

# Site Development Plans

COVER - GENERAL NOTES - LEGEND SHEET

Issued for : Site Plan Review

Date Issued - March 28, 2023

Revised - October 16, 2023

Job Number - 2022-143

## Index

No.	Drawing Title	Date
C-1	Cover-General Notes-Legend Sheet	03-28-2023
C-2	Planning Board Decision	03-28-2023
C-3	Existing Conditions Plan	03-28-2023
C-4	Master Plan	03-28-2023
C-5	Layout & Materials Plan	03-28-2023
C-5A	Truck Turn Plan	03-28-2023
C-6	Grading & Drainage Plan	03-28-2023
C-7	Landscape & Development Plan	03-28-2023
C-8	Sediment & Erosion Control Plan	03-28-2023
C-9	Utility Plan	03-28-2023
C-10	Details	03-28-2023
C-11	Details	03-28-2023
C-12	Details	03-28-2023
C-13	Details	03-28-2023

Architectural Plans (by others)  
Lighting Plan (by others)

## ABBREVIATION LEGEND

EOP	EDGE OF PAVEMENT
VGC	VERTICAL GRANITE CURB
CB	CATCH BASIN
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
UP	UTILITY POLE
CCB	CAPE COD BERM
WG	WATER GATE
GG	GAS GATE
BC	BOTTOM OF CURB
TC	TOP OF CURB
LSA	LANDSCAPED AREA
BW	BOTTOM OF WALL
TW	TOP OF WALL
CC	CONCRETE CURB
EMH	ELECTRIC MANHOLE
DS	DOWN SPOUT
CO	CLEAN OUT



## GENERAL NOTES

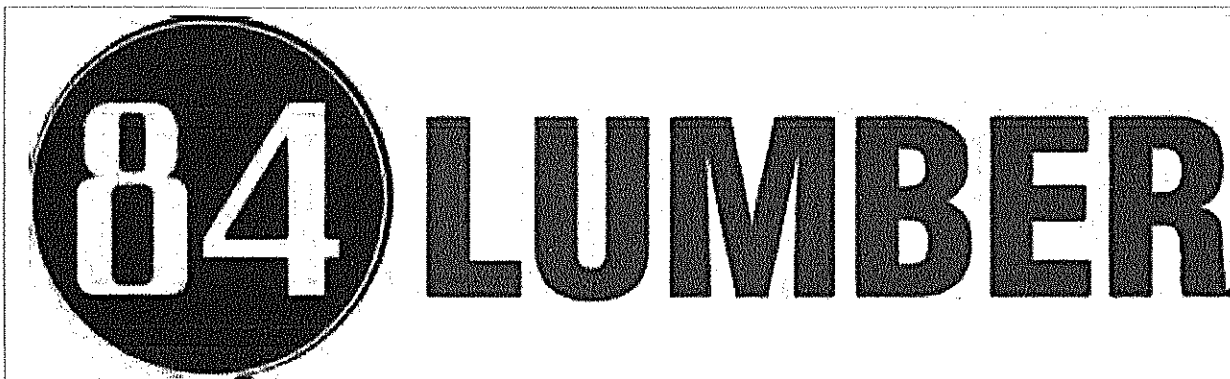
- ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS TO BE LESS THAN 5%.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO J K HOLMGREN ENGINEERING. CONTRACTOR WILL REFER TO J K HOLMGREN ENGINEERING FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET". (R&R)
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO J K HOLMGREN ENGINEERING. CONTRACTOR WILL REFER TO J K HOLMGREN ENGINEERING FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED AND SEEDS. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 4" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM, OR OTHER SURFACE.
- THE CONTRACTOR SHALL WATER, MOW, AND FERTILIZE LAWN AREAS UNTIL SATISFACTORY GRASS STANDS, AND/OR THE OWNER OR ITS REPRESENTATIVE IS SATISFIED
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND ITS REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, ITS ENGINEER OR REPRESENTATIVE.
- FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE AS DESIGNED, REVIEWED AND APPROVED BY THE PLANNING BOARD.
- THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARANCE WORK.
- ALL ELECTRICAL, TELEPHONE, AND LOCAL FIRE DEPARTMENT CONDUITS ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING AND CONCRETE AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- PROPOSED MANHOLE RIMS & GRATES ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK. IF ANY CONFLICTS ARE DISCOVERED NOTIFY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR POLE RELOCATION, AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOWN OF STOUGHTON PUBLIC WORKS CONSTRUCTION LICENSE.
- A STABILIZED CONSTRUCTION EXIT TO BE PUT IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- REMOVE SNOW FROM SITE AS NECESSARY AND DO NOT PLACE ON TOWN PROPERTY.
- THE MAINTENANCE OF THE DRAINAGE SYSTEM IS THE OWNERS RESPONSIBILITY (POST-CONSTRUCTION). THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE SYSTEM DURING CONSTRUCTION.
- ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.
- THE SITE IS NOT LOCATED IN A DEP WELL HEAD PROTECTION DISTRICT.
- THE SITE IS NOT LOCATED IN A NHESP ESTIMATED OR PRIORITY HABITAT OF RARE SPECIES.

# Proposed Building

## Page Street, Stoughton, Norfolk County, Massachusetts

For :

# 84 Lumber Co.



Applicant :

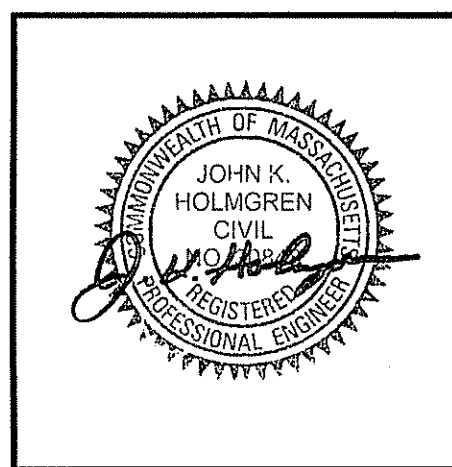
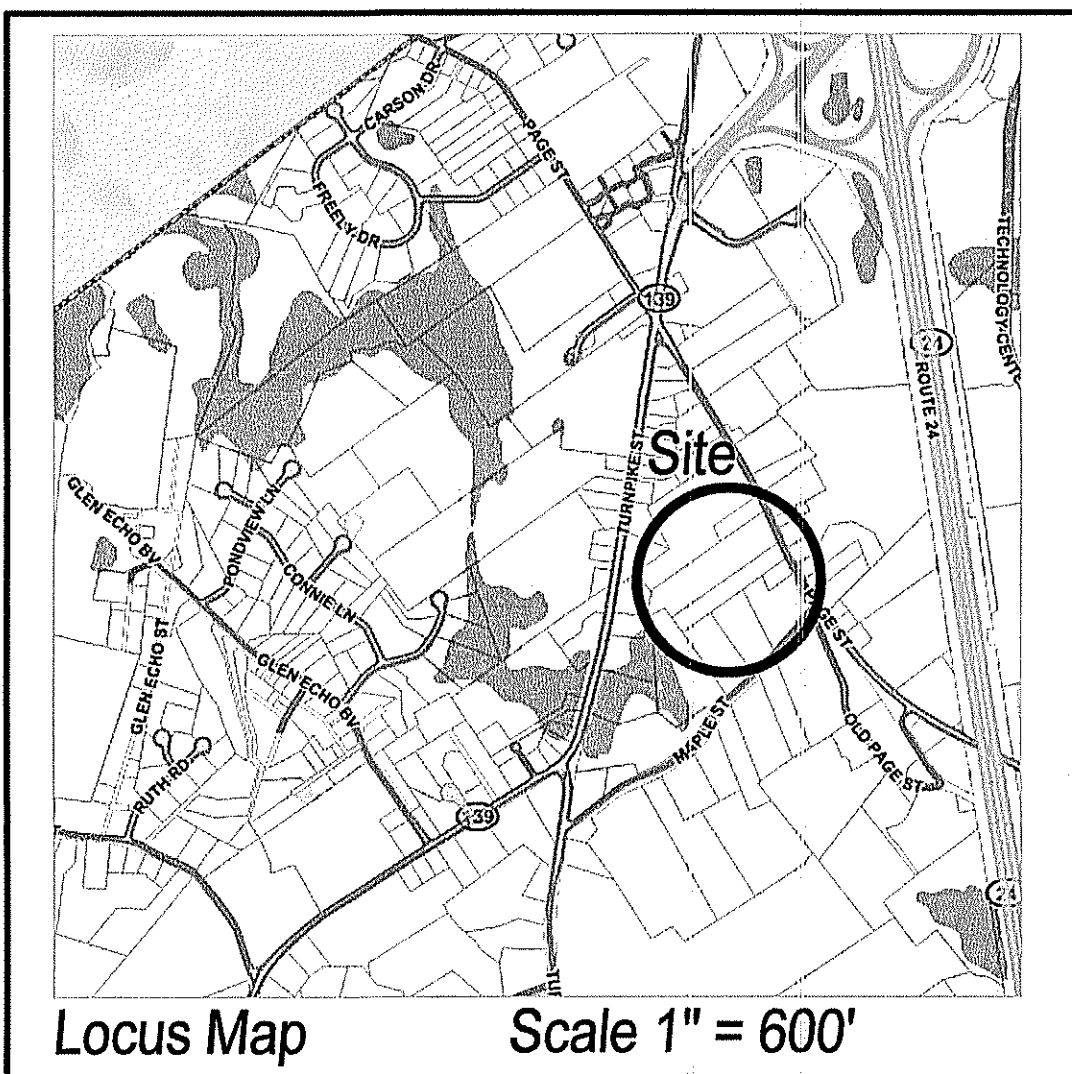
84 Lumber Co.  
C/O James Zaunich  
1019 Route 5A, Building 5  
Eighty Four, PA 15330

Owner :

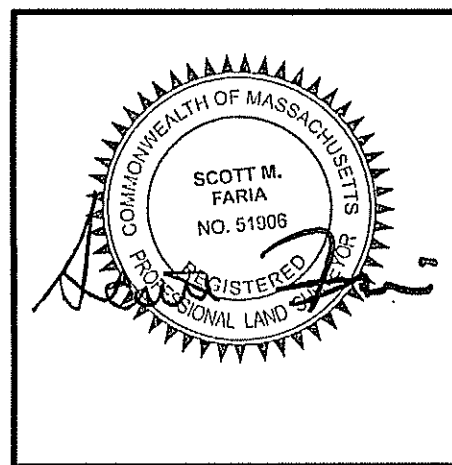
Gioioso Francesco & Ferrante  
58 Sprague Street  
Hyde Park, MA 02136

Design Engineer/Surveyor :

J.K. HOLMGREN ENGINEERING LLC.  
Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595  
Email: Sfaria@jkholmgren.com



ENGINEER:  
JOHN K. HOLMGREN  
MASSACHUSETTS REGISTERED  
PROFESSIONAL ENGINEER REG# 30848



SURVEYOR:  
SCOTT M. FARIA  
MASSACHUSETTS REGISTERED  
PROFESSIONAL LAND SURVEYOR REG# 51906

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors

○ = Construction Revision  
Blank = Submittal Action  
△ = Plan Revision

REV.	BY:	DATE:	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

DATE: 03/28/2023

# C-1

DRAWING NUMBER

H:\2022\2022-143 84 Lumber, Plot 27&28 Page SL, Stoughton\CIVIL\DESIGN\2022-143C01V2.dwg  
Job # 2022-143

RECEIVED  
STOUGHTON, MASS  
2023 AUG 25 A 9 05

TOWN OF STOUGHTON  
MA 02072

PLANNING BOARD  
Site Plan Approval  
84 Lumber Company  
0 Page Street  
0 Page Street  
for  
Case # RSP23-003

Date: August 24, 2023

Applicant: 84 Lumber Company, c/o James Zau Stoughton Town Clerk, 02072  
1019 Route 5A, Building 5  
Eighty Four, PA 15330

Owner: Francesco & Fernanda Gioiosa  
Trustee of Sprague Realty Trust  
58 Sprague Street  
Hyde Park, MA 02136

Representative: J.K. Holmgren Engineering, LLC  
1024 Pearl Street  
Brockton, MA 02301

Property: Page Street  
Stoughton, MA 02072  
Assessors Map 94, Lots 27 & 28  
Book 8708, Page: 458  
Book 8909, Page: 523

I) Introduction  
On March 30, 2023, applicant, 84 Lumber Company (the "Applicant"), filed an application for Site Plan Review under Section 10A.2 for the proposed development of a 0.027 +/- of new building, with site development of 11 parking spaces, loading areas, landscaping, utilities and storm drainage (the "Project"). The project is located at 0 Page Street (Assessors Map 94 Lots 27 & 28 the "Property").

0 Page Street - 84 Lumber Company - Site Plan Approval - Case RSP23-003 1

II) Project Summary  
As described in the application materials and the below referenced Site Plan, the Property is a +/- 0.027-acre site that is currently used as an outdoor staging and storage area for 84 Lumber Company. The Project comprises the proposed development of 8,825 sq ft of new building area with site development of 11 parking spaces, loading areas, landscaping, utilities and storm drainage.

The Property is located within an I (Industrial) Zoning District. The proposed Project is a permitted use within the I Zoning District and requires Site Plan Review approval.

III) Procedural History  
A) A pre application meeting was held on March 9, 2023 with Town Staff.  
B) Application for Site Plan Approval was made by the above referenced applicant and owner and filed with the Planning Board on March 30, 2023.  
C) The land shown on the Site Plan is located at 0 Page Street and shown on Assessors Map 94 Lots 27 & 28 in an I (Industrial) Zoning District.  
D) A Public hearing on the Site Plan Application was held on May 11, 2023 and continued to June 9, 2023, July 13, 2023, and August 24, 2023.  
E) The hearing was advertised on April 26, 2023 and May 3, 2023 in the Patriot Ledger.  
F) On August 24, 2023, the public hearing was closed and on August 24, 2023, the Planning Board voted to approve the Site Plan request, plans dated March 28, 2023 revised through June 15, 2023.

IV) Application Submittals  
1. Application for Site Plan Approval was made by the above referenced applicant/owner and filed with the Planning Board on March 30, 2023. Application submittal included plans dated March 28, 2023.  
2. Site Plan entitled "84 Lumber Co., proposed building, 0 Page Street, Stoughton, Massachusetts" prepared by J.K. Holmgren Engineering, LLC, dated March 28, 2023 revised through June 15, 2023.  
3. Site Plan Application and Letter prepared by J.K. Holmgren Engineering, LLC, dated March 28, 2023.  
4. Certified list of abutters dated March 24, 2023.  
5. Development Impact Report prepared by J.K. Holmgren Engineering, LLC, dated March 28, 2023.  
6. Stormwater Management & Land Disturbance Permit application prepared by J.K. Holmgren Engineering, LLC, dated March 28, 2023.  
7. Noise Survey and Impact Predictions report prepared by Noise Control Engineering, dated June 22, 2023.

0 Page Street - 84 Lumber Company - Site Plan Approval - Case RSP23-003 2

V) Related Documents  
1. Copy of the Legal Public Hearing notice from the edition of the Patriot Ledger dated April 26, 2023 and May 3, 2023.  
2. Technical Engineering Review Letter dated May 4, 2023 submitted by Craig Horsfall, Assistant Town Engineer and William Roth, Town Planner.  
3. Applicant response letters to technical review memo prepared by J.K. Holmgren Engineering, LLC, dated June 12, 2023, and June 16, 2023.  
4. Drainage Calculations and Stormwater Management Plan prepared by J.K. Holmgren Engineering, LLC, dated March 28, 2023 and revised May 31, 2023.

VI) Findings and Determinations  
After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and by Town staff, the Board finds that the Project meets Section 10A.1 as well as 10A.2 through 10A.12. Specifically, the Board has examined each of the criteria set forth in Section 10A.1 and finds as follows:  
1. The location of the building, uses and other site development(s) are properly and legally located on the Property as prescribed by the Zoning Bylaw.  
2. Adjacent properties are sufficiently protected from nuisances(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff and glare of lights.  
3. Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection and methods of solid waste disposal are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.  
4. Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.  
5. Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and well-served by the site. The property is currently being used by the applicant as a staging and outdoor storage area and surrounded by developed properties; therefore, it is an infill development and not burdening services since the area is already developed.  
6. Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.

0 Page Street - 84 Lumber Company - Site Plan Approval - Case RSP23-003 3

7. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department and the Planning Department, the Planning Board analyzed all the comments and reports received. There were meetings with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering Department and Planning Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.

8. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10A "Site Plan Approval" and found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.

VII) Conditions  
A) General Conditions  
1. This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.  
2. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, subject to 10A.6 Site Plan review regulations.  
3. The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.  
4. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.  
5. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.  
6. The project shall be constructed in accordance with any approvals issued relative to the project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.  
7. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.  
8. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.  
9. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a

0 Page Street - 84 Lumber Company - Site Plan Approval - Case RSP23-003 4

building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 28, 2017.

10. The cost of any necessary public hearing, inspection or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.

11. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.

12. Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.

13. A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.

14. All construction shall be in strict conformance with the approved Site Plans dated March 28, 2023 and revised through June 15, 2023.

B) Special Conditions  
1. The applicant shall record the Operation & Maintenance Plans. Proof of recording shall be submitted to the Planning Board and the Engineering Department prior to the issuance of a Building Permit.  
2. The applicant shall clean the entire drainage system at the end of construction.  
3. The applicant shall submit two sets of the construction plans and a PDF to the Engineering Department prior to the issuance of a Building Permit.  
4. A Final As-built Plan (paper copy and PDF) shall be submitted for review by the Engineering Department prior to the Certificate of Occupancy.  
5. The applicant shall consolidate the two lot in to one lot with either a Form A A/R Plan or R/V plan. Proof of consolidation shall be submitted to the Planning Board prior to issuance of a Building Permit.  
6. The hours of operation of the facility shall be from 7:00 am until 6 pm, Monday through Saturday.

VIII) Record of Vote  
The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Special Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.

0 Page Street - 84 Lumber Company - Site Plan Approval - Case RSP23-003 5

On this day of August 24, 2023.

*Daniel Kelly*  
Daniel Kelly, Chairman

*Paul Derruz*  
Paul Derruz, Vice Chairman

*Peter Murphy*  
Peter Murphy

CC: Town Clerk  
Applicant  
Interested Parties

CERTIFICATION:  
The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on August 29, 2023.

FOR THE PLANNING BOARD  
*Daniel Kelly*  
Daniel Kelly, Chairman

0 Page Street - 84 Lumber Company - Site Plan Approval - Case RSP23-003 6

Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE

PLANNING BOARD DECISION

J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595  
Email : sfaria@jkholmgren.com

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors

DATE: 3/28/2023

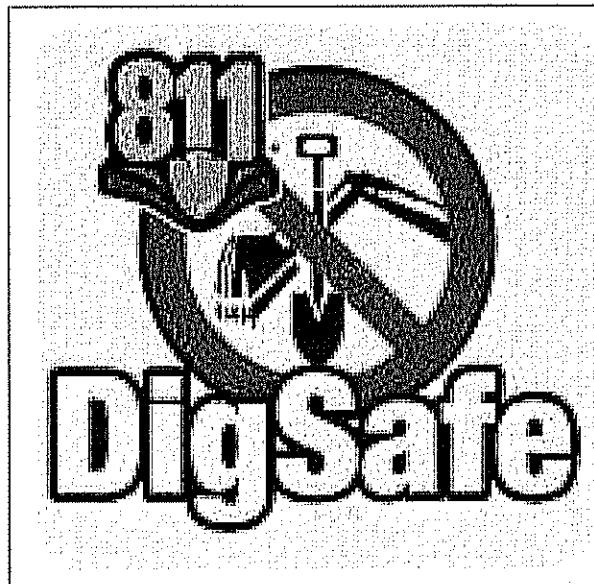
NO.	BY	DATE	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

C-2

DRAWING NUMBER

H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\SURVEY\2022-143EC4.dwg  
2022-143





THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.

## GENERAL NOTES :

ASSESSORS MAP : 94 PARCELS : 28 & 27  
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523  
BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

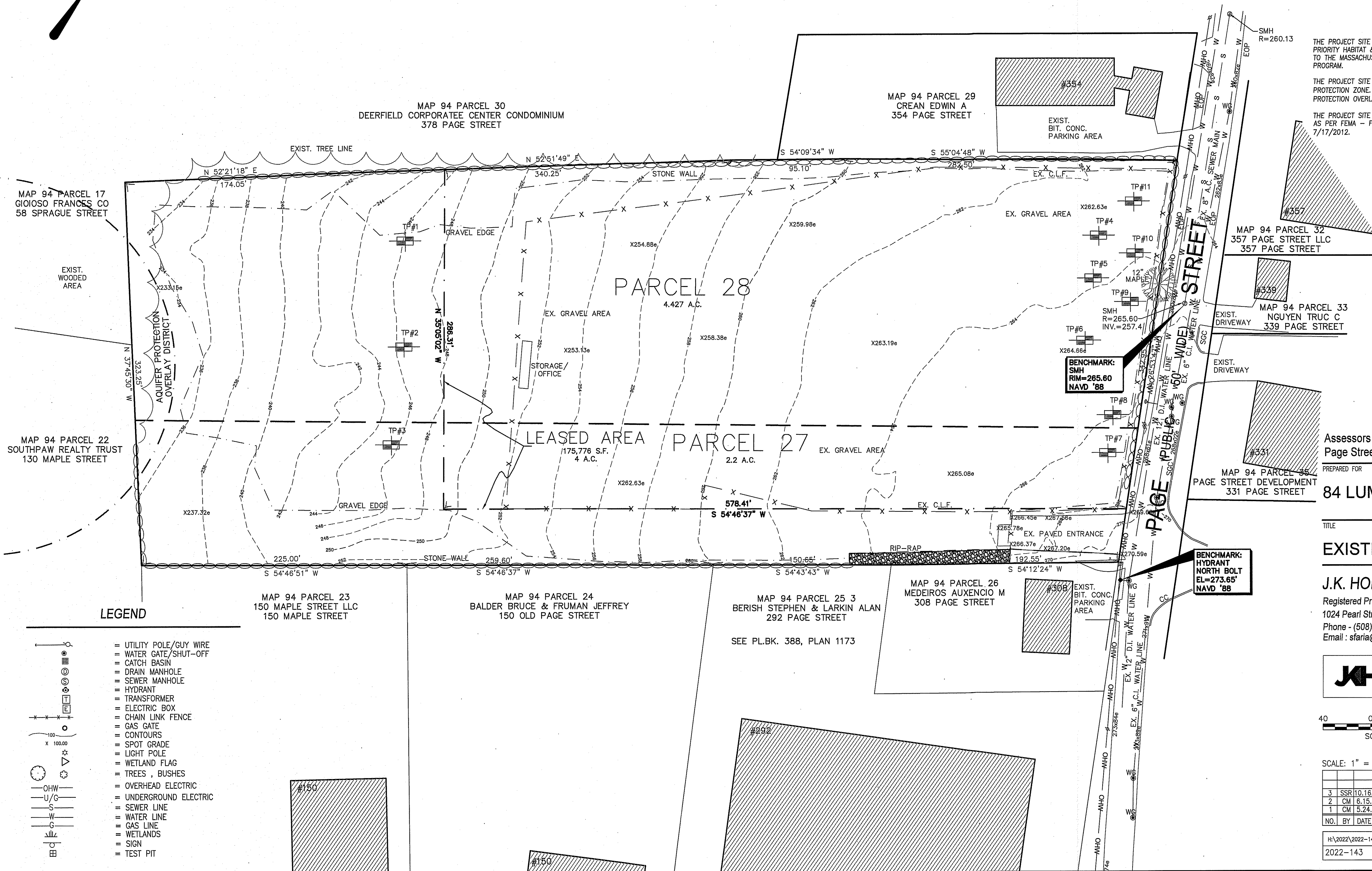
APPLICANT :  
84 LUMBER CO.  
1019 ROUTE 5A, BLDG 5  
EIGHTY FOUR, PA 15330

OWNER :  
GIOIOSO FRANCESCO & FERRANTE  
58 SPRAGUE STREET  
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE. ( REAR OF THE LOCUS IS IN AN AQUIFER PROTECTION OVERLAY DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED 7/17/2012.



Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE

## EXISTING CONDITIONS PLAN

J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595  
Email : sfaria@jkholmgren.com

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors

40 0 40 80  
SCALE IN FEET

SCALE: 1" = 40'

DATE: 3/28/2023

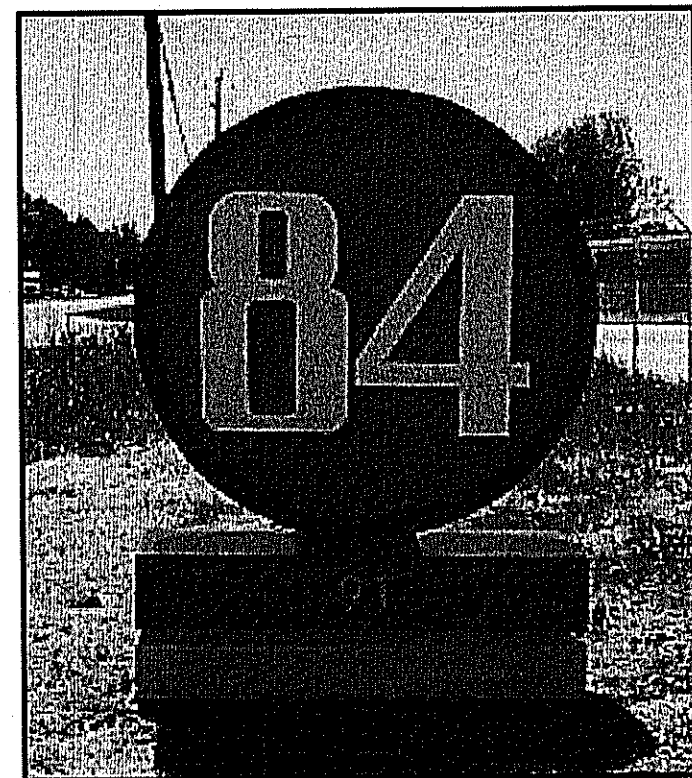
NO.	BY	DATE	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

C-3

DRAWING NUMBER

H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\SURVEY\2022-143EC4.dwg  
2022-143





84 LUMBER ID SIGN  
(NOT TO SCALE)

MAP 94 PARCEL 17  
GIOIOSO FRANCESCO  
58 SPRAGUE STREET

EXIST.  
WOODED  
AREA

MAP 94 PARCEL 22  
SOUTHPAW REALTY TRUST  
130 MAPLE STREET

## LEGEND

- UTILITY POLE/GUY WIRE
- WATER GATE/SHUT-OFF
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- HYDRANT
- TRANSFORMER
- ELECTRIC BOX
- CHAIN LINK FENCE
- GAS GATE
- CONTOURS
- SPOT GRADE
- LIGHT POLE
- WETLAND FLAG
- TREES, BUSHES
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- SEWER LINE
- WATER LINE
- GAS LINE
- WETLANDS
- SIGN
- TEST PIT

MAP 94 PARCEL 23  
150 MAPLE STREET LLC  
150 MAPLE STREET

MAP 94 PARCEL 24  
BALDER BRUCE & FRUMAN JEFFREY  
150 OLD PAGE STREET

MAP 94 PARCEL 25 3  
BERISH STEPHEN & LARKIN ALAN  
292 PAGE STREET

MAP 94 PARCEL 26  
MEDEIROS AUXENCIO M  
308 PAGE STREET

MAP 94 PARCEL 30  
DEERFIELD CORPORATE CENTER CONDOMINIUM  
378 PAGE STREET

MAP 94 PARCEL 29  
CREAN EDWIN A  
354 PAGE STREET

MAP 94 PARCEL 32  
357 PAGE STREET LLC  
357 PAGE STREET

MAP 94 PARCEL 33  
NGUYEN TRUC C  
339 PAGE STREET

MAP 94 PARCEL 35  
PAGE STREET DEVELOPMENT IN  
331 PAGE STREET

## GENERAL NOTES :

ASSESSORS MAP : 94 PARCELS : 28 & 27  
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523  
: BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

APPLICANT :  
84 LUMBER CO.  
1019 ROUTE 5A, BLDG 5  
EIGHTY FOUR, PA 15330

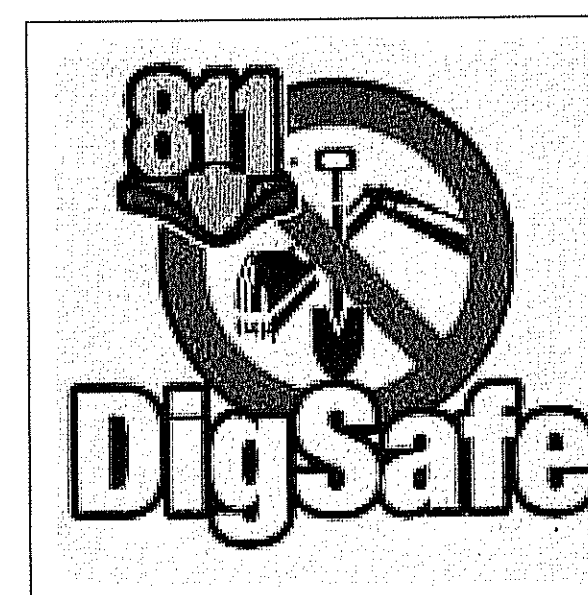
OWNER :  
GIOIOSO FRANCESCO & FERRANTE  
58 SPRAGUE STREET  
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS  
PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING  
TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES  
PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD  
PROTECTION ZONE. ( REAR OF THE LOCUS IS IN AN AQUIFER  
PROTECTION OVERLAY DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X)  
AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED  
7/17/2012.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE  
WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS  
REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL  
EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO  
BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY  
THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR  
SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL  
"DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION  
AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.



Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE

MASTER PLAN

J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595  
Email : sfaria@jkhologren.com

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors

40 0 40 80  
SCALE IN FEET

SCALE: 1" = 40'

DATE: 03/28/2023

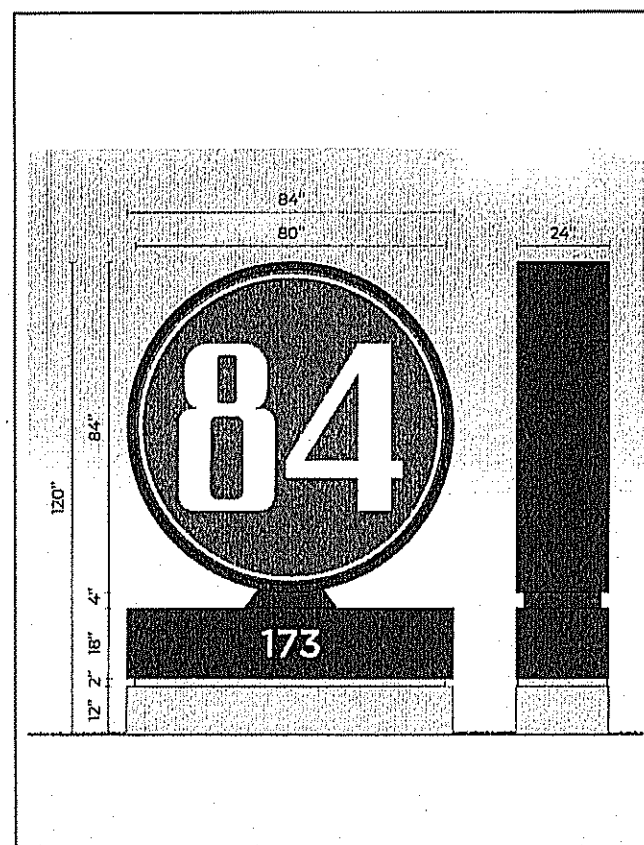
NO.	BY	DATE	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

C-4

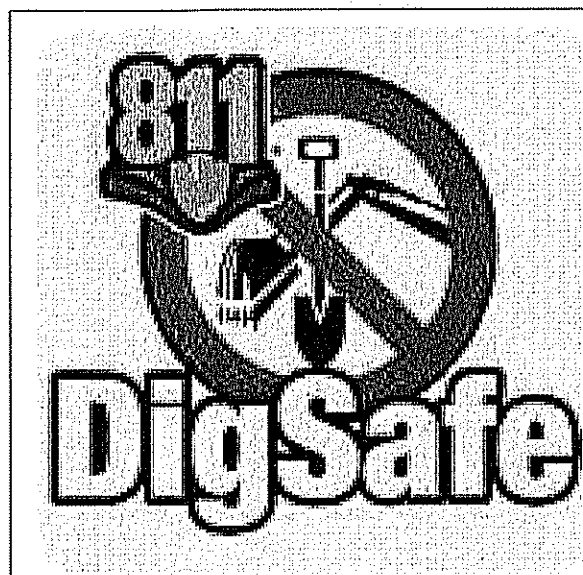
DRAWING NUMBER

H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CIVIL\DESIGN\2022-143SP3.dwg  
2022-143





PROPOSED  
ID SIGN  
NOT TO SCALE



MAP 94 PARCEL 29  
CREAN EDWIN A  
354 PAGE STREET



STREET

MAP 94 PARCEL 32  
357 PAGE STREET LL  
357 PAGE STREET

MAP 94 PARCEL 3  
NGUYEN TRUC C  
339 PAGE STREET

MAP 94 PARCEL 35  
PAGE STREET DEVELOPMENT I  
331 PAGE STREET

## GENERAL NOTES :

ASSESSORS MAP : 94 PARCELS : 28 & 27  
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523  
: BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

APPLICANT :  
84 LUMBER CO.  
1019 ROUTE 5A, BLDG 5  
EIGHTY FOUR, PA 15330

OWNER :  
GIOIOSO FRANCESCO & FERRANTE  
58 SPRAGUE STREET  
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS  
PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING  
TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES  
PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD  
PROTECTION ZONE. ( REAR OF THE LOCUS IS IN AN AQUIFER  
PROTECTION OVERLAY DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X)  
AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED  
7/17/2012.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE  
WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS  
REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL  
EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO  
BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY  
THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR  
SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL  
"DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION  
AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.

## SITE LEGEND

- (A) VERTICAL GRANITE CURB
- (B) 12" STOP BAR
- (C) TRAFFIC FLOW ARROWS (SEE DETAILS)
- (D) 6" WIDE LINE STRIPE
- (E) TACTILE WARNING DEVICE (SEE DETAILS)
- (F) STOP SIGN (RS-8)
- (G) ACCESSIBLE PARKING SIGN
- (H) DRAIN MANHOLE
- (I) SEWER MANHOLE
- (J) LIGHT POLE (SEE LIGHTING PLAN)
- (K) ACCESSIBLE PARKING SYMBOL
- (L) LANDSCAPED AREA
- (M) 5' WIDE CONCRETE SIDEWALK
- (N) ADA RAMP
- (O) SNOW STORAGE
- (P) CONC. WHEEL STOPS (SEE DETAIL)
- (Q) 22' LONG CONCRETE PAD
- (R) TRASH ENCLOSURE AREA (SEE ARCH. PLANS)
- (S) IDENTIFICATION SIGN (SEE PLANS BY OTHERS)
- (T) SEDIMENT FOREBAY
- (U) BUILDING MOUNTED LIGHTS
- (V) PROPOSED 6" PVC DECORATIVE FENCE
- (W) BIOTENTION BASIN
- (X) CATCHBASIN
- (Y) 6" VGC TRANSITION CURB
- (Z) HYDRANT

EX. GRAVEL AREA

PROP.  
LUMBER  
STORAGE  
AREA

EX. GRAVEL AREA

PROP.  
30' GATE

(TBR) EX. C.L.F.

6' HT. FENCE  
TRANSITION TO 4' HT.

EX. RIP-RAP

MAP 94 PARCEL 26

#308 EXIST.

EXIST. BIT. CONC.  
PARKING AREA

C.L.F.(TBR)

6' HT. FENCE  
TRANSITION TO 4' HT.

TP#11

TP#10

TP#9

TP#8

TP#7

TP#6

TP#5

TP#4

TP#3

TP#2

TP#1

TP#0

TP#-1

TP#-2

TP#-3

TP#-4

TP#-5

TP#-6

TP#-7

TP#-8

TP#-9

TP#-10

TP#-11

TP#-12

TP#-13

TP#-14

TP#-15

TP#-16

TP#-17

TP#-18

TP#-19

TP#-20

TP#-21

TP#-22

TP#-23

TP#-24

TP#-25

TP#-26

TP#-27

TP#-28

TP#-29

TP#-30

TP#-31

TP#-32

TP#-33

TP#-34

TP#-35

TP#-36

TP#-37

TP#-38

TP#-39

TP#-40

TP#-41

TP#-42

TP#-43

TP#-44

TP#-45

TP#-46

TP#-47

TP#-48

TP#-49

TP#-50

TP#-51

TP#-52

TP#-53

TP#-54

TP#-55

TP#-56

TP#-57

TP#-58

TP#-59

TP#-60

TP#-61

TP#-62

TP#-63

TP#-64

TP#-65

TP#-66

TP#-67

TP#-68

TP#-69

TP#-70

TP#-71

TP#-72

TP#-73

TP#-74

TP#-75

TP#-76

TP#-77

TP#-78

TP#-79

TP#-80

TP#-81

TP#-82

TP#-83

TP#-84

TP#-85

TP#-86

TP#-87

TP#-88

TP#-89

TP#-90

TP#-91

TP#-92

TP#-93

TP#-94

TP#-95

TP#-96

TP#-97

TP#-98

TP#-99

TP#-100

TP#-101

TP#-102

TP#-103

TP#-104

TP#-105

TP#-106

TP#-107

TP#-108

TP#-109

TP#-110

TP#-111

TP#-112

TP#-113

TP#-114

TP#-115

TP#-116

TP#-117

TP#-118

TP#-119

TP#-120

TP#-121

TP#-122

TP#-123

TP#-124

TP#-125

TP#-126

TP#-127

TP#-128

TP#-129

TP#-130

TP#-131

TP#-132

TP#-133

TP#-134

TP#-135

TP#-136

TP#-137

TP#-138

TP#-139

TP#-140

TP#-141

TP#-142

TP#-143

TP#-144

TP#-145

TP#-146

TP#-147

TP#-148

TP#-149

TP#-150

TP#-151

TP#-152

TP#-153

TP#-154

TP#-155

TP#-156

TP#-157

TP#-158

TP#-159

TP#-160

TP#-161

TP#-162

TP#-163

TP#-164

TP#-165

TP#-166

TP#-167

TP#-168

TP#-169

TP#-170

TP#-171

TP#-172

TP#-173

TP#-174

TP#-175

TP#-176

TP#-177

TP#-178

TP#-179

TP#-180

TP#-181

TP#-182

TP#-183

TP#-184

TP#-185

TP#-186

TP#-187

TP#-188

TP#-189

TP#-190

TP#-191

TP#-192

TP#-193

TP#-194

TP#-195

TP#-196

TP#-197

TP#-198

TP#-199

TP#-200

TP#-201

TP#-202

TP#-203

TP#-204

TP#-205

TP#-206

TP#-207

TP#-208

TP#-209

TP#-210

TP#-211

TP#-212

TP#-213

TP#-214

TP#-215

TP#-216

TP#-217

TP#-218

TP#-219

TP#-220

TP#-221

TP#-222

TP#-223

TP#-224

TP#-225

TP#-226

TP#-227

TP#-228

TP#-229

TP#-230

TP#-231

TP#-232

TP#-233

TP#-234

TP#-235

TP#-236

TP#-237

TP#-238

TP#-239

TP#-240

TP#-241

TP#-242

TP#-243

TP#-244

TP#-245

TP#-246

TP#-247

TP#-248

TP#-249

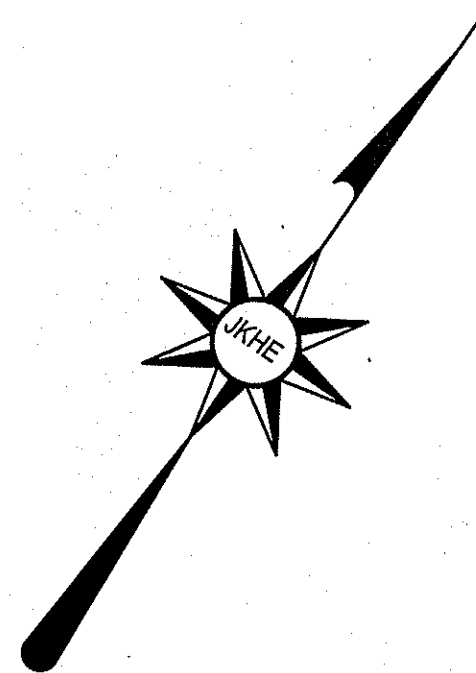
TP#-250

TP#-251

TP#-252

TP#-253





THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.

MAP 94 PARCEL 29  
CREAN EDWIN A  
354 PAGE STREET

EXIST. BIT. CONC.  
PARKING AREA

#308

EXIST.  
BIT. CONC.  
PARKING  
AREA

MAP 94 PARCEL 25 3  
BERISH STEPHEN & LARKIN ALAN  
292 PAGE STREET

MAP 94 PARCEL 26  
MEDEIROS AUXENCIO M  
308 PAGE STREET

WB - 50 TRUCK TURN PLAN

## FIRE DEPARTMENT NOTES :

1. ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO MEET THE REQUIREMENTS OF NFPA 25.
2. BOTH THE HYDRANTS AND THE FIRE DEPARTMENT CONNECTIONS (FDC) SHALL HAVE CONCRETE OR BITUMINOUS CONCRETE SURFACES LEADING TO EACH.
3. ANY FIRE LANES MUST MEET THE REQUIREMENTS OF 527 CMR AND 780 CMR.

MAP 94 PARCEL 29  
CREAN EDWIN A  
354 PAGE STREET

EXIST. BIT. CONC.  
PARKING AREA

MAP 94 PARCEL 26  
MEDEIROS AUXENCIO M  
308 PAGE STREET

MAP 94 PARCEL 25 3  
BERISH STEPHEN & LARKIN ALAN  
292 PAGE STREET

FIRE TRUCK TURN PLAN

## GENERAL NOTES :

ASSESSORS MAP : 94 PARCELS : 28 & 27  
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523  
: BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

APPLICANT :  
84 LUMBER CO,  
1019 ROUTE 5A, BLDG 5  
EIGHTY FOUR, PA 15330

OWNER :  
GIOIOSO FRANCESCO & FERRANTE  
58 SPRAGUE STREET  
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE. ( REAR OF THE LOCUS IS IN AN AQUIFER PROTECTION OVERLAY DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED 7/17/2012.

Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

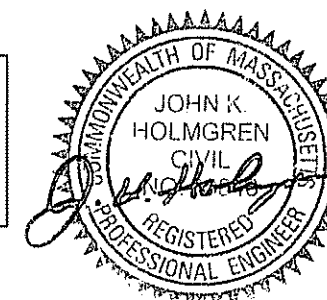
TITLE

TRUCK TURN PLAN

J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595  
Email : sfaria@jholmgren.com

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors



40 0 40 80  
SCALE IN FEET

SCALE: 1" = 40'

DATE: 03/28/2023

NO.	BY	DATE	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

C-5A

DRAWING NUMBER

H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CIVIL\DESIGN\2022-143SP3.dwg  
2022-143



# GRADING AND DRAINAGE NOTES:

1. THE PROJECT ELEVATIONS ARE BASED ON THE NAVD'83.
2. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.
5. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (EOD) OF CURLEX OR EQUAL.
6. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE DESIGNED AND INSTALLED FOR H-20 LOADING.
7. CPP - HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR WALL TO MEET ADS N-12 PIPE SPECIFICATION OR EQUAL. CPP PIPE USE SHALL BE ALLOWED AS NOTED, WITH A DIAMETER UP TO AND INCLUDING 24". BACKFILLING CPP MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS AND SPECIAL CARE MUST BE EXERCISED (SEE ADS PRODUCT NOTE 3.115).
8. ROOF DOWNSPOUTS SHALL BE TIED INTO ROOF DRAINS AS SHOWN ON PLAN. ROOF DRAINS TO BE AT LEAST 4" CPP AT 1.00% SLOPE MINIMUM, UNLESS OTHERWISE NOTED. MINIMUM TYPICAL COVER SHALL BE 2 FEET, U.O.N.
11. ALL ROP PIPE TO MEET CLASS IV SPECIFICATIONS.
12. ALL PIPE INSTALLATIONS SHALL FOLLOW PROJECT SPECIFICATIONS AND PIPE MANUFACTURER RECOMMENDATIONS.
13. INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YEAR) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.
14. ACCUMULATED DEBRIS IN CATCH BASINS, TRENCH GRATES, BASINS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS / HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

MAP 94 PARCEL 29  
CREAN EDWIN A  
354 PAGE STREET

CONCRETE  
SLAB

CATCHBASIN #1  
RIM=264.92  
INV.=262.25

100'-12" HDPE,  
S=.005

DMH C  
RIM=266.10  
INV.(IN)=261.75  
INV.(OUT)=261.65

EXIST. BIT. CONC.  
PARKING AREA

PROPOSED  
6'x18' RIP-RAP  
EMERGENCY  
SPILLWAY

C.I. PROPOSED  
BIORETENTION  
BASIN #1

PROPOSED  
8'x18' RIP-RAP  
SPILLWAY  
TOP ELEV.=264.6  
(SEE DETAILS)

MAP 94 PARCEL 32  
357 PAGE STREET LLC  
357 PAGE STREET

6'x10'  
RIP-RAP  
APRON

SMH MAP 94 PARCEL 33  
R=265.60 NGUYEN TRUC C  
INV.=257.4339 PAGE STREET

DMH E  
RIM=265.50  
INV.(IN)=261.90  
INV.(OUT)=263.60  
DMH A  
RIM=265.30  
EX. INV.=261.14  
DRINK (OUT)=261.04

PROPOSED  
SEDIMENT  
FOREBAY #1

MAP 94 PARCEL 35  
PAGE STREET DEVELOPMENT INC.  
331 PAGE STREET

STORMWATER MANAGEMENT  
SYSTEM #1:  
48 STORMTECH SC-740  
CHAMBERS SURROUNDED BY 24"  
OF STONE  
BOTTOM OF STONE= 260.0  
BOTTOM OF CHAMBER= 260.5

## GENERAL NOTES :

ASSESSORS MAP : 94 PARCELS : 28 & 27  
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523  
BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

APPLICANT :  
84 LUMBER CO,  
1019 ROUTE 5A, BLDG 5  
EIGHTY FOUR, PA 15330

OWNER :  
GIOIOSO FRANCESCO & FERRANTE  
58 SPRAGUE STREET  
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE. ( REAR OF THE LOCUS IS IN AN AQUIFER PROTECTION OVERLAY DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED 7/17/2012.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.



Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

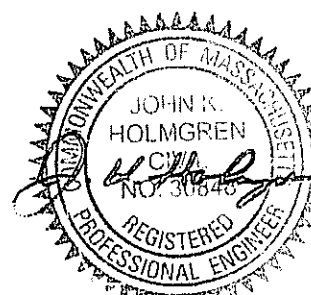
TITLE

GRADING & DRAINAGE PLAN

J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595  
Email - sfaria@jkholmgren.com

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors



20 0 20 40  
SCALE IN FEET.

SCALE: 1" = 20'

DATE: 03/28/2023

NO.	BY	DATE	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

**C-6**

DRAWING NUMBER

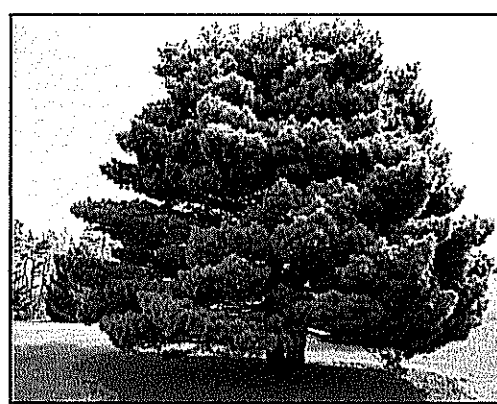
H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CIVIL\DESIGN\2022-143SP3.dwg  
2022-143

## LEGEND

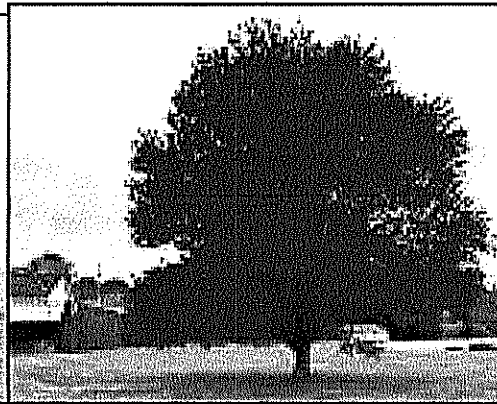
- UTILITY POLE/GUY WIRE
- WATER GATE/SHUT-OFF
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- HYDRANT
- TRANSFORMER
- ELECTRIC BOX
- CHAIN LINK FENCE
- GAS GATE
- CONTOURS
- SPOT GRADE
- LIGHT POLE
- WETLAND FLAG
- TREES, BUSHES
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- SEWER LINE
- WATER LINE
- GAS LINE
- WETLANDS
- SIGN
- TEST PIT

MAP 94 PARCEL 26





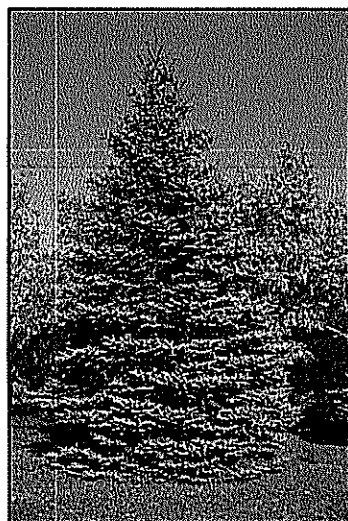
PINUS STROBUS (PS)



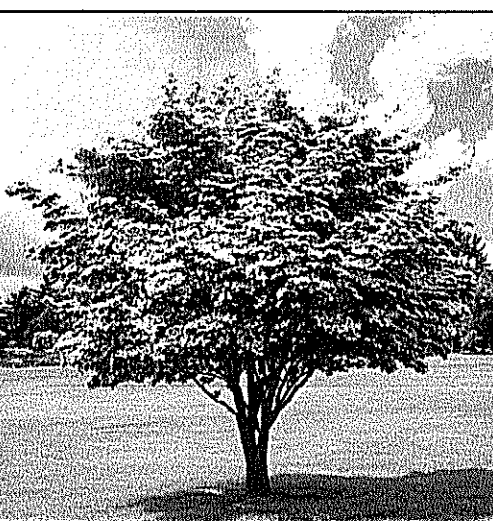
ACER RUBRUM (AROG)



THUJA OCCIDENTALIS (TOT)



PICEA PUNGENS (PP)



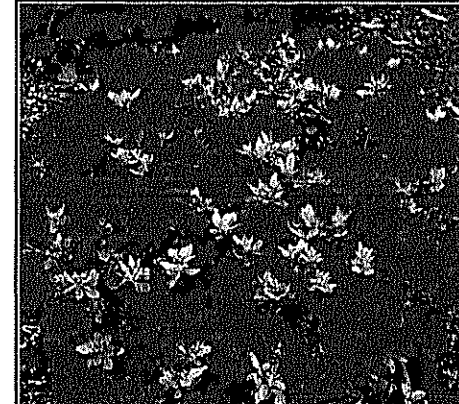
CORNUS KOUSA (CK)



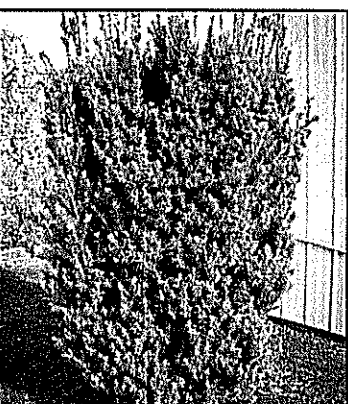
BETULA NIGRA (BN)



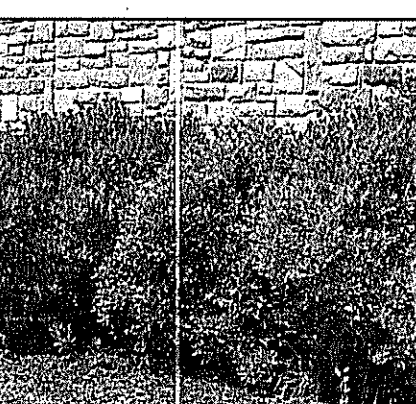
RHODODENDRON (RPJM)



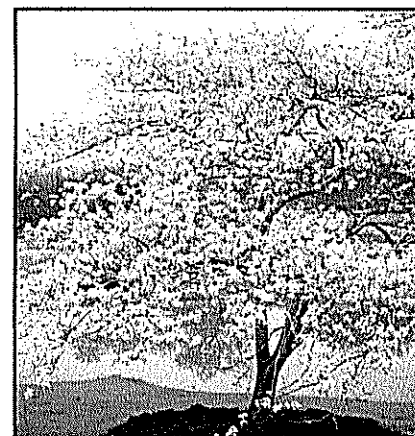
RHODODENDRON X OBTUSUM (ROHC)



TAXUS MEDIA (TH)



ILEX GLABRA (IGC)



AMELANCHIER CANADENSIS (AC)



ILEX VERTICILLATA (IV)



CLETHRA ALNIFOLIA (CA)



VIBURNUM DENTATUM (VD)



ONOCLEA SENSIBILIS (OS)

## GENERAL NOTES :

ASSESSORS MAP : 94 PARCELS : 28 & 27

LOCUS DEED REFERENCE : BOOK 6008, PAGE 523  
: BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

APPLICANT :  
84 LUMBER CO,  
1019 ROUTE 5A, BLDG 5  
EIGHTY FOUR, PA 15330

OWNER :  
GIOIOSO FRANCESCO & FERRANTE  
58 SPRAGUE STREET  
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE. ( REAR OF THE LOCUS IS IN AN AQUIFER PROTECTION OVERLAY DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED 7/17/2012.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.

MAP 94 PARCEL 30  
D CORPORATEE CENTER CONDOMINIUM  
378 PAGE STREET

MAP 94 PARCEL 17  
GIOIOSO FRANCES CO  
58 SPRAGUE STREET

EXIST.  
WOODED  
AREA

MAP 94 PARCEL 22  
SOUTHPAW REALTY TRUST  
130 MAPLE STREET

MAP 94 PARCEL 23  
150 MAPLE STREET LLC  
150 MAPLE STREET

MAP 94 PARCEL 24  
BALDER BRUCE & FRUMAN JEFFREY  
150 OLD PAGE STREET

MAP 94 PARCEL 25 3  
BERISH STEPHEN & LARKIN ALAN  
292 PAGE STREET

MAP 94 PARCEL 26  
MEDEIROS AUXENCIO M  
308 PAGE STREET

MAP 94 PARCEL 35  
PAGE STREET DEVELOPMENT II  
331 PAGE STREET

STORMWATER MANAGEMENT  
SYSTEM AREA  
(68 SQUARE FEET) SC-740  
(CHAMBER) SURROUNDED BY 24"  
OF STONE  
BOTTOM OF STONE= 260.0  
BOTTOM OF CHAMBER= 260.5

Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE

LANDSCAPE & DEVELOPMENT PLAN

J.K. HOLMGREN ENGINEERING, LLC.

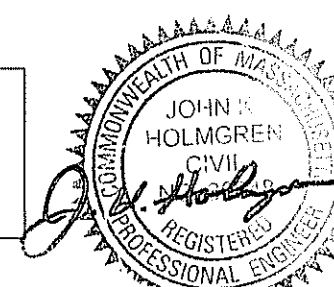
Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA. 02301

Phone - (508) 583-2595

Email : sfaria@jkholmgren.com

J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors



40 0 40 80  
SCALE IN FEET

SCALE: 1" = 40'

DATE: 03/28/2023

NO.	BY	DATE	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

C-7

DRAWING NUMBER

H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CM\DESIGN\2022-143SP3.dwg

2022-143

## LEGEND

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES , BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT

## LANDSCAPE NOTES:

- CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS AND EQUIPMENT IN ORDER TO COMPLETE THE WORK.
- ALL SEEDED AND / OR SOD AREAS SHALL RECEIVE 6" OF LOAM OR TOPSOIL.
- ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
- PLANTING SOIL MIX SHALL CONSIST OF 1/3 SPHAGNUM PEAT MOSS AND 2/3 FERTILE FIELD LOAM BY VOLUME.
- ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF THREE FEET OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.
- REFERENCE IS MADE TO THE "MULCH LAW", THE REVISED REGULATION, 527 CMR 1 - 10.14.10.4, PROHIBITS THE NEW APPLICATION OF MULCH WITHIN 18 INCHES AROUND COMBUSTIBLE EXTERIORS OF BUILDINGS, SUCH AS WOOD OR VINYL BUT NOT BRICK OR CONCRETE. AN 18" STRIP OF 1 1/2" - 2 1/2" STONE SHALL BE PLACED AT A DEPTH OF 6" AROUND EXISTING WOOD AND VINYL BUILDINGS.

## SEEDING SPECIFICATIONS:

TEMPORARY SEEDING:  
SEED MIXTURE:  
RYEGRASS

PERMANENT SEEDING IN LANDSCAPED AREAS:  
SEED MIXTURE:  
PERENNIAL RYEGRASS  
CREEPING RED FESCUE  
REDTOP

PERMANENT SEEDING IN SLOPED AREAS:  
SEED MIXTURE:  
PERENNIAL RYEGRASS  
CREEPING RED FESCUE  
REDTOP  
ALSEE CLOVER  
BIRDSFOOT TREFOL

APPLICATION RATE:  
1 LB/1000 SF

APPLICATION RATE:  
85 LBS/1000 SF  
52 LBS/1000 SF  
7 LBS/1000 SF

APPLICATION RATE:  
30 LBS/1000 SF  
35 LBS/1000 SF  
5 LBS/1000 SF  
5 LBS/1000 SF  
5 LBS/1000 SF

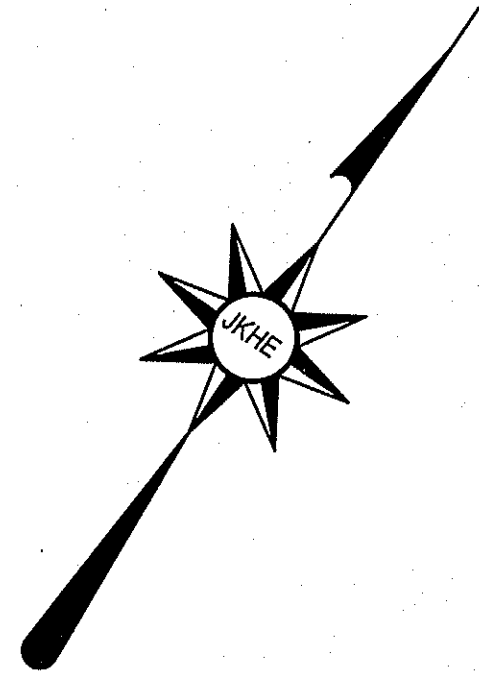
## BIORETENTION AREA LANDSCAPE SCHEDULE

SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AC	2	AMELANCHIER CANADENSIS	SHADBLOW	6-8' HT.	B & B
IV	2	ILEX VERTICILLATA	WINTERBERRY	15-18" HT.	CONTAINER
CA	2	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	12-15" HT.	CONTAINER
VD	2	VIBURNUM DENTATUM	ARROWOOD	18-24" HT.	CONTAINER
OS	6	ONOCLEA SENSIBILIS	SENSITIVE FERN	-	2 QT. POT

## LANDSCAPE SCHEDULE

SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AROG	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2-2 1/2" CAL.	B & B
PS	9	PINUS STROBUS	EASTERN WHITE PINE	5-6' HT.	B & B
TOT	9	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	6-7' HT.	B & B
PP	6	PICEA PUNGENS	COLORADO SPRUCE	6-7' HT.	B & B
CK	2	CORNUS KOUSA	KOUSA DOGWOOD	6-7' HT.	B & B
BN	5	BETULA NIGRA	RIVER BIRCH	2-2 1/2" CAL.	B & B
RPJM	10	RHODODENDRON 'PJM'	PJM RHODODENDRON	18-24" HT.	CONTAINER
ROHC	14	RHODODENDRON X OBTUSUM 'HINOCRIMSON'	HINOCRIMSON AZALEA	15-18" HT.	CONTAINER
TH	21	TAXUS MEDIA 'HICKSI'	HICKS YEW	30-36" HT.	CONTAINER
IGC	19	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	15-18" HT.	CONTAINER





## OPERATION/MAINTENANCE PLAN

THIS OPERATION AND MAINTENANCE PLAN SHALL BE PERFORMED BY THE GENERAL CONTRACTOR DURING CONSTRUCTION OPERATIONS AND BY THE OWNER ONCE THE FACILITIES ARE COMPLETED AND PUT INTO OPERATION.

PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL BE INFORMED THAT THE MAINTENANCE OF SILTATION CONTROLS TAKES PRECEDENCE OVER NORMAL CONSTRUCTION ACTIVITIES. ADJACENT PROPERTIES AND STREETS SHALL BE PROTECTED FROM EROSION OR SILTATION CONDITIONS.

INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YR.) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.

ACCUMULATED DEBRIS IN CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/ HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

A VISUAL INSPECTION SHALL BE MADE AT ALL ACCESS MANHOLES, CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS, LEACHING BASINS, PIPES AND DRAINAGE CHANNELS FOR THE ENTIRE STORM DRAINAGE SYSTEM. THE GENERAL CONDITION OF THESE STRUCTURES SHOULD BE REVIEWED AND ACCUMULATED DEBRIS SHALL BE REMOVED. THE CONDITION OF ALL OUTLETS SHALL BE NOTED AND A DESCRIPTION OF THE DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE REPORT. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THESE STRUCTURES AND THE DRAINAGE CHANNELS IN ORDER FOR THE SYSTEM TO FUNCTION PROPERLY.

ALL OUTLETS, DRAINING CHANNELS, AND SLOPES SHALL BE KEPT STABILIZED. ANY EROSION SHALL BE REPAIRED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SWM BASIN BEFORE IT EXCEEDS 1' IN DEPTH, OR AT LEAST ONCE EVERY 5 YEARS. ALL DEBRIS OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM OUTLET STRUCTURE AND OUT FALL PLUNGE POOL. BASIN SLOPES SHALL BE MAINTAINED WITH A GRASS STAND OF AT LEAST 3". GRASS SHALL BE MOVED AT LEAST TWICE A YEAR AND CLIPPINGS SHALL NOT BE LEFT IN BASIN. ANY TREES OR OTHER WOODY VEGETATION GROWING IN EMBANKMENTS OR NEAR CONTROL STRUCTURE SHALL BE REMOVED. THIS REQUIRES AN APPROVED ORDER OF CONDITIONS.

THE FOLLOWING MINIMUM INFORMATION SHALL BE RECORDED:

- \* DATE OF INSPECTION
- \* GENERAL CONDITION OF THE ENTIRE SYSTEM
- \* CORRECTIVE MAINTENANCE ACTIONS TAKEN TO ENSURE ADEQUATE FUNCTION AND WHEN PERFORMED.
- \* A COPY OF THESE INSPECTION REPORTS SHALL BE FURNISHED TO THE APPROPRIATE AGENCY UPON REQUEST.

## DURING CONSTRUCTION:

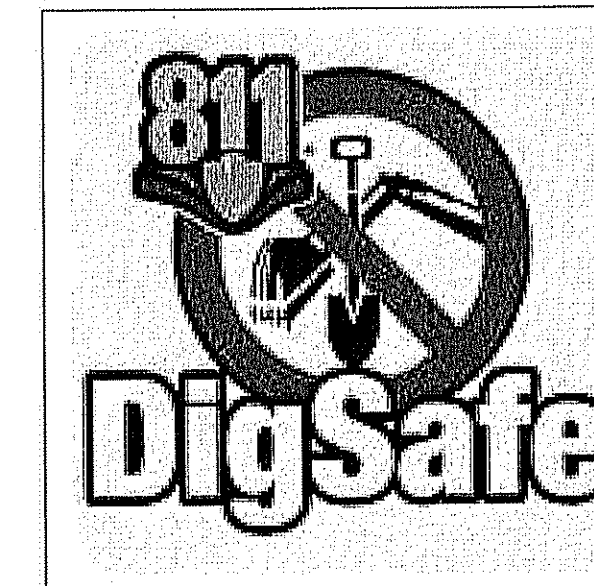
1. MAINTENANCE OF THE CONSTRUCTION EXIT (TRACKING PAD) IS REQUIRED AND SHOULD BE INSPECTED AND CLEANED WEEKLY (MINIMUM). ADDITIONAL STONE MAY BE REQUIRED PERIODICALLY TO CONTROL TRACKING OF SEDIMENT, ECT. FROM LEAVING THE SITE.
2. SILT SACKS SHOULD BE INSPECTED MONTHLY AND CLEANED FOR MAXIMUM EFFICIENCY.
3. SILT SOCKS SHOULD BE INSPECTED, MAINTAINED WEEKLY AND REPAIRED AS REQUIRED DUE TO TEARS, RIPS, DAMAGE, ETC.

## EROSION CONTROL LEGEND

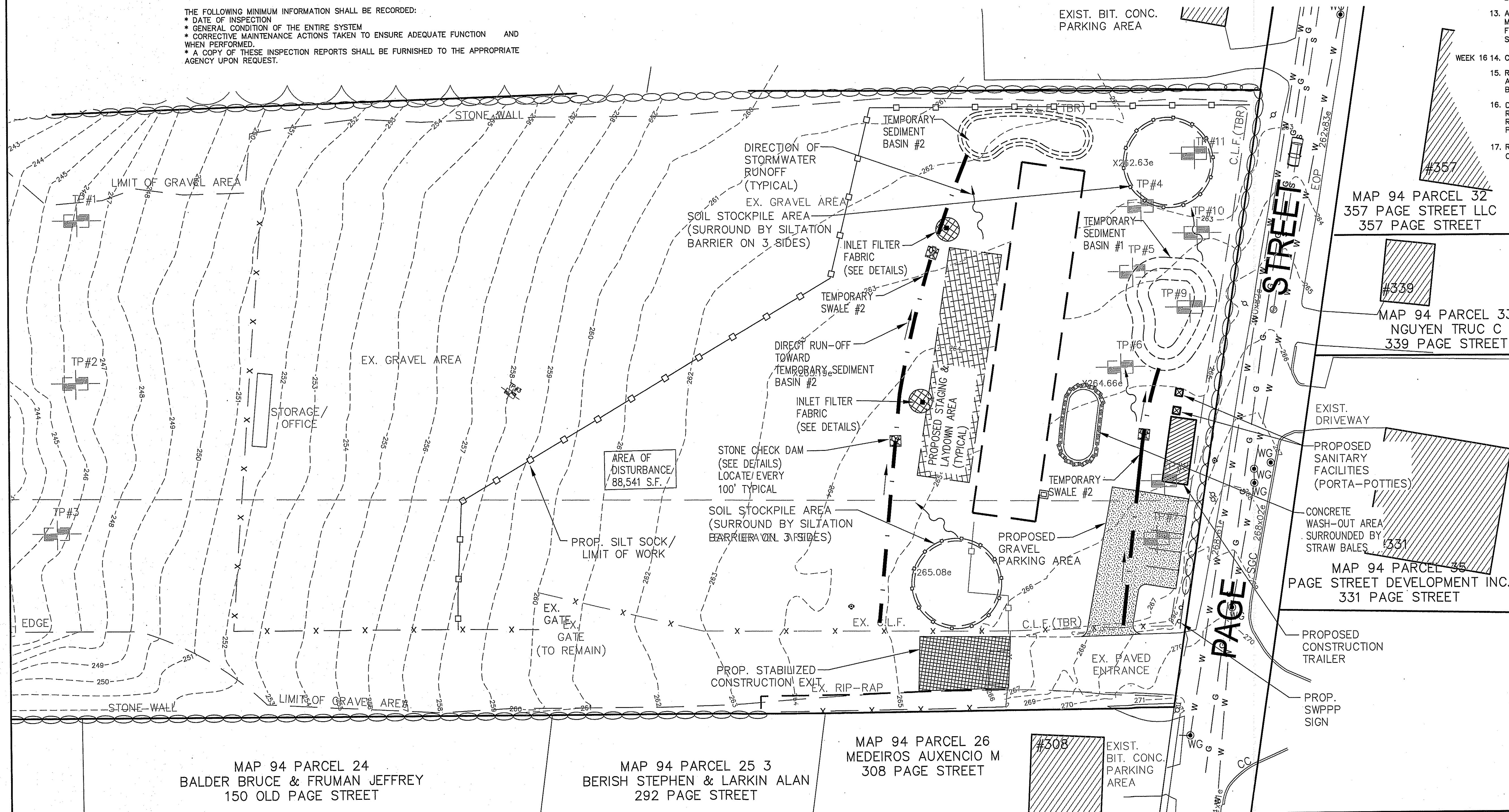
- = DIRECTION OF STORMWATER FLOW
- = CONTOURS
- = INLET FABRIC (SILT SACK)
- = TEMPORARY SEDIMENT TRAP
- = TEMPORARY SWALE
- = TREES, BUSHES
- TBR = TO BE REMOVED

- INSTALL SEDIMENT AND EROSION CONTROL 1 WEEK
- INSTALL FOUNDATION 1 WEEK
- INSTALL INFILTRATION BASIN 2 WEEKS
- INSTALL UTILITIES 2 WEEKS
- BUILDING CONSTRUCTION 4 MONTHS
- PARKING AREA CONSTRUCTION 2 WEEKS
- BIORETENTION AREA 1 WEEK

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.



- ### CONSTRUCTION SEQUENCE
- WEEK 1 1. INSTALL SILT SOCKS TO ESTABLISH THE LIMIT OF WORK AS SHOWN ON PLAN.
  - WEEK 1 2. CONSTRUCT TEMPORARY CONSTRUCTION EXIT AREA AS SHOWN ON DETAIL #610.
  - WEEK 2 3. AS DRAINAGE STRUCTURES ARE INSTALLED, INSTALL FILTER FABRIC OR SILT SACKS AROUND NEW STRUCTURES IN ACCORDANCE WITH DETAIL #607 AND MAINTAIN THEM UNTIL PAVEMENT IS IN PLACE AND VEGETATION IS ESTABLISHED.
  4. DISCHARGES FROM DEWATERING OF EXCAVATIONS SHALL NOT BE DIVERTED DIRECTLY INTO ANY WETLANDS OR EXISTING STORM DRAINS WITHOUT PRETREATMENT VIA SETTLING BASINS.
  - WEEK 2 5. INSTALL STONE CHECK DAMS ALONG CENTER OF SWALES AT 100' O.C., AS NECESSARY.
  - WEEK 2 6. CLEAR AND GRUB SITE WITHIN THE LIMIT OF WORK.
  - WEEK 3 7. CONSTRUCT TEMPORARY SEDIMENT BASINS TO BE USED AS SEDIMENT TRAP. INSTALL LOW FLOW PERFORATED PIPE WITH FILTER FABRIC AND STONE. DO NOT INSTALL LOW FLOW DRIFICE CAP UNTIL SITE IS FULLY STABILIZED (NOT REQUIRED).
  8. ESTABLISH ROUGH SUB GRADES FOR PARKING LOT AND BUILDING PLATFORM.
  9. PERFORM STORMWATER AND SITE CONSTRUCTION
    - A. INSTALL FOUNDATION WEEK 4
    - B. INSTALL INFILTRATION SYSTEM WEEK 5
    - C. INSTALL STORM DRAIN LINES WEEK 6
    - D. PLACE CURBS WEEK 8
  10. INSPECT AND MAINTAIN EROSION CONTROL MEASURES AFTER RAINFALL EVENTS AND A MINIMUM OF ONCE PER WEEK.
  11. REMOVE SEDIMENT BUILDUP AT EROSION CONTROL DEVICES AS NEEDED. REDISTRIBUTE MATERIAL OVER SITE IN CONFORMANCE WITH EARTHWORK SPECIFICATIONS.
  12. AS DRAINAGE STRUCTURES ARE INSTALLED, INSTALL FILTER FABRIC AND HAY BALES AROUND NEW STRUCTURES IN ACCORDANCE WITH DETAIL #607 AND MAINTAIN THEM UNTIL PAVEMENT IS IN PLACE AND VEGETATION IS ESTABLISHED. ALL OUTFALLS SHALL BE IMMEDIATELY STABILIZED WITH STONE PROTECTION AS REQUIRED.
  13. ALL CUT AND FILL SLOPES SHALL BE TEMPORARILY STABILIZED WITH TOP SOIL, SEED AND MULCH OR CURLEX AS REQUIRED IF CONSTRUCTION ACTIVITY CEASES ON SAID SLOPES FOR A PERIOD OF SEVEN DAYS OR GREATER. ALL SLOPES SHALL BE PERMANENTLY STABILIZED AS REQUIRED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
  - WEEK 16 14. COMPLETE FINISH GRADING AND STABILIZATION OF SITE. PLACE FINAL PAVING COURSE.
  15. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES, DRAIN MANHOLES, PIPES AFTER COMPLETION OF CONSTRUCTION. REMOVE AND REGRADE TEMPORARY BERMS, SWALES, CHECK DAMS, ETC. STABILIZE DISTURBED AREAS.
  16. CLEAN OUT ALL SEDIMENT FROM SWM BASIN AND OUTLET STRUCTURES. REGRADE TO CONTOURS PER DESIGN. STABILIZE ALL SLOPES AS REQUIRED. REPLACE FILTER FABRIC AND 1" CLEAN STONE AROUND LOW FLOW OUTLET PIPE. INSTALL LOW FLOW DRIFICE CAP PER DETAIL. (NOT REQUIRED)
  17. REMOVE SILT SOCKS & SILT FENCE UPON ESTABLISHMENT OF PERMANENT GROUND COVER. STABILIZE ALL AREAS WHERE SILT SOCKS WERE REMOVED. (NOT REQUIRED)



Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE  
**SEDIMENT & EROSION  
CONTROL PLAN**

**J.K. HOLMGREN ENGINEERING, LLC.**

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA. 02301

Phone - (508) 583-2595

Email - sfaria@jkholmgren.com



30 0 30 60  
SCALE IN FEET

SCALE: 1" = 30'

DATE: 03/28/2023

NO.	BY	DATE	REMARKS
3	SSR 10.16.23		CONDITIONS OF APPROVAL
2	CM 6.15.23		TOWN REVS.
1	CM 5.24.23		TOWN REVS.

**C-8**

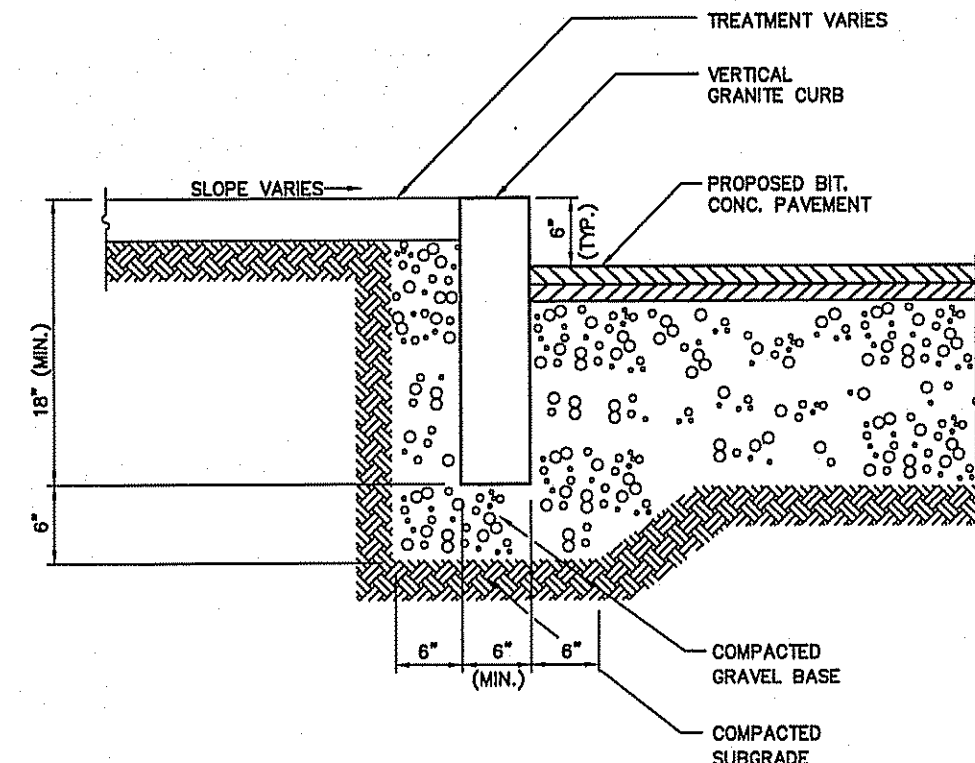
DRAWING NUMBER

H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CIVIL\DESIGN\2022-143SP3.dwg  
2022-143

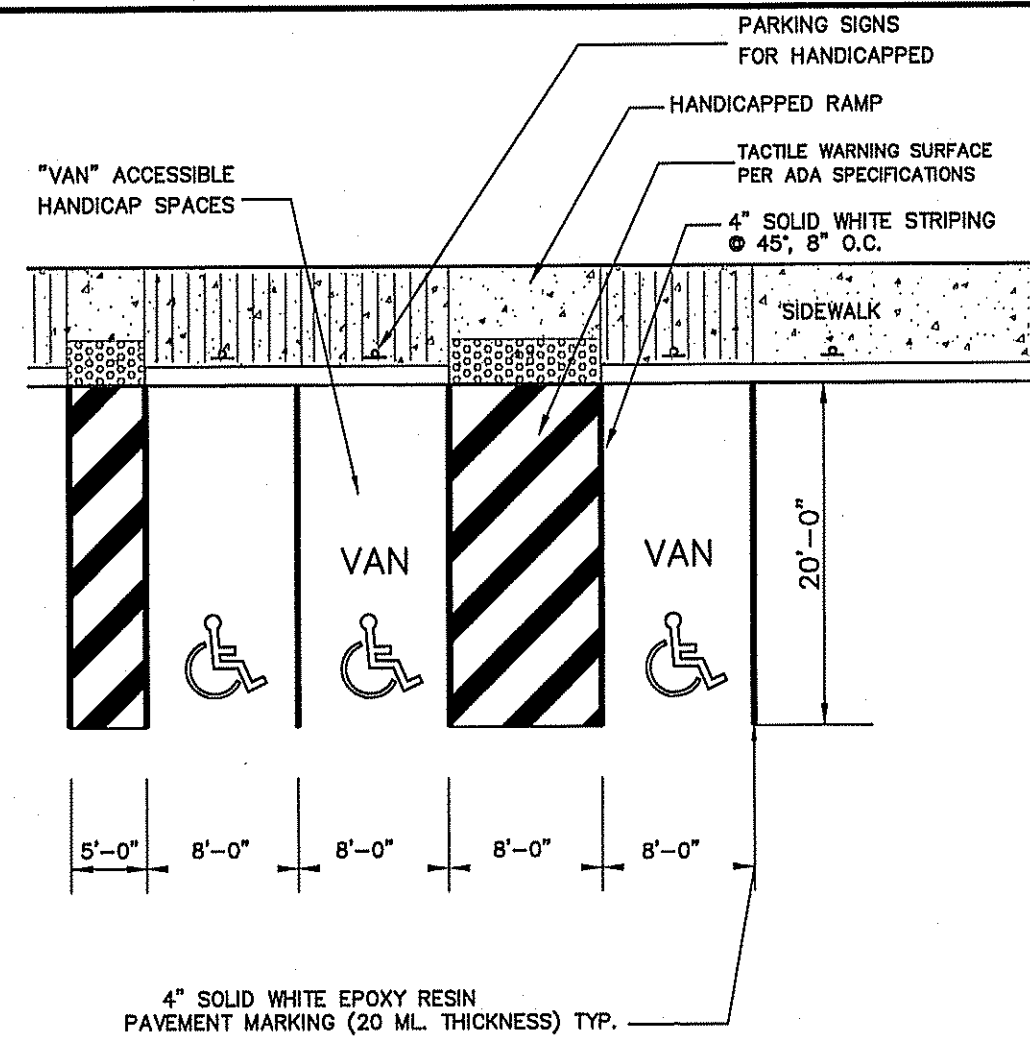




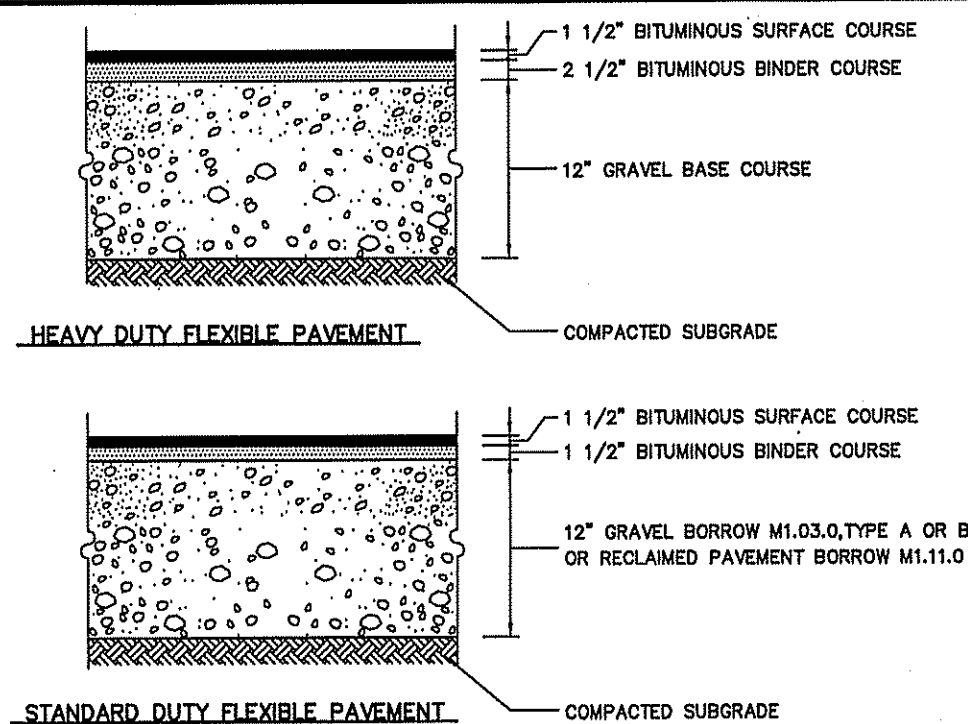




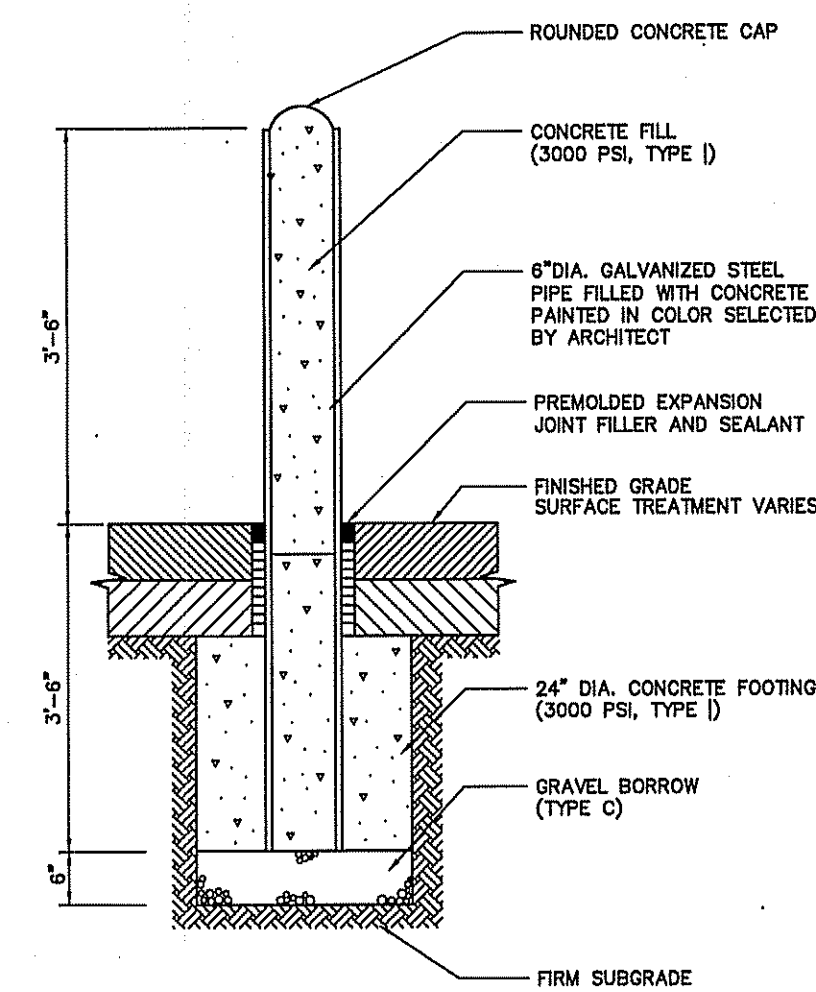
C-406 VERTICAL GRANITE CURB (VGC) DETAIL N.T.S.



