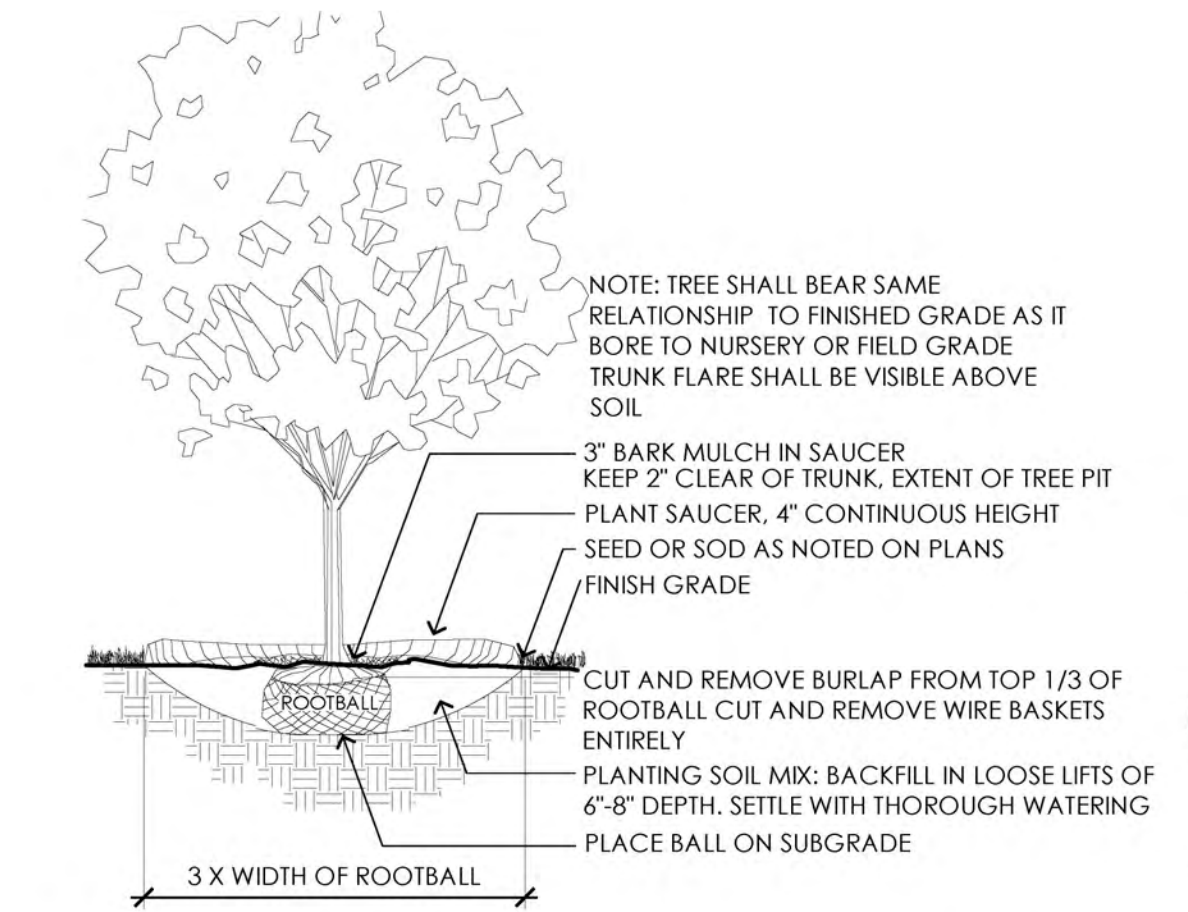
TOWN COMMENTS

NOTES

- DO NOT SCALE DRAWINGS.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE ELECTRONIC FILES PROVIDED BY CHONGRIS ENGINEERING, ANDOVER, MA AND DATED 02/20/2024.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, CONSERVATION COMMISSION NOTICE OF INTENT, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHTS-OF-WAY SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE MUNICIPAL HIGHWAY DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS STANDARDS.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- OWNER'S REPRESENTATIVE TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- SAFE USE OF MULCH IS REGULATED THROUGH 527 CMR 1.00, SECTION 10.13.10.4, THE REGULATION PROHIBITS THE NEW APPLICATION OF MULCH WITHIN 18" AROUND COMBUSTIBLE EXTERIORS OF BUILDINGS, SUCH AS WOOD OR VINYL, BUT NOT BRICK OR CONCRETE. RESIDENTIAL BUILDINGS WITH SIX UNITS OR LESS ARE EXEMPTED FROM THE REGULATION, BUT ENCOURAGED TO ADOPT THE PRACTICE. THE REGULATION APPLIES TO ALL OTHER BUILDINGS INCLUDING COMMERCIAL PROPERTIES. THE MAINTENANCE EDGE SHOWN IN THE PROJECT DETAIL SHEET SHALL BE USED IN PLANT BEDS WITHIN 18" OF A COMBUSTIBLE BUILDING SURFACE.
- ALL PLANT BEDS SHALL BE EDGED IN 4-INCH COMMERCIAL GRADE BLACK STEEL LANDSCAPE EDGING.
- PLANTING SOIL MIX SHALL BE COMPRISED OF LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER SHALL BE ADDED PER RATES RECOMMENDED IN SOILS ANALYSIS.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL AND SEEDED.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.

SUGGESTED PLANT SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	QTY	INSTALL SIZE	MATURE SIZE & GROWTH RATE*
LOT 1					
AC	AMELANCHIER CANADENSIS	SERVICEBERRY	1	6-8' HT., B&B	Height of 15-25, spread of 15-20' at maturity; moderate growth rate, increases up to 1-ft per year.
CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2	2 - 2 1/2" CAL., B&B	Height of 20-30, spread of 20-35' at maturity; moderate growth rate, increases approximately 1-ft per year.
BP	BETULA PAPIRYFERA	HERITAGE RIVER BIRCH	2	10-12' HT., B&B	Height of 50-70', spread of 25-50' at maturity; fast growth rate, height increases from 18" to 24" per year.
QP	QUERCUS PALUSTRIS	PIN OAK	2	2 - 2 1/2" CAL., B&B	Height of 60-80', spread of 40-50' at maturity; fast growth rate, with height increases of up to 24" per year.
TA	TILIA AMERICANA	AMERICAN BASSWOOD	1	2 - 2 1/2" CAL., B&B	Height of 60-80', spread of 30-60' at maturity; fast growth rate, with height increases of 13-24" per year.
LAWN	GENERAL LAWN SEED MIX		SEED		
PLANT SPECIFICATION ABBREVIATIONS: CAL - CALIPER (DIAMETER) OF TRUNK; HT - HEIGHT; B&B - BALLED & BURLAPPED ROOTBALL					
*About Growth Rate: Rate of growth refers to the vertical increase in growth unless specified differently. Rate, as is true for size, is influenced by numerous variables such as soil, drainage, water, fertility, light, exposure, ad infinitum. Arborday.org Tree Guide citing Manual of Woody Landscape Plants, by Michael Dirr					



1 TYPICAL DECIDUOUS TREE PLANTING



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Plan Title:

PAGE STREET STOUGHTON, MA

LOTS 1-4 PERMIT SET

NOT FOR CONSTRUCTION

Owner:

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Applicant:

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Property Information:

0 PAGE STREET, STOUGHTON, MA

PARCEL ID: 095-03,059,060,061

BOOK, PAGE: 40727, 314

REC PLAN: 714 / 20



Rev. No. Rev. Date Description

Date: 04/05/2024

Drawn by: RBLA

Approved by: RAB

LOT 1 - 4 PROPOSED PLANTING PLAN

SCALE: AS NOTED

SHEET 7 OF 7