

Site Development Plans

COVER - GENERAL NOTES - LEGEND SHEET

Issued for : Site Plan Review

Date Issued - March 28, 2023

Revised - October 16, 2023

Job Number - 2022-143

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ABBREVIATION LEGEND

EOP	EDGE OF PAVEMENT
VGC	VERTICAL GRANITE CURB
CB	CATCH BASIN
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
UP	UTILITY POLE
CCB	CAPE COD BERM
WG	WATER GATE
GG	GAS GATE
BC	BOTTOM OF CURB
TC	TOP OF CURB
LSA	LANDSCAPED AREA
BW	BOTTOM OF WALL
TW	TOP OF WALL
CC	CONCRETE CURB
EMH	ELECTRIC MANHOLE
DS	DOWN SPOUT
CO	CLEAN OUT



GENERAL NOTES

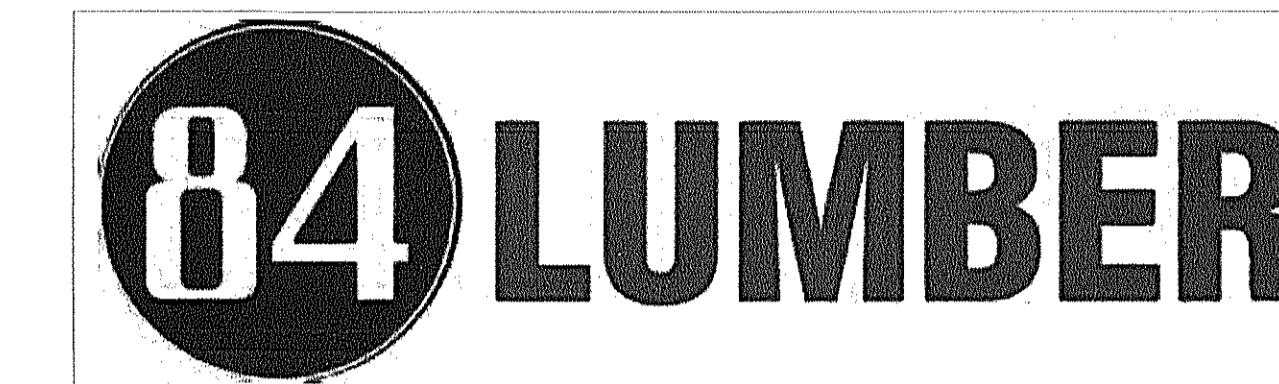
- ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS TO BE LESS THAN 5%.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO J K HOLMGREN ENGINEERING. CONTRACTOR WILL REFER TO J K HOLMGREN ENGINEERING FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVAL AND RESET". (R&R)
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSAND.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL 811 (A 1-800-296-SAFE) AND TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 48 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO J K HOLMGREN ENGINEERING. CONTRACTOR WILL REFER TO J K HOLMGREN ENGINEERING FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED AND SEEDED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 4" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM, OR OTHER SURFACE.
- THE CONTRACTOR SHALL WATER, MOW, AND FERTILIZE LAWN AREAS UNTIL SATISFACTORY GRASS STANDS, AND/OR THE OWNER OR ITS REPRESENTATIVE IS SATISFIED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND ITS REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, ITS ENGINEER OR REPRESENTATIVE.
- FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE AS DESIGNED, REVIEWED AND APPROVED BY THE PLANNING BOARD.
- THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARANCE WORK.
- ALL ELECTRICAL, TELEPHONE, AND LOCAL FIRE DEPARTMENT CONDUITS ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING AND CONCRETE AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- PROPOSED MANHOLE RIMS & GRATES ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK. IF ANY CONFLICTS ARE DISCOVERED NOTIFY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR POLE RELOCATION, AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOWN OF STOUGHTON PUBLIC WORKS CONSTRUCTION LICENSE.
- A STABILIZED CONSTRUCTION EXIT TO BE PUT IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- REMOVE SNOW FROM SITE AS NECESSARY AND DO NOT PLACE ON TOWN PROPERTY.
- THE MAINTENANCE OF THE DRAINAGE SYSTEM IS THE OWNERS RESPONSIBILITY (POST-CONSTRUCTION). THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE SYSTEM DURING CONSTRUCTION.
- ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.
- THE SITE IS NOT LOCATED IN A DEP WELL HEAD PROTECTION DISTRICT.
- THE SITE IS NOT LOCATED IN A NHESP ESTIMATED OR PRIORITY HABITAT OF RARE SPECIES.

Proposed Building

Page Street, Stoughton, Norfolk County, Massachusetts

For :

84 Lumber Co.



Applicant :

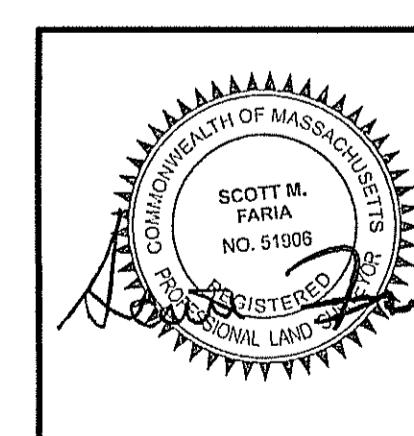
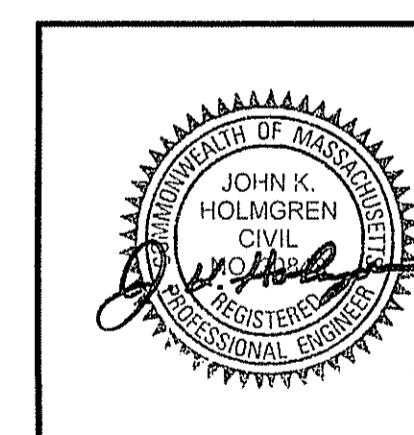
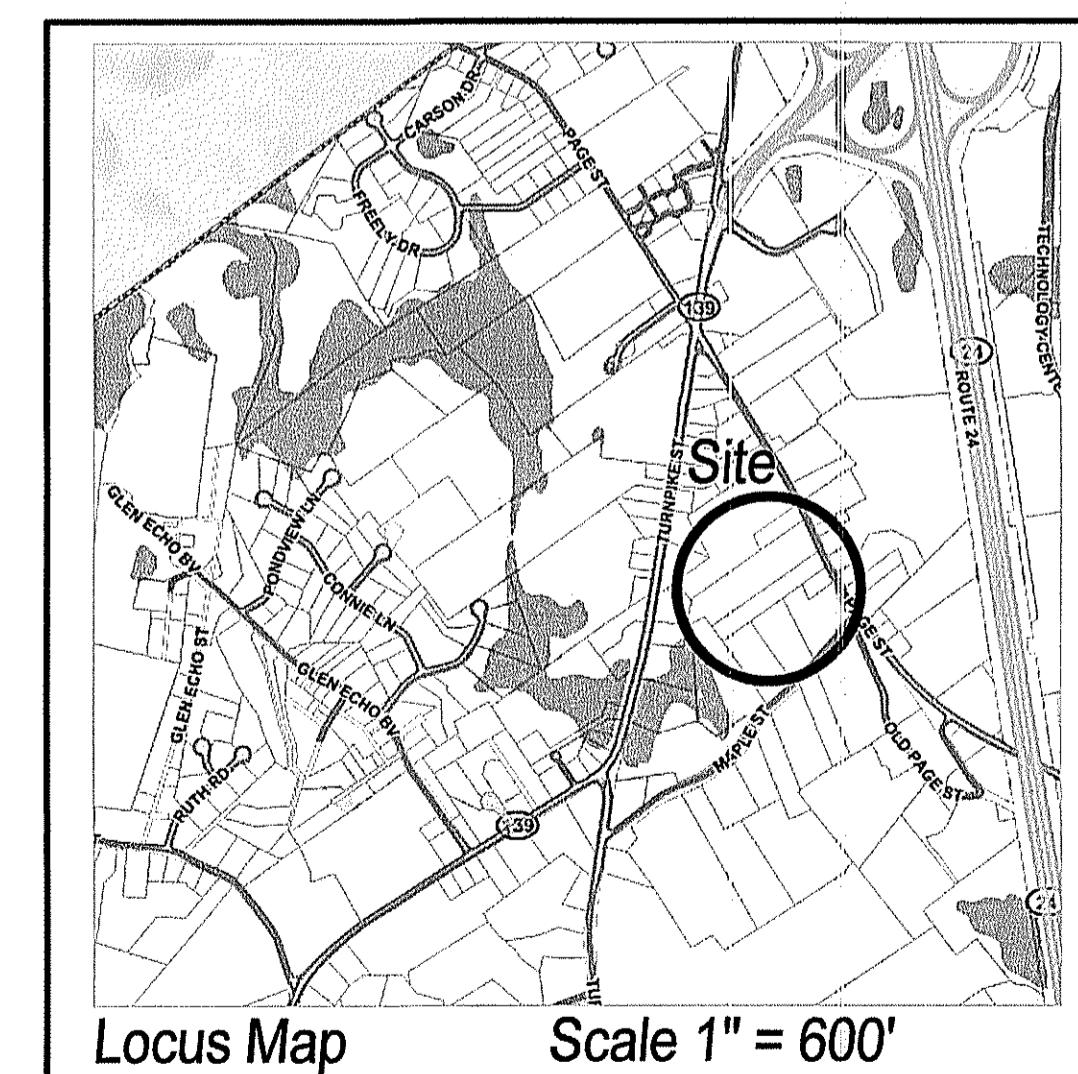
84 Lumber Co.
C/O James Zaunic
1019 Route 5A, Building 5
Eighty Four, PA 15330

Owner :

Gioioso Francesco & Ferrante
58 Sprague Street
Hyde Park, MA 02136

Design Engineer/Surveyor :

J.K. HOLMGREN ENGINEERING LLC.
Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
Phone - (508) 583-2595
Email: Sfaria@jholmgren.com



ENGINEER:
JOHN K. HOLMGREN
MASSACHUSETTS REGISTERED
PROFESSIONAL ENGINEER REG# 30848

SURVEYOR:
SCOTT M. FARIA
MASSACHUSETTS REGISTERED
PROFESSIONAL LAND SURVEYOR REG# 51906

DATE: 03/28/2023

C-1

DRAWING NUMBER

JHE J.K. Holmgren Engineering
Registered Professional
Engineers & Land Surveyors

○	Construction Revision
Blank	Submittal Action
△	Plan Revision
REV. BY:	DATE: REMARKS

H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CMIL\DESIGN\2022-143COV2.dwg
Job # 2022-143

RECEIVED
STOUGHTON 10:55
083 NOV 25 A 95
TOWN OF STOUGHTON
Massachusetts
MA 02072
PLANNING BOARD
84 Lumber Company
84 Page Street
Stoughton, MA 02072
Case # SP23-003 A True Copy
Date: August 24, 2023
Applicant: 84 Lumber Company, do James Zau Stoughton Town Clerk, 02072
Owner: Francesco & Femante Gliosco
Trusts of Sprague Realty Trust
99 Sprague Street
Hyannis, MA 02193
Representative: J.K. Holmgren Engineering, LLC
1024 Pearl Street
Brocton, MA 02021
Property: Page Street
Stoughton, MA 02072
Assessor Map 94, Lots 27 & 28
Book: 4703, Page: 459
Book: 6008, Page: 523
I) Introduction
On March 30, 2023, applicant, 84 Lumber Company ("Applicant"), filed an application for Site Plan Review under Section 10.8.2 for the proposed development of a 0.85 acre of new building, with site development of 11 parking spaces, heating, lighting, fixtures, and storm drainage ("the Project"). The project is located at 0 Page Street (Assessor Map 94 Lots 27 & 28 the "Property").
0 Page Street - 84 Lumber Company - Site Plan Approval - Case #SP23-003

II) Project Summary
As described in the application materials and the below referenced Site Plan, the Property is a 0.85-acre site that is currently used as an outdoor staging and storage area for 84 Lumber Company. The Project comprises the proposed development of a 0.85-acre building with 11 parking spaces, heating, lighting, fixtures, and storm drainage.
The Property is located within an I (Industrial) Zoning District. The proposed Project is a permitted use within the I Zoning District and requires Site Plan Review approval.
III) Procedural History
A) A pre-application meeting was held on March 9, 2023 with Town Staff.
B) Application for Site Plan Approval was made by the above referenced applicant on March 30, 2023.
C) The land shown on the Site Plan is located at 0 Page Street as shown on Assessors Map 94 Lots 27 & 28 in an I (Industrial) Zoning District.
D) A Public hearing on the Site Plan Application was held on May 11, 2023 and continued to June 1, 2023, July 13, 2023, and August 24, 2023.
E) The hearing was advertised on April 28, 2023 and May 3, 2023 in the Patriot-Ledger.
F) On August 24, 2023, the public hearing was closed and on August 24, 2023, the Planning Board voted to approve the Site Plan request, plans dated March 28, 2023 revised through June 15, 2023.
IV) Application Submission
1. Application for Site Plan Approval was made by the above referenced applicant on March 30, 2023.
2. Application submitted with the Planning Board on March 30, 2023.
3. Site Plan entitled "84 Lumber Co., proposed building, 0 Page Street, Stoughton, Massachusetts" prepared by J.K. Holmgren Engineering, LLC, dated March 28, 2023 revised through June 15, 2023.
4. Permits, access, and other documents, internal circulation, heading areas and parking facility, proposed design and operation, traffic, noise, convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project easily satisfies these requirements.
5. Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The property is currently being used by the applicant as a staging and storage area for an undeveloped property; therefore, it is an infill development and not burdening services since the area is already developed.
6. Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.
7. Noise Survey and Impact Predictions report prepared by Noise Control Engineering, dated June 22, 2023.
0 Page Street - 84 Lumber Company - Site Plan Approval - Case #SP23-003

V) Related Documents
1. Copy of the Legal Public Hearing notice from the edition of the Patriot-Ledger dated April 28, 2023 and May 3, 2023.
2. A pre-application meeting letter dated May 4, 2023 submitted by Craig Honfalt, Assistant Town Engineer and William Roth, Town Planner.
3. Applicant response letter to technical review memo prepared by J.K. Holmgren Engineering, LLC, dated June 12, 2023, and June 16, 2023.
4. Drainage Calculations and Stormwater Management Plan prepared by J.K. Holmgren Engineering, LLC, dated March 28, 2023 and revised May 31, 2023.
5. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, and the Planning Board, the Board found that the Project has been developed in accordance with the applicable zoning and building codes. The Board analyzed all the comments and reports received. There were meetings with the Applicant in conjunction with extensive professional technical reviews which were conducted by the Board and the professional engineer throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
6. The Planning Board, in granting the Applicant's request for a Site Plan Approval, has determined that the Project is in compliance with Section 10.8 Site Plan Approval and found that the Project will not result in any substantial detriment to the district or all of the resources stated above.
VII) Conditions
A) General Conditions
1. This decision for Site Plan Approval shall expire in two (2) years from the date of issuance if no substantial construction has commenced. The duration of this decision may be extended, for good cause, upon timely written request by the applicant.
2. Any modification(s) affecting the approved site plan, this decision or any other related conditions applying to this decision shall be subject to the review and approval of the Planning Board prior to any such modification(s) on the ground. Minor modifications may not require an application but shall be subject to a Site Plan review regulations.
3. The Applicant is responsible for filing of the decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
4. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
5. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be followed.
6. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of the site activity, and shall be determined by the Board.
7. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.
8. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
9. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a

0 Page Street - 84 Lumber Company - Site Plan Approval - Case #SP23-003

0 Page Street - 84 Lumber Company - Site Plan Approval - Case #SP23-003

7. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, and the Planning Board, the Board found that the Project has been developed in accordance with the applicable zoning and building codes. The Board analyzed all the comments and reports received. There were meetings with the Applicant in conjunction with extensive professional technical reviews which were conducted by the Board and the professional engineer throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
8. The Planning Board, in granting the Applicant's request for a Site Plan Approval, has determined that the Project is in compliance with Section 10.8 Site Plan Approval and found that the Project will not result in any substantial detriment to the district or all of the resources stated above.

building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
10. The cost of any necessary outside testing, inspectional or other services required for the issuance of a building permit or other departmental permit for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
11. Any required easements, licenses, permits, grants or usage required as part of the development of the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
12. Electronic copies of the approved site plan in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
13. A blank sheet shall be incorporated into the plans set for future inclusion of the Building Department's Site Plan and Zoning Decision shall be scanned and attached to that sheet prior to issuance of a Building Permit.
14. All construction shall be in strict conformance with the approved Site Plans dated March 28, 2023 and revised through June 15, 2023.
B) Special Conditions
1. The applicant shall record the Operation & Maintenance Plans. Proof of recording shall be submitted to the Planning Board and the Engineering Department prior to the issuance of a Building Permit.
2. The applicant shall clean entire drainage system at the end of construction.
3. The applicant shall submit two sets of the construction plans and a PDF to the Engineering Department prior to the issuance of a Building Permit.
4. A Final As-built Plan (paper copy and PDF) shall be submitted for review by the Engineering Department prior to the issuance of a Building Permit.
5. The applicant shall consolidate the lot in the tax lot with either Form A ANR Plan or 81X plan. Proof of consolidation shall be submitted to the Planning Board prior to issuance of a Building Permit.
6. The hours of operation of the facility shall be from 7:00 am until 6 pm, Monday through Saturday.
VIII) Record of Vote
The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Special Permit based on the above stated facts, findings and conditions. The Board further voted to allow the Chair to endorse the decision on their behalf.
0 Page Street - 84 Lumber Company - Site Plan Approval - Case #SP23-003

On this day of August 24, 2023.