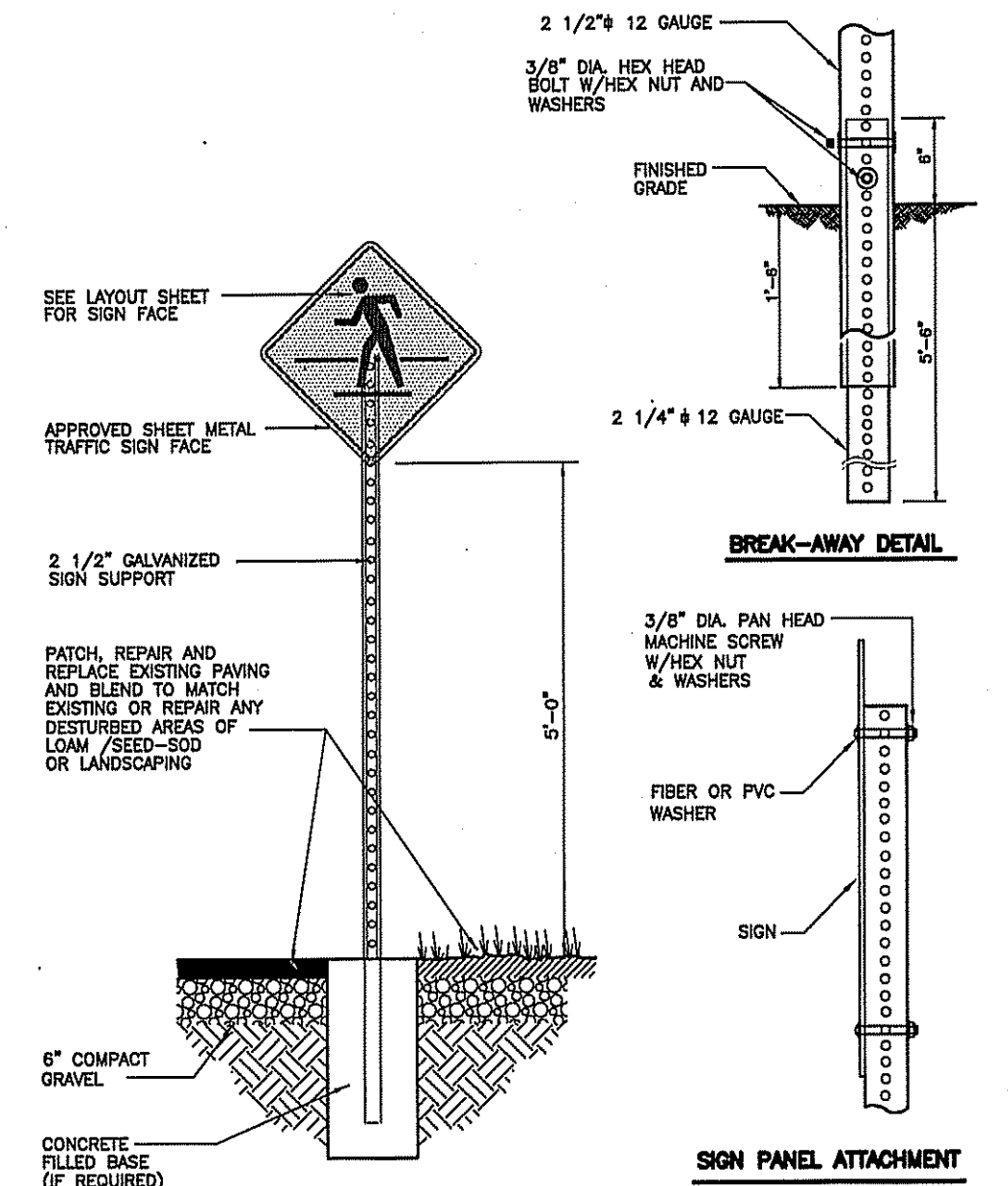
C-442 HANDICAP PARKING STALL LAYOUT DETAIL N.T.S.



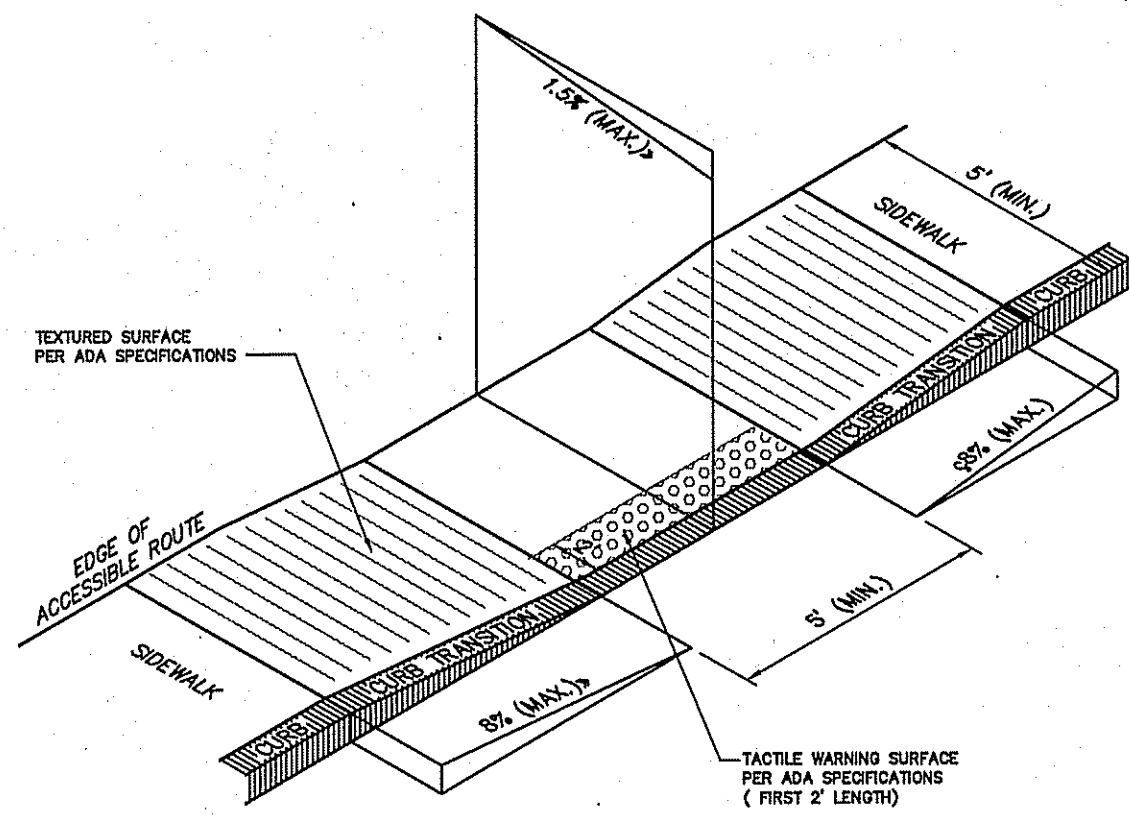
C-448 BITUMINOUS CONCRETE PAVEMENT SECTIONS DETAIL N.T.S.



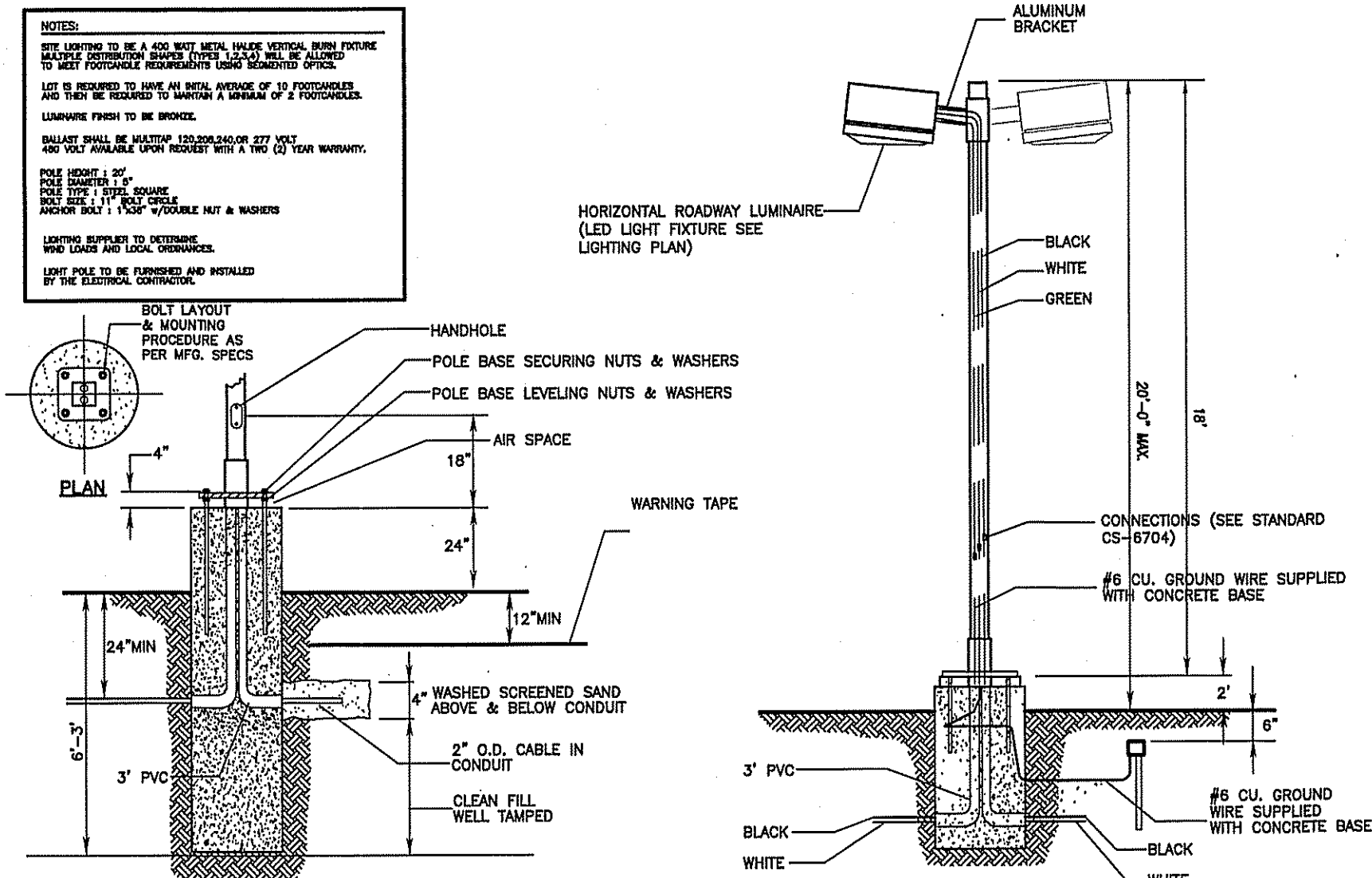
C-446 BOLLARD DETAIL N.T.S.



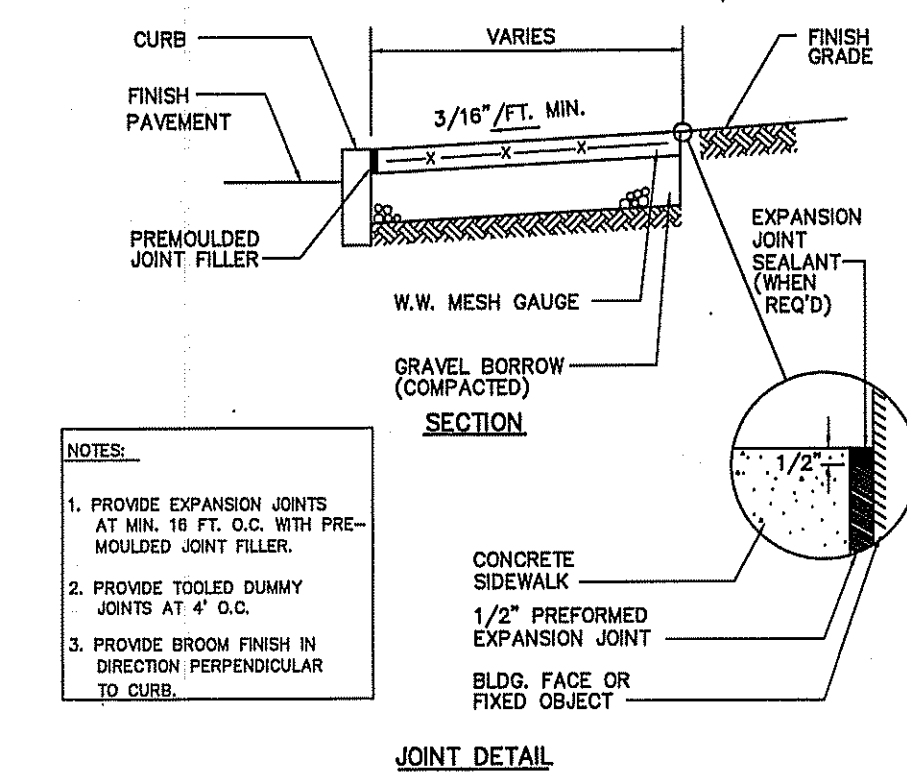
C-722 TRAFFIC SIGN POST DETAIL N.T.S.



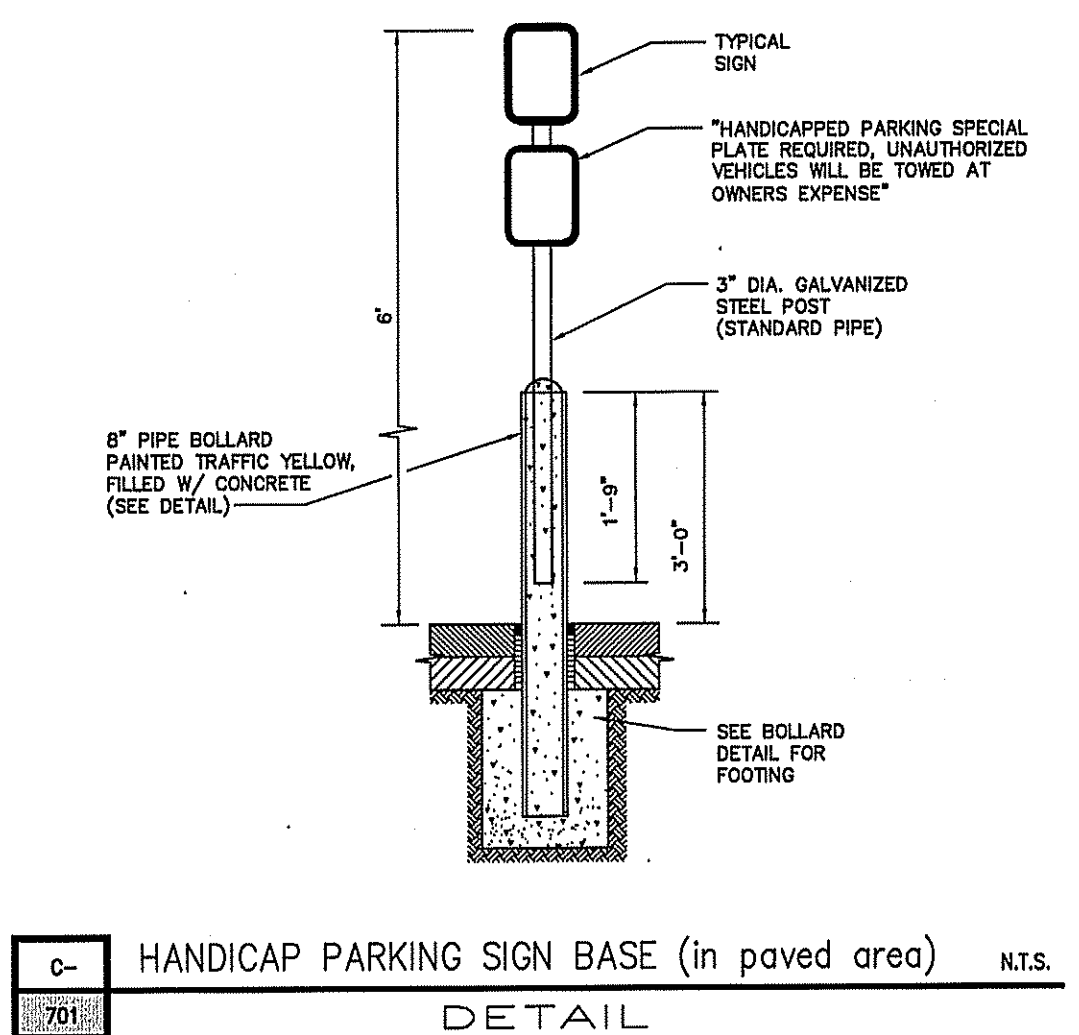
C-703 HANDICAPPED PARKING STALL SYMBOL DETAIL N.T.S.



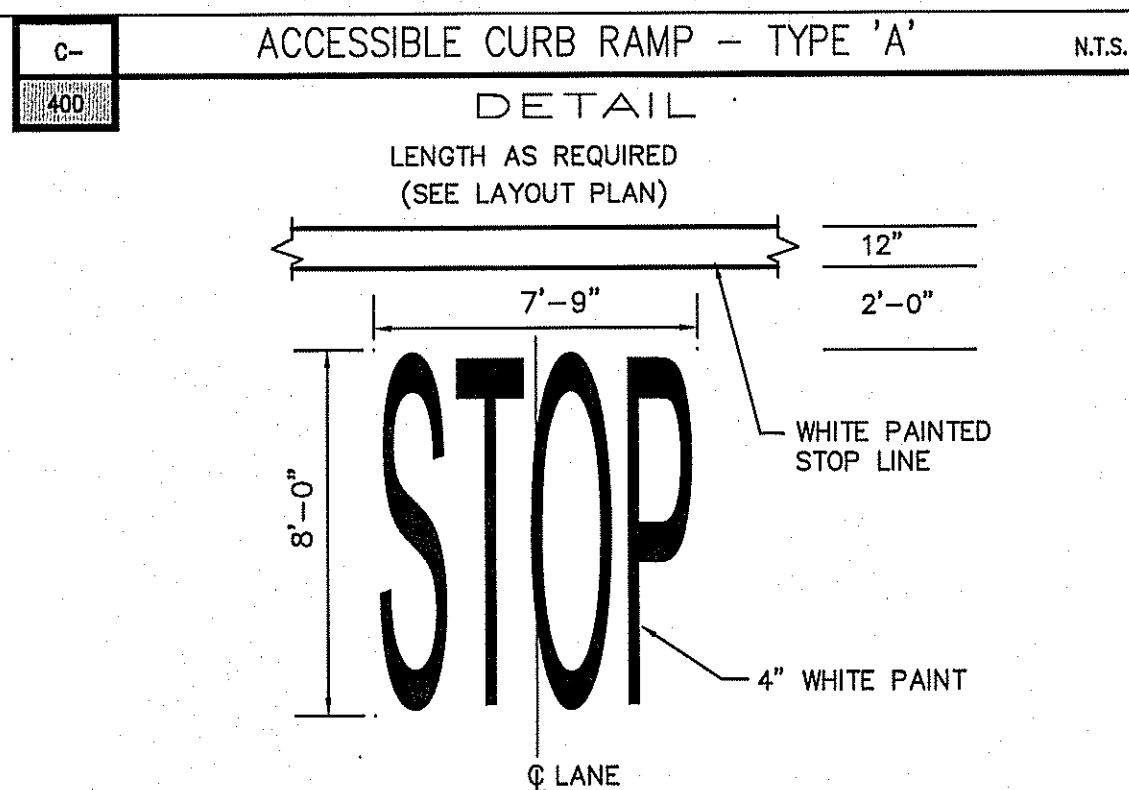
C-627 FOOT BASE MOUNTED LIGHT POLE DETAIL N.T.S.



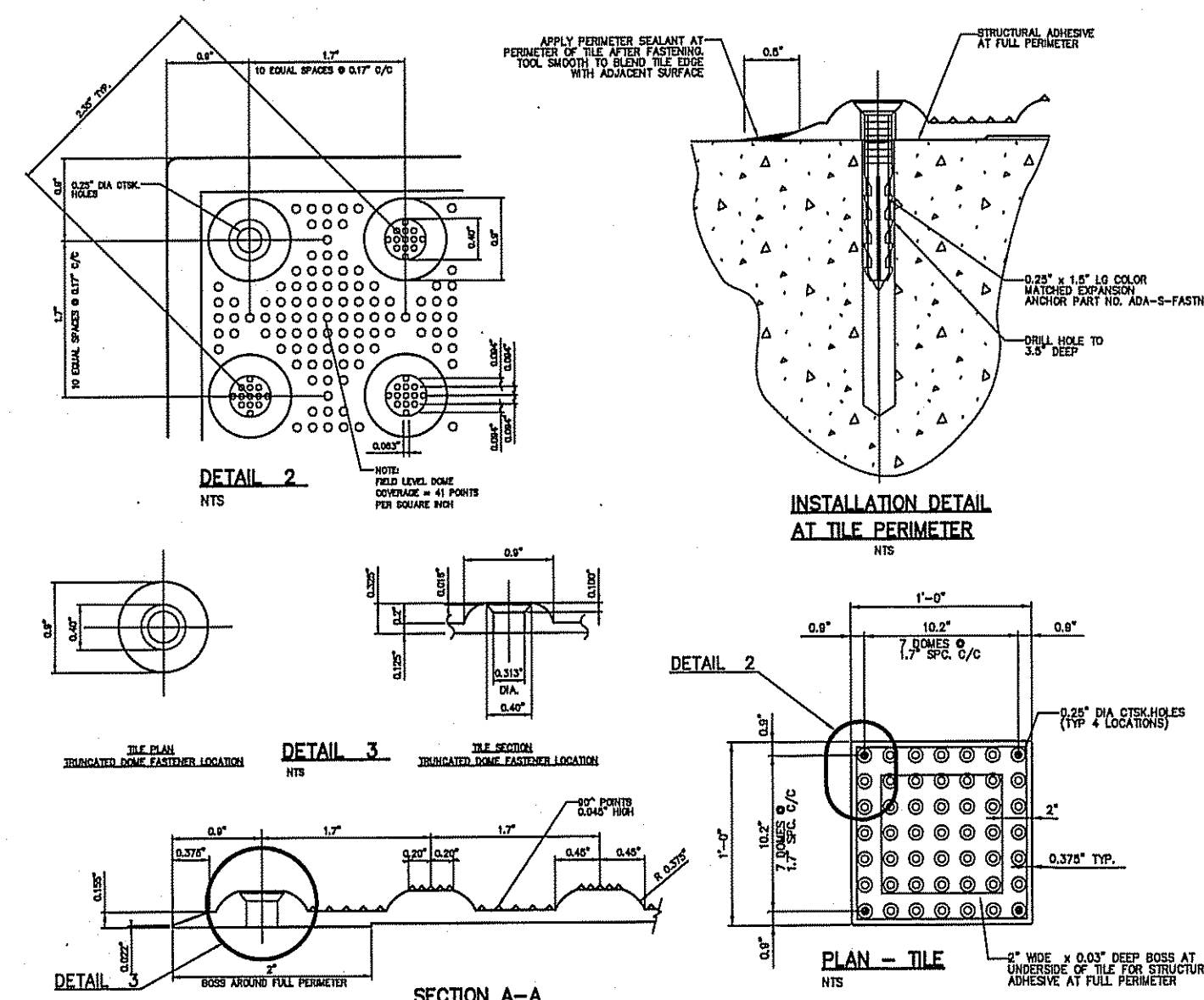
C-450 CONCRETE SIDEWALK JOINT DETAIL N.T.S.



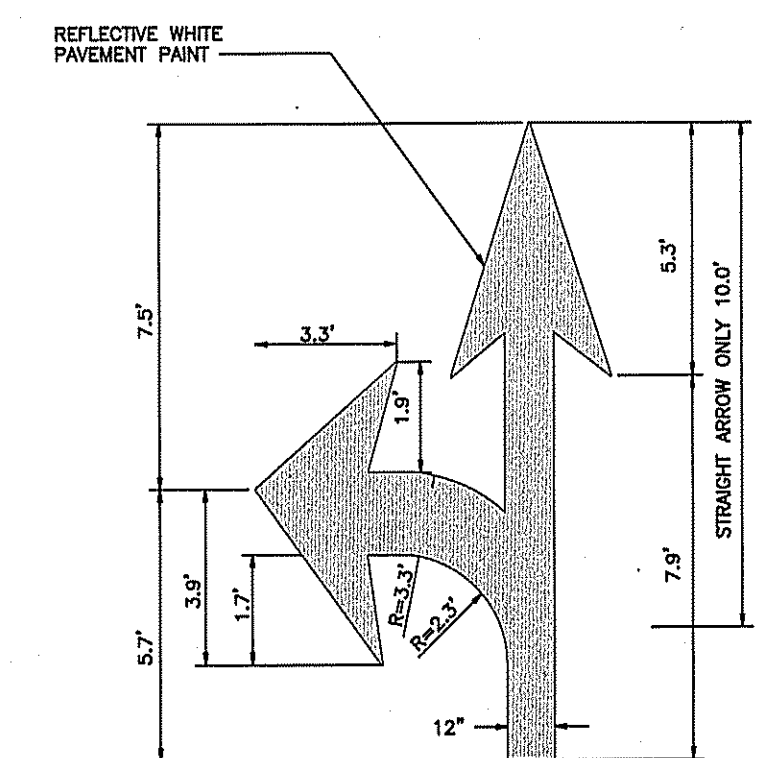
C-701 HANDICAP PARKING SIGN BASE (in paved area) DETAIL N.T.S.



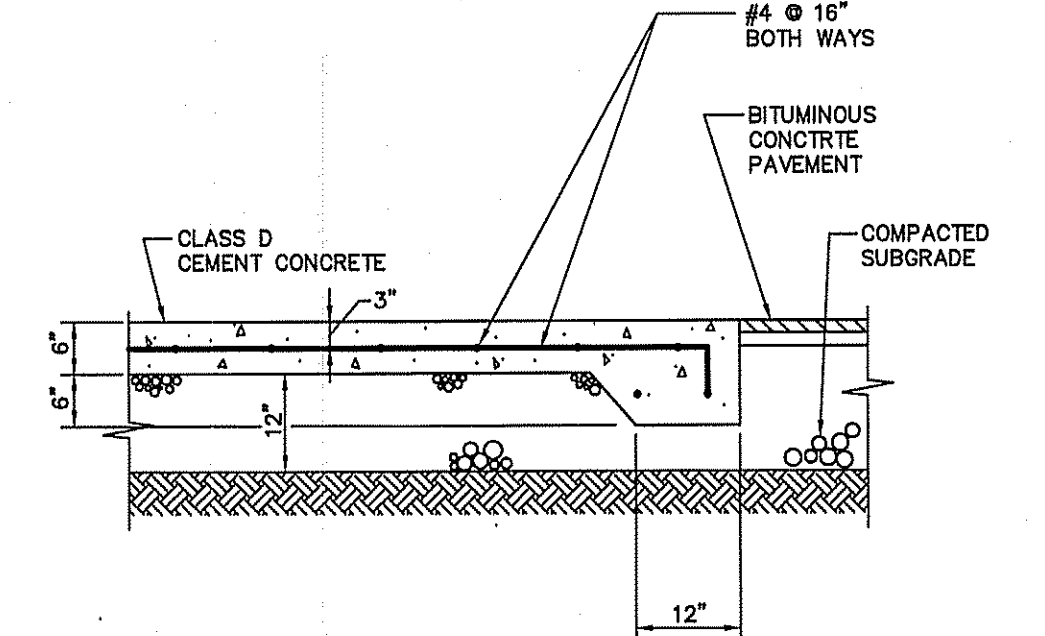
C-400 ACCESSIBLE CURB RAMP - TYPE 'A' DETAIL N.T.S.



C-448 HANDICAPPED TACTILE WARNING TILE SURFACE DETAIL N.T.S.



C-729 TURN AND ARROW TRAFFIC MARKING DETAIL N.T.S.



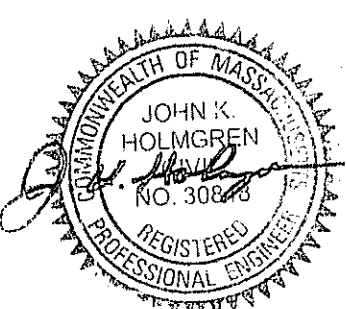
C-444 DUMPSTER PAD DETAIL N.T.S.

Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts  
PREPARED FOR

84 LUMBER CO.

TITLE  
DETAIL SHEET

J.K. HOLMGREN ENGINEERING, LLC  
Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595  
Email : sfaria@jkholmgren.com



NO.	BY	DATE	REMARKS
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.

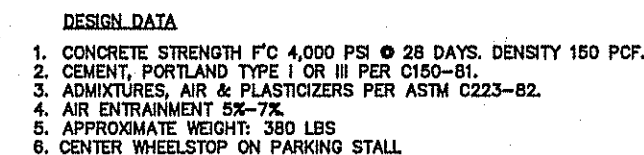
H:\2022\2022-143\CIVIL\DESIGN\2022-143CDS0.DWG  
2022-143

DATE: 03/28/2023

C-10  
DRAWING NUMBER

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors

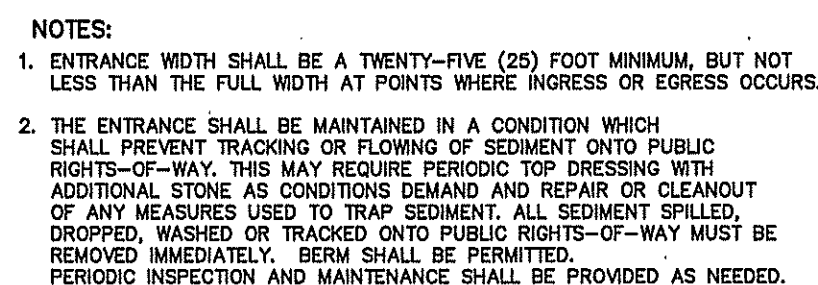




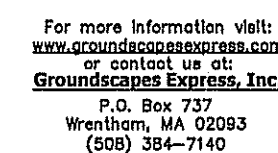
N.T.S.



N.T.S.



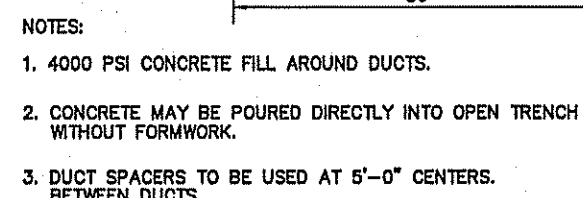
N.T.S.



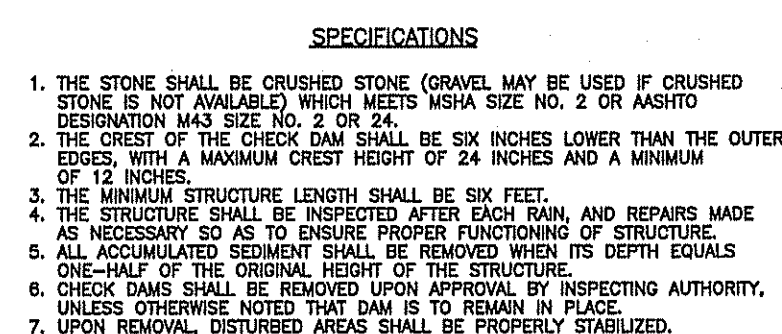
N.T.S.



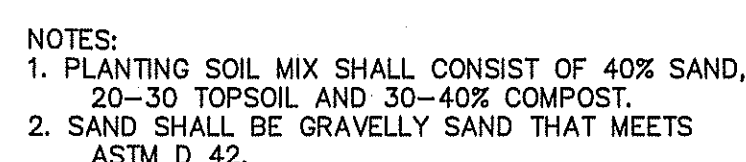
2:1 SLOPES OR LESS



N.T.S.



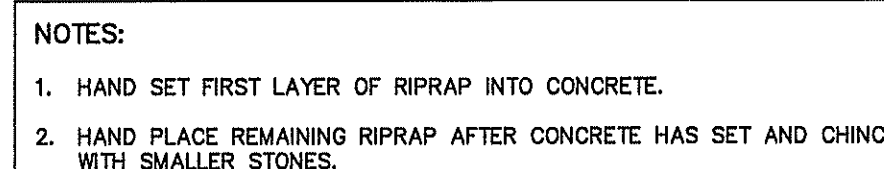
N.T.S.



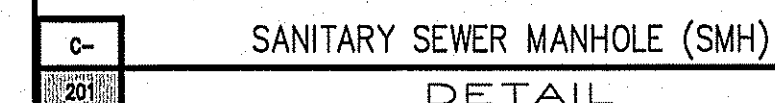
N.T.S.



## TAPPING SLEEVE AND GATE VALVE



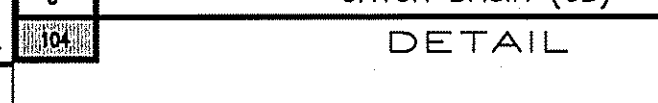
NTC



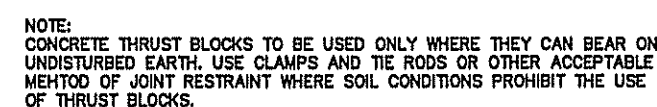
N.T.S.



0MH)



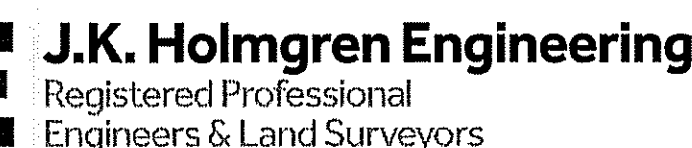
N.T.S.



N.T.S.