Daniel Kelly, Chairman

Paul Demusz, Vice Chairman

Paul Beliveau

Richard Tery

Peter Murphy

C: Town Clerk
Applicant
Interested Parties
CERTIFICATION:
The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on August 25, 2023.
FOR THE PLANNING BOARD

Daniel Kelly, Chairman
0 Page Street - 84 Lumber Company - Site Plan Approval - Case #SP23-003

Assessors Map: 94 Parcel: 27 & 28
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE

PLANNING BOARD DECISION

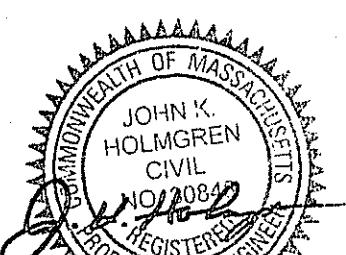
J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA 02301

Phone - (508) 583-2595

Email : sfaria@jholmgren.com



J.K. Holmgren Engineering
Registered Professional
Engineers & Land Surveyors

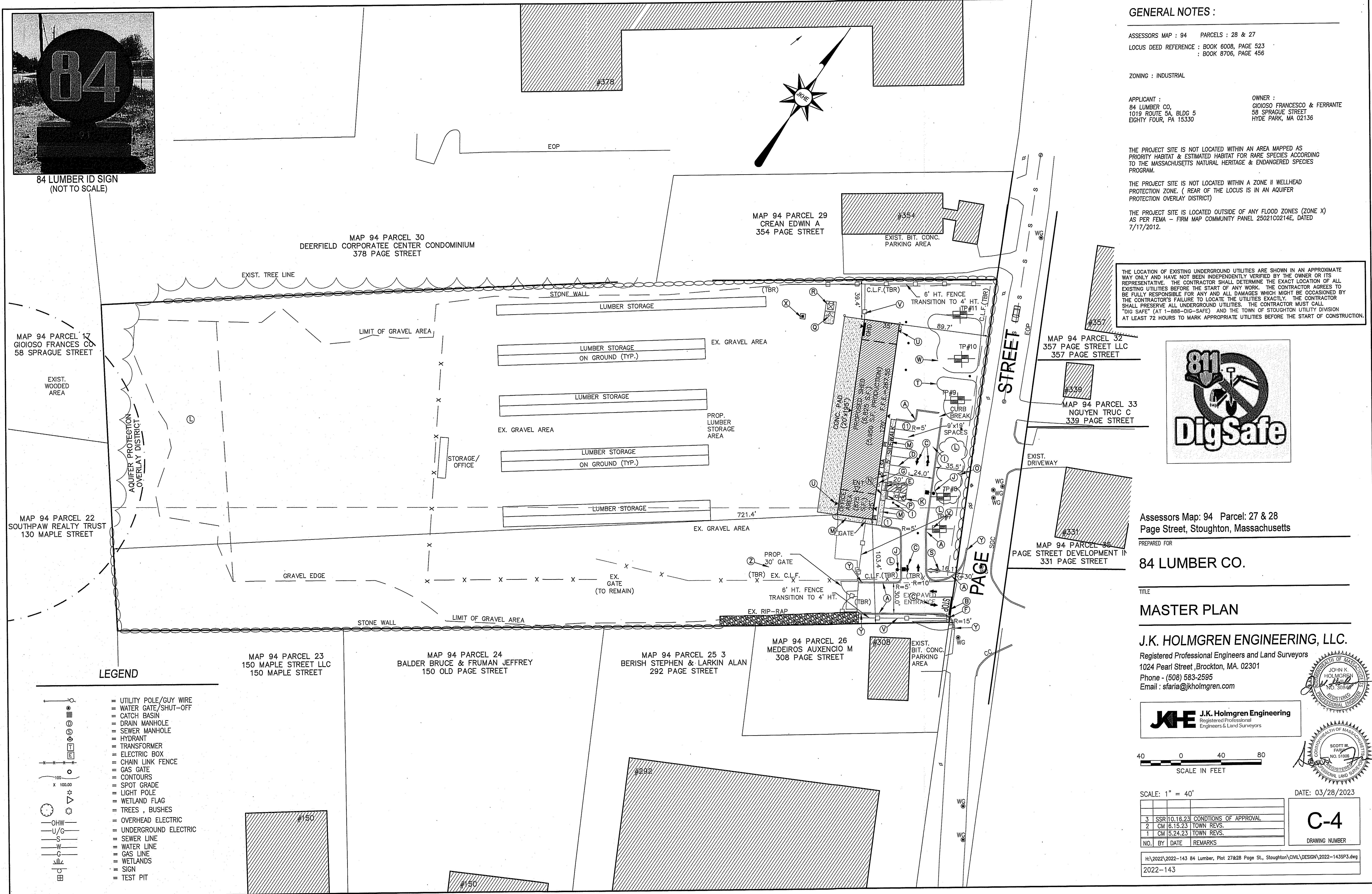
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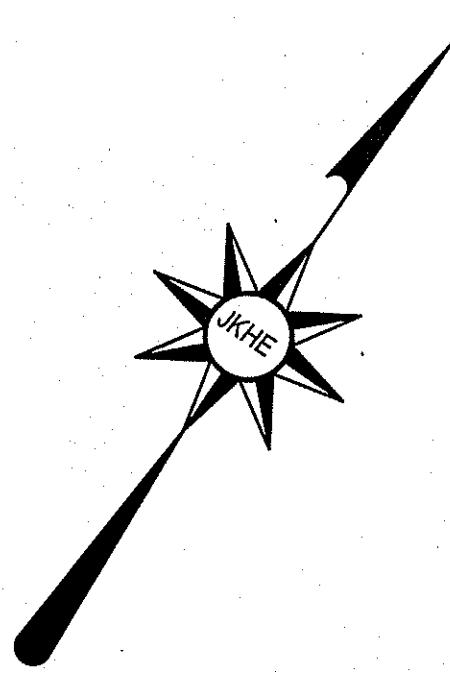
3	SSR 10.16.23	CONDITIONS OF APPROVAL
2	CM 6.15.23	TOWN REV.
1	CM 5.24.23	TOWN REV.
NO.	BY	REMARKS

C-2

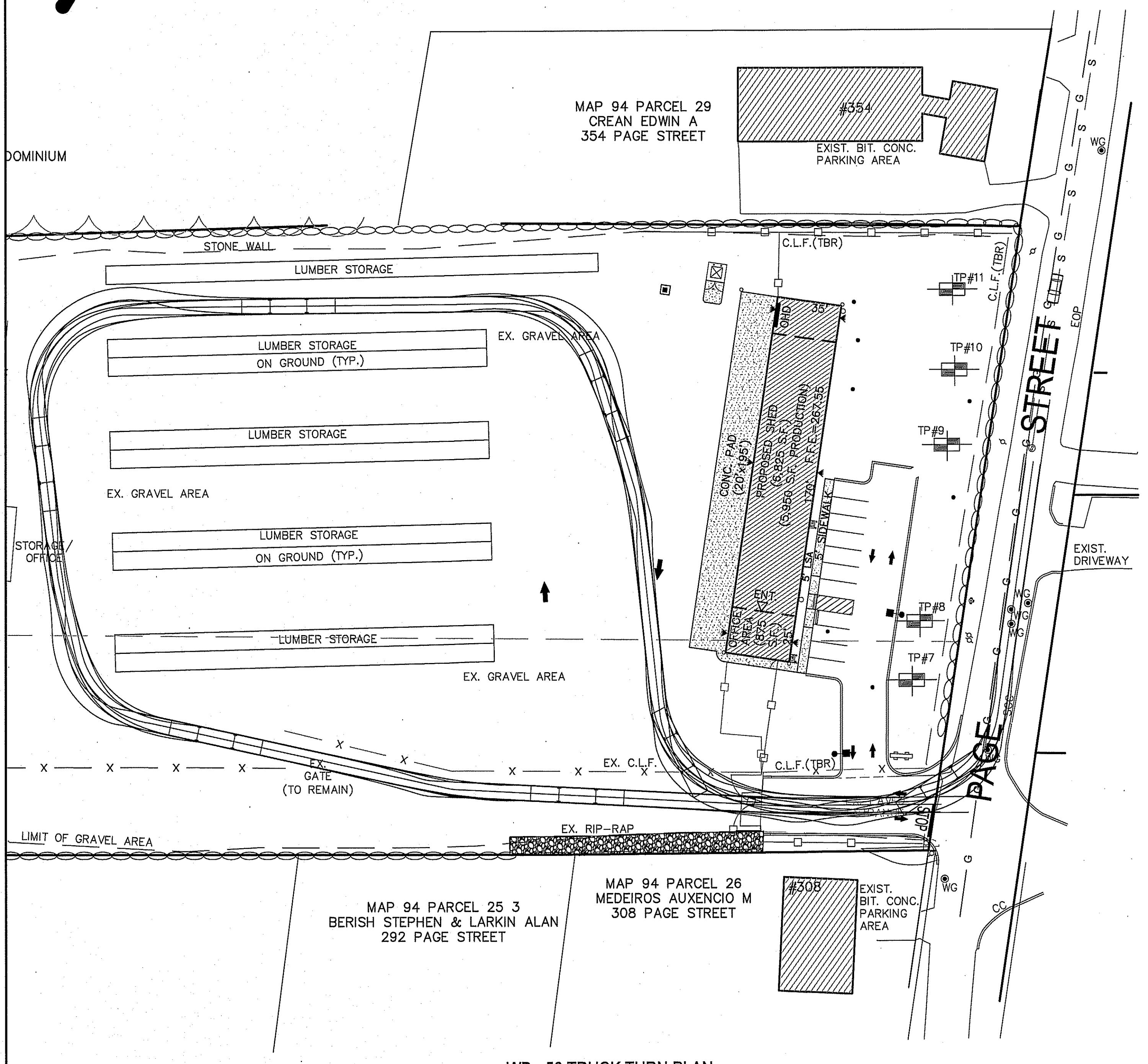
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2022-143





THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.



FIRE DEPARTMENT NOTES :

1. ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO MEET THE REQUIREMENTS OF NFPA 25.
2. BOTH THE HYDRANTS AND THE FIRE DEPARTMENT CONNECTIONS (FDC) SHALL HAVE CONCRETE OR BITUMINOUS CONCRETE SURFACES LEADING TO EACH.
3. ANY FIRE LANES MUST MEET THE REQUIREMENTS OF 527 CMR AND 780 CMR.

GENERAL NOTES :

ASSESSORS MAP : 94 PARCELS : 28 & 27
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523
: BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

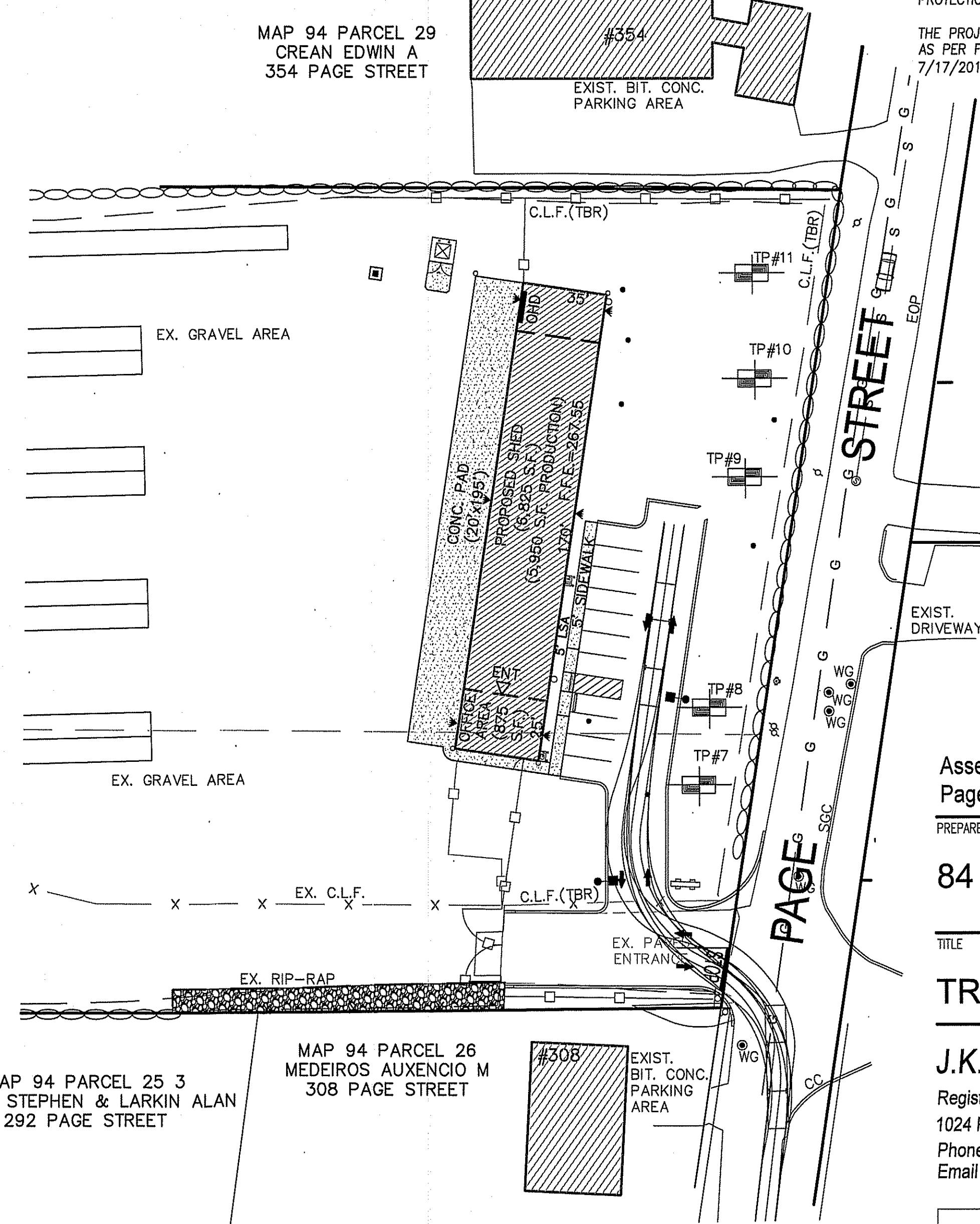
APPLICANT :
84 LUMBER CO.
1019 ROUTE 5A, BLDG. 5
EIGHTY FOUR, PA 15330

OWNER :
GIOICCO FRANCESCO & FERRANTE
58 SPRAGUE STREET
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE. (REAR OF THE LOCUS IS IN AN AQUIFER PROTECTION OVERLAY, DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED 7/17/2012.



Assessors Map: 94 Parcel: 27 & 28
Page Street, Stoughton, Massachusetts

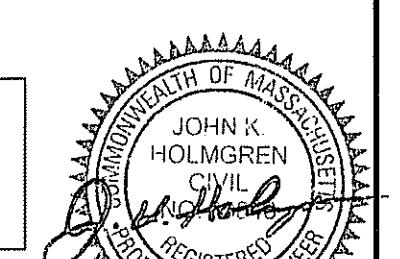
PREPARED FOR

84 LUMBER CO.

TITLE

TRUCK TURN PLAN

J.K. HOLMGREN ENGINEERING, LLC.
Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
Phone - (508) 583-2595
Email : stafia@jkholmgren.com

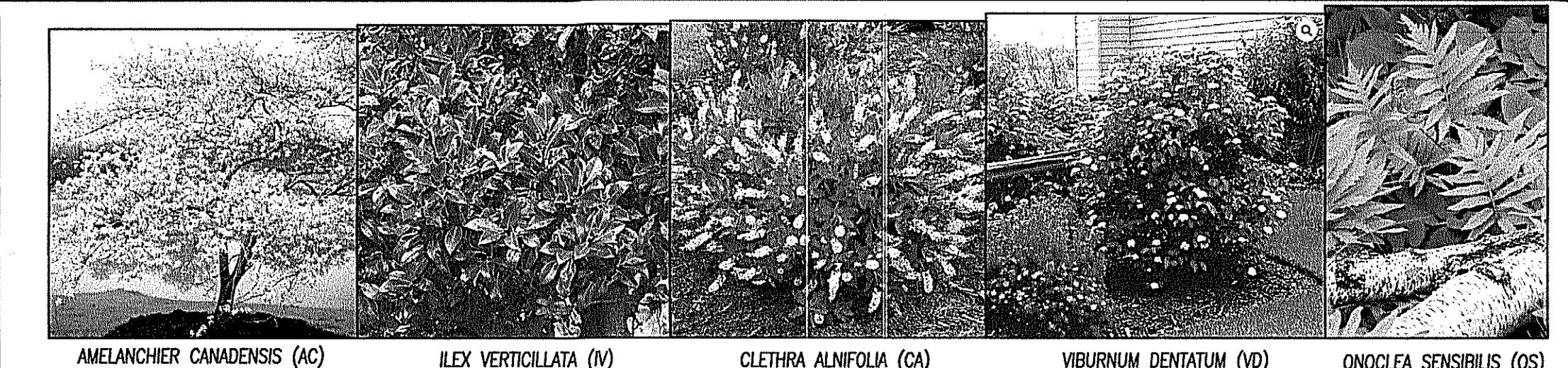
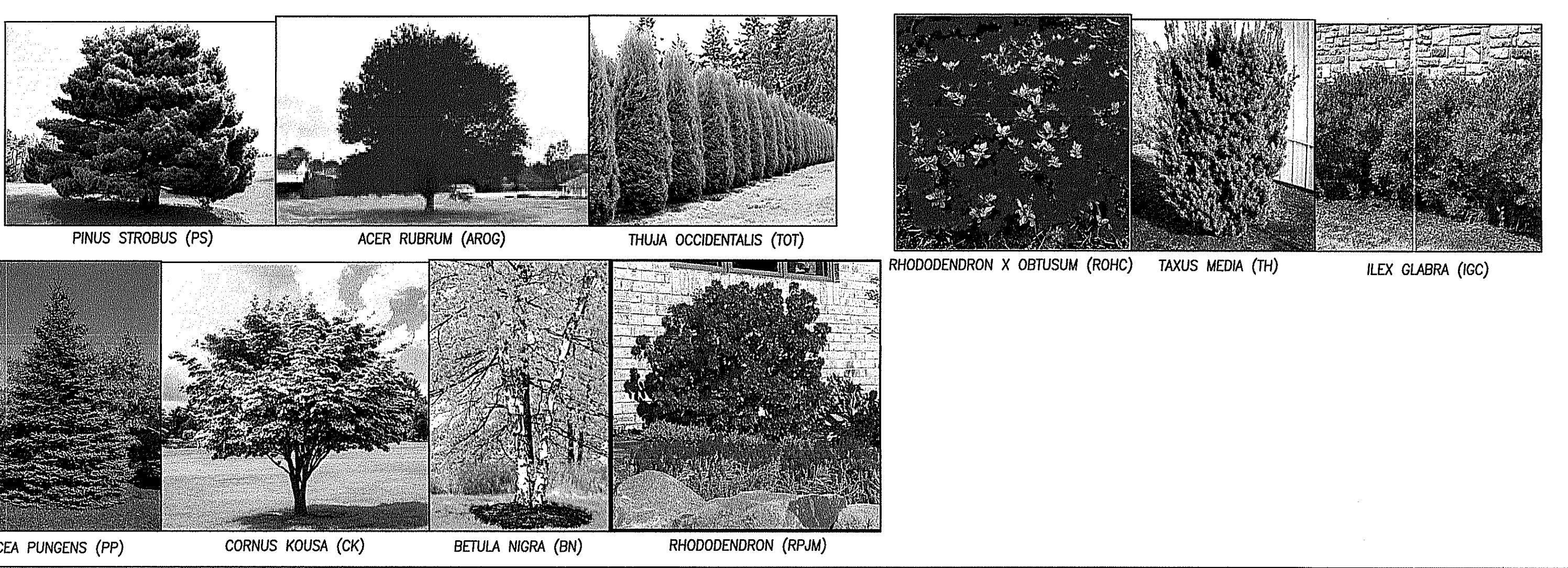


40 0 40 80
SCALE IN FEET

SCALE: 1" = 40'		DATE: 03/28/2023	
3	SSR 10.16.23	CONDITIONS OF APPROVAL	
2	CM 6.15.23	TOWN REVS.	
1	CM 5.24.23	TOWN REVS.	
NO.	BY DATE	REMARKS	

C-5A
DRAWING NUMBER

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2022-143



GENERAL NOTES:

ASSESSORS MAP : 94 PARCELS : 28 & 27
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523
: BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

APPLICANT :
84 LUMBER CO.
119 ROUTE 5A, BLDG 5
EIGHTY FOUR, PA 15330

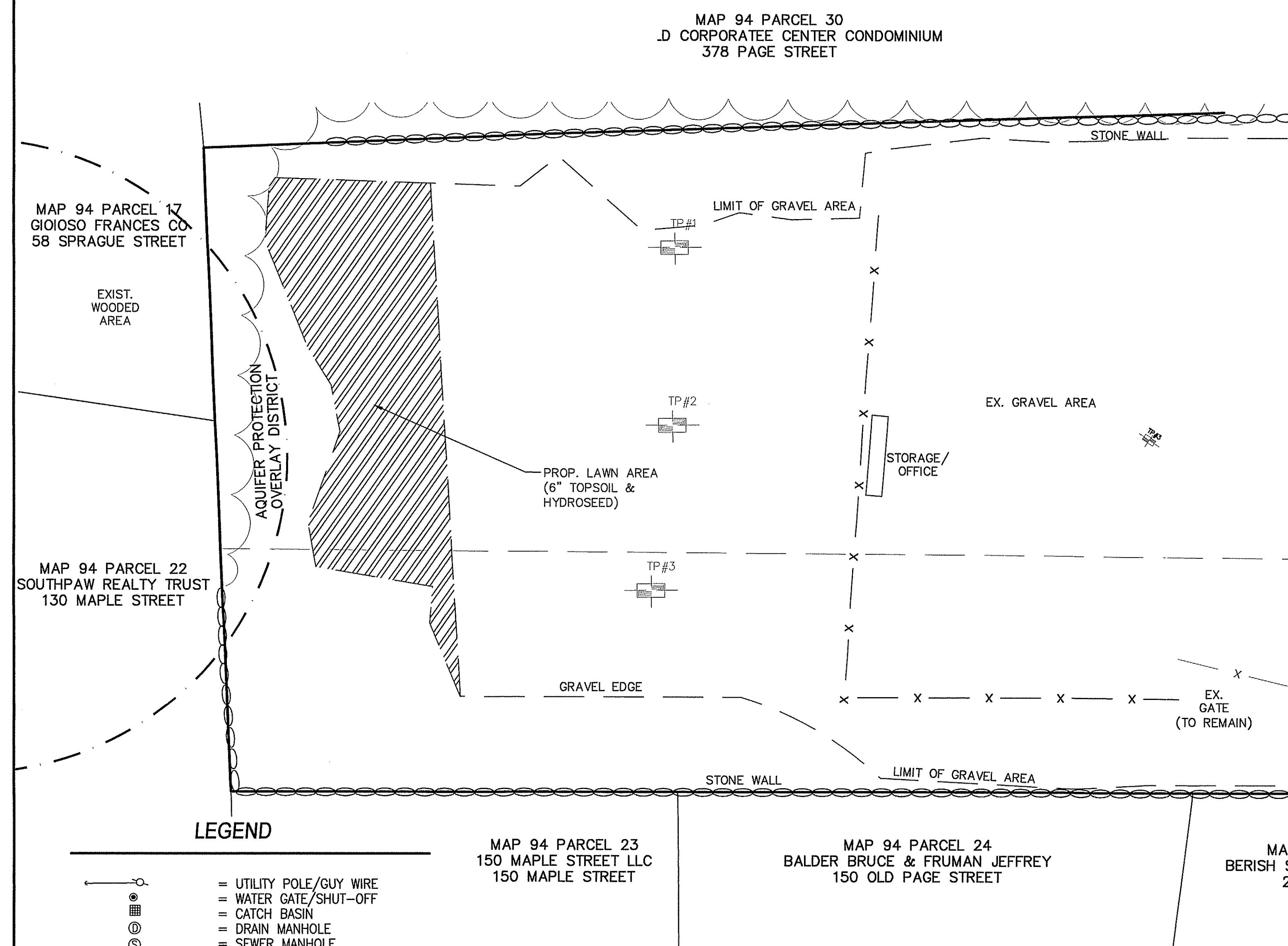
OWNER :
GIOIOSO FRANCESCO & FERRANTE
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HYDE PARK, MA 02136

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THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED 7/17/2012.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR DAMAGE WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES. EXCEPT THAT THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.



LEGEND

○	= UTILITY POLE/GUY WIRE
○	= WATER GATE/SHUT-OFF
○	= CATCH BASIN
○	= DRAIN MANHOLE
○	= SEWER MANHOLE
○	= HYDRANT
○	= TRANSFORMER
○	= ELECTRIC BOX
○	= CHAIN LINK FENCE
○	= GAS GATE
○	= CONTOURS
○	= SPOT GRADE
○	= LIGHT POLE
○	= WETLAND FLAG
○	= TREES, BUSHES
○	= OVERHEAD ELECTRIC
○	= UNDERGROUND ELECTRIC
○	= SEWER LINE
○	= WATER LINE
○	= GAS LINE
○	= WETLANDS
○	= SIGN
○	= TEST PIT

LANDSCAPE NOTES:

- CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS AND EQUIPMENT IN ORDER TO COMPLETE THE WORK.
- ALL SEEDED AND / OR SOD AREAS SHALL RECEIVE 6" OF LOAM OR TOPSOIL.
- ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
- PLANTING SOIL MIX SHALL CONSIST OF 1/3 SPAGHUM PEAT MOSS AND 2/3 FERTILE FIELD LOAM BY VOLUME.
- ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF THREE FEET OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.
- REFERENCE IS MADE TO THE "MULCH LAW". THE REVISED REGULATION, 527 CMR 1 - 10.14.10.4, PROHIBITS THE NEW APPLICATION OF MULCH WITHIN 18 INCHES AROUND COMBUSTIBLE EXTERIORS OF BUILDINGS, SUCH AS WOOD OR VINYL BUT NOT BRICK OR CONCRETE. AN 18" STRIP OF 1 1/2- 2 1/2" STONE SHALL BE PLACED AT A DEPTH OF 6" AROUND EXISTING WOOD AND VINYL BUILDINGS.

SEEDING SPECIFICATIONS:

TEMPORARY SEEDING:

SEED MIXTURE:

RYEGRASS

PERMANENT SEEDING IN LANDSCAPED AREAS:

SEED MIXTURE:

PERENNIAL RYEGRASS

CREPPING RED FESCUE

REDTOP

PERMANENT SEEDING IN SLOPED AREAS:

SEED MIXTURE:

PERENNIAL RYEGRASS

CREPPING RED FESCUE

REDTOP

ALSCE CLOVER

BIRDSFOOT TREFOIL

APPLICATION RATE: 1 LB/1000 SF

APPLICATION RATE: 85 LBS/1000 SF

52 LBS/1000 SF

7 LBS/1000 SF

APPLICATION RATE: 30 LBS/1000 SF

35 LBS/1000 SF

5 LBS/1000 SF

5 LBS/1000 SF

5 LBS/1000 SF

BIORETENTION AREA LANDSCAPE SCHEDULE				
SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
AC	2	AMELANCHIER CANADENSIS	SHADBLOW	6'-8' HT. B & B
IV	2	ILEX VERTICILLATA	WINTERBERRY	15'-18' HT. CONTAINER
CA	2	CLETHRA ALNIFOLIA	SWEET PEPPERMINT	12'-15' HT. CONTAINER
VD	2	VIBURNUM DENTATUM	ARROWWOOD	18"-24" HT. CONTAINER
OS	6	ONOCLEA SENSIBILIS	SENSITIVE FERN	- 2 QT. POT

LANDSCAPE SCHEDULE				
SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
AROG	6	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	2-2 1/2" CAL. B & B
PS	9	PINUS STROBOS	EASTERN WHITE PINE	5-6" HT. B & B
TOT	9	THUJA OCCIDENTALIS "TECHNIV"	MISSION ARBORVITAE	6"-7" HT. B & B