NTS



PREPARED FOR

TITEL:

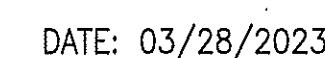
J.K. HOLMGREN ENGINEERING, LLC

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA 02301

Phone - (508) 583-2595

Email : sfaria@ikholmgren.com



DATE: 03/28/2023

DRAWING NUMBER

3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.
NO.	BY	DATE	REMARKS

H:\2022\2022-143\CIVIL\DESIGN\2022-143CDS0.DWG

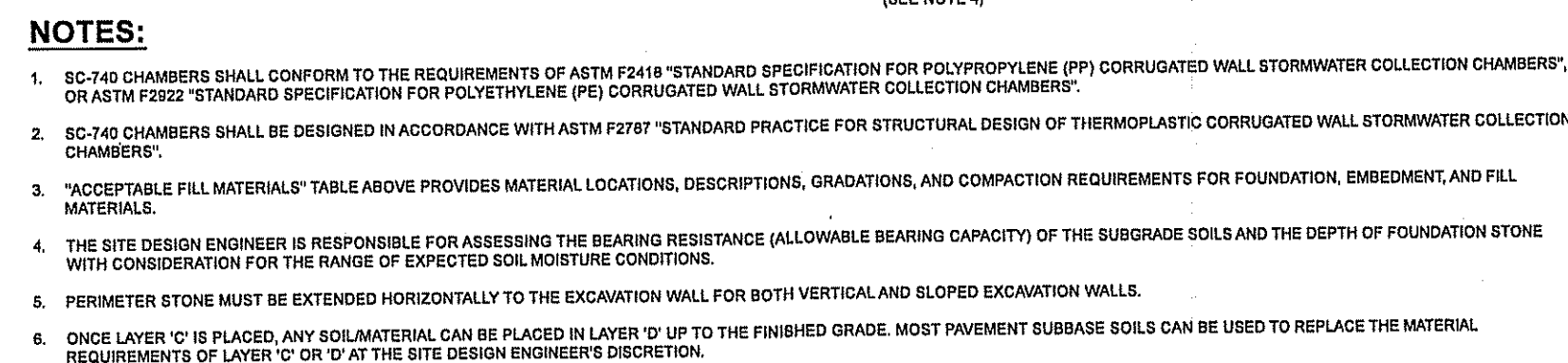
2022-143

C-11

DRAWING NUMBER

H:\2022\2
2022-143

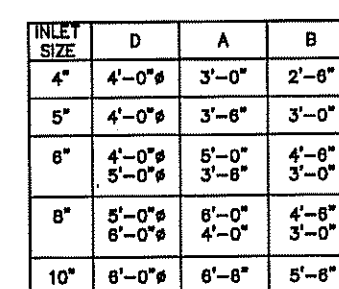




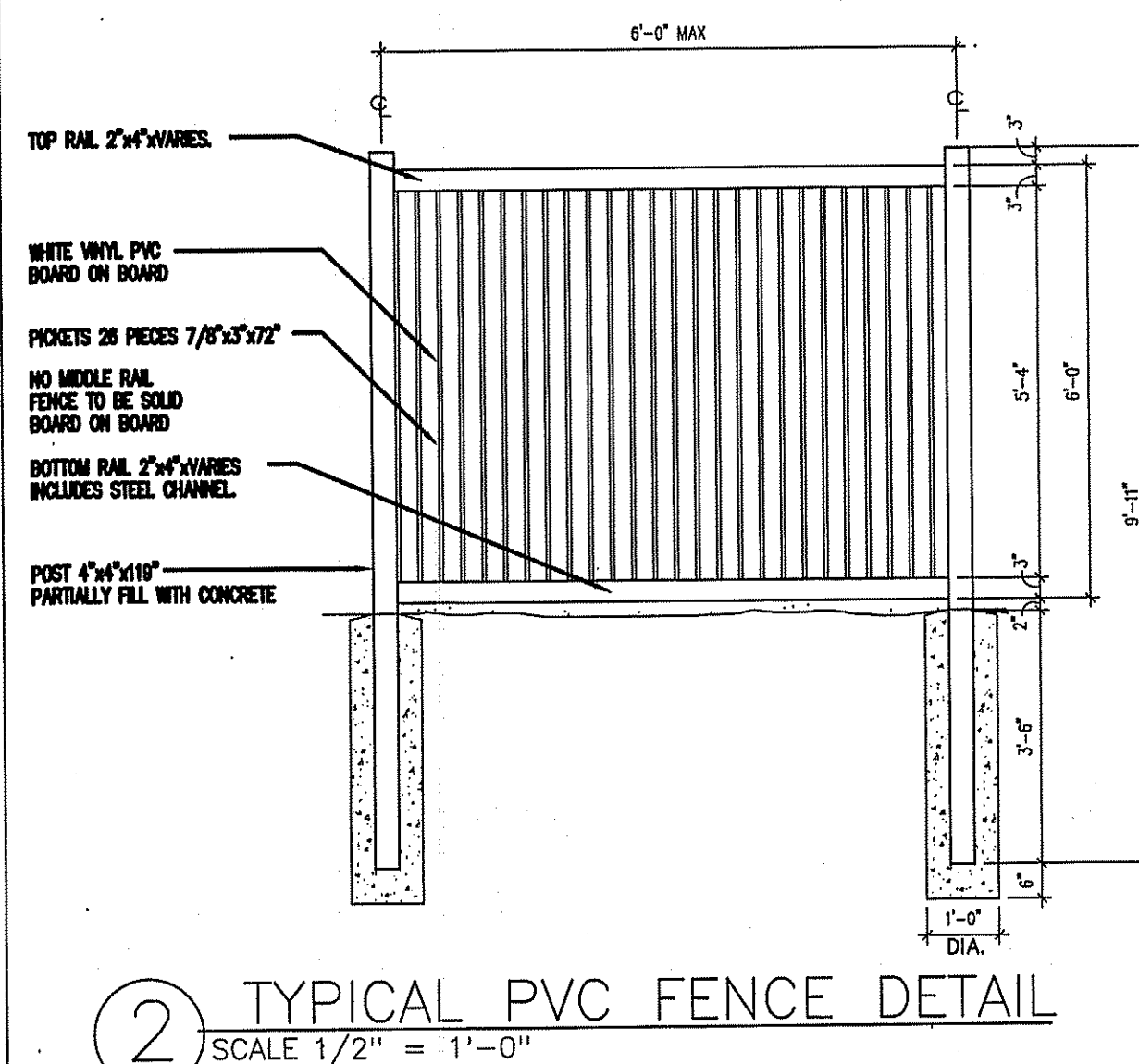
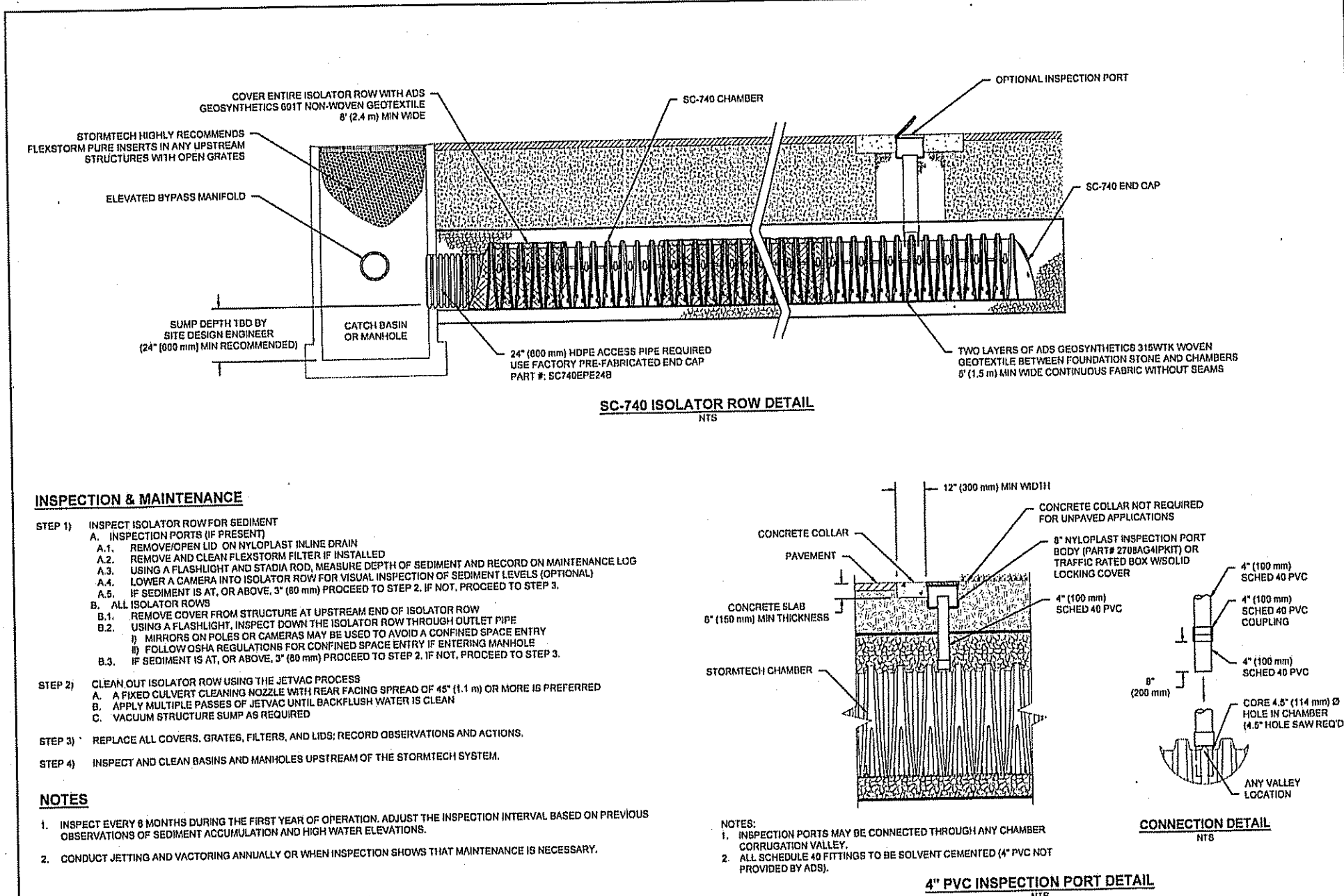
PLAN SECTION 2-2

NOTES:

1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.



- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" OF 60" 72" NODULAR DIAMETER.
  2. MANHOLE SHAFT SHALL BE DESIGNED FOR 15 G.S.
  3. MANHOLE SHALL BE CONCRETE WITH 12" THICK WALLS. TOP 1' SHALL BE CAST IN PLACE.
  4. MANHOLE STEPS SHALL BE INSTALLED AT 4' O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  5. STRUCTURE SHALL BE DESIGNED TO BE SEVEN TWO FOUR OF WITHSTANDING WATERPROOFING MATERIAL.
  6. JOINT BETWEEN SECTIONS OF PRECAST STRUCTURE SHALL BE PROVED BUTYL RUBBER JOINT.
  7. MANHOLE SHALL HAVE MANHOLE FRAMES AND OTHER WALLS BE CAST IN FULL STALLER.
  8. MANHOLE TO GRADE WITH CLAY BOND JOINT AND MANHOLE AT PRECAST COURSES.
  9. STRUCTURE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE, DUE TO HAVE A RISK OF COLLAPSE.
  10. A RISK COVER MUST BE USED IF STRUCTURE IS LOCATED INSIDE OF BUILDING.
  11. THE STRUCTURE SHALL BE TO LOCATED AND CONSTRUCTED THAT SURFACE WATER FROM THE BUILDING SHALL NOT BE ALLOWED TO ENTER THE STRUCTURE.
  12. INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
  13. THE STRUCTURE SHALL BE FLOORED ON DIVIDING CURVATURES OUTSIDE SHALL BE AT LEAST 12" ABOVE THE SURFACE OF THE ROAD.
  14. THE MEN MANHOLE MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND RETURN MUST BE DISCHARGED TO PROPER DRAINAGE.
  15. THE MANHOLE MUST BE CLEANED BEFORE REMOVING CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH THE MANHOLE.
  16. SPECIFICATIONS FOR COVERED SLOPE, DEPENDS OF CONDITIONS, SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT.
  17. BOTH VENTS SHALL EXTEND 30 INCHES MINIMUM 15' ABOVE THE ROOF OR, OR 10' ABOVE THE ROOF, AND BE PROTECTED BY A RAIN CAP.



Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts  
PREPARED FOR

84 LUMBER CO.

TITLE

# DETAIL SHEET

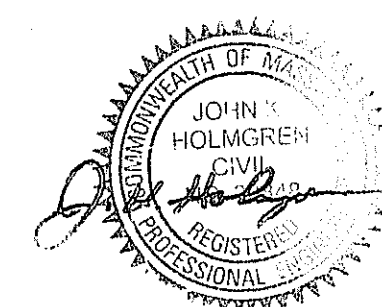
J.K. HOLMGREN ENGINEERING, LLC

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA. 02301

Phone - (508) 583-2595

Email : [sfaria@jkholgren.com](mailto:sfaria@jkholgren.com)



DATE: 03/28/2023

3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.
NO.	RY	DATE	REMARKS

C-12

DRAWING NUMBER

H:\2022\2022-143\CIVIL\DESIGN\2022-143CDS0.DWG

2022-143



TEST PIT # 1 GRD. EL. 246.1  
GW. EL. 237.60  
DATE: 02-03-23 MOTTLES EL.   
TEST BY: JK HOLMGREN, PE  
WITNESSED BY: N/A  
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A TOP SOIL	
12-48	B FILL	
48-120	C SANDY LOAM	2.5Y 5/4

MOTTLES @ N/A  
WATER OBSERVED @ 102"  
PERC RATE N/A MIN/INCH

TEST PIT # 2 GRD. EL. 246.3  
GW. EL. 240.8  
DATE: 02-03-23 MOTTLES EL. N/A  
TEST BY: JK HOLMGREN, PE  
WITNESSED BY: N/A  
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A TOP SOIL	
12-108	C SANDY LOAM	2.5 5/3

MOTTLES @ N/A  
WATER OBSERVED @ 66"  
PERC RATE N/A MIN/INCH

TEST PIT # 3 GRD. EL. 245.6  
GW. EL. 240.1  
DATE: 02-03-23 MOTTLES EL. N/A  
TEST BY: JK HOLMGREN, PE  
WITNESSED BY: N/A  
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A TOP SOIL	
12-108	C SANDY LOAM	2.5 5/3

MOTTLES @ N/A  
WATER OBSERVED @ 66"  
PERC RATE N/A MIN/INCH

TEST PIT # 4 GRD. EL. 263.2  
GW. EL. 256.2  
DATE: 02-03-23 MOTTLES EL. 256.2  
TEST BY: JK HOLMGREN, PE  
WITNESSED BY: N/A  
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A FILL	
12-48	B SANDY LOAM	2.5 4/2
48-120	C LOAMY SAND	10YR 4/6

MOTTLES @ 84"  
WATER OBSERVED @ 90"  
PERC RATE N/A MIN/INCH

TEST PIT # 5 GRD. EL. 263.9  
GW. EL. 256.9  
DATE: 02-03-23 MOTTLES EL. 256.9  
TEST BY: JK HOLMGREN, PE  
WITNESSED BY: N/A  
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A FILL	
12-36	B SANDY LOAM	2.5 4/3
36-120	C LOAMY SAND	10YR 5/6

MOTTLES @ 84"  
WATER OBSERVED @ 88"  
PERC RATE N/A MIN/INCH

TEST PIT # 6 GRD. EL. 264.6  
GW. EL. 257.6  
DATE: 02-03-23 MOTTLES EL. 257.6  
TEST BY: JK HOLMGREN, PE  
WITNESSED BY: N/A  
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A FILL	
12-36	B SANDY LOAM	2.5 4/3
36-120	C LOAMY SAND	10YR 5/6

MOTTLES @ 84"  
WATER OBSERVED @ 88"  
PERC RATE N/A MIN/INCH

TEST PIT # 7 GRD. EL. 260.30  
GW. EL. 254.63  
DATE: 06-01-23 MOTTLES EL. N/A  
TEST BY: ANTHONY ESPOSITO  
WITNESSED BY: LAWRENCE PERRY  
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-4"	GRAVEL	
4-68"	C LS 2.5y4/3	FIRM

MOTTLES @ N/A  
WATER OBSERVED @ N/A  
PERC RATE N/A MIN/INCH

TEST PIT # 8 GRD. EL. 258.75  
GW. EL. 252.50  
DATE: 06-01-23 MOTTLES EL. 252.50  
TEST BY: ANTHONY ESPOSITO  
WITNESSED BY: LAWRENCE PERRY  
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-4"	GRAVEL	
4-36"	FILL	
36-108"	C LS 2.5y4/3	MOTTLES @ 75" 7.5y5/6

MOTTLES @ 75"  
WATER OBSERVED @ 100"  
PERC RATE N/A MIN/INCH

TEST PIT # 9 GRD. EL. 257.75  
GW. EL. 250.50  
DATE: 06-01-23 MOTTLES EL. 250.50  
TEST BY: ANTHONY ESPOSITO  
WITNESSED BY: LAWRENCE PERRY  
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-2"	GRAVEL	
2-11"	B LS 10y4/6	
11-69"	C1 LS 2.5y4/4	
69-99"	C2 LS 2.5y4/3	MOTTLES @ 87" 7.5y5/6

MOTTLES @ 87"  
WATER OBSERVED @ N/A  
PERC RATE N/A MIN/INCH

TEST PIT # 10 GRD. EL. 257.20  
GW. EL. 250.37  
DATE: 06-01-23 MOTTLES EL. 250.37  
TEST BY: ANTHONY ESPOSITO  
WITNESSED BY: LAWRENCE PERRY  
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-8"	A SL 10y4/6	
8-27"	B LS 10y 5/6	
27-82"	C LS 2.5y4/6	MOTTLES @ 82" 7.5y5/6

MOTTLES @ 82"  
WATER OBSERVED @ N/A  
PERC RATE N/A MIN/INCH

TEST PIT # 11 GRD. EL. 253.90  
GW. EL. 244.82  
DATE: 06-01-23 MOTTLES EL. N/A  
TEST BY: ANTHONY ESPOSITO  
WITNESSED BY: LAWRENCE PERRY  
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-2"	GRAVEL	
2-13"	A SL 10y4/6	
13-29"	B LS 10y5/6	FIRM
29-109"	C LS 2.5y4/6	FIRM

MOTTLES @ N/A  
WATER OBSERVED @ N/A  
PERC RATE N/A MIN/INCH

Assessors Map: 94 Parcel: 27 & 28  
Page Street, Stoughton, Massachusetts  
PREPARED FOR

84 LUMBER CO.

TITLE

DETAIL SHEET

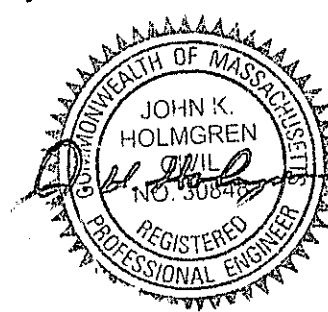
J.K. HOLMGREN ENGINEERING, LLC

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA. 02301

Phone - (508) 583-2595

Email : sfaria@jkholmgren.com



DATE: 03/28/2023			
3	SSR	10.16.23	CONDITIONS OF APPROVAL
2	CM	6.15.23	TOWN REVS.
1	CM	5.24.23	TOWN REVS.
NO.	BY	DATE	REMARKS
H:\2022\2022-143\CIVIL\DESIGN\2022-143CDS0.DWG			
2022-143			

C-13
DRAWING NUMBER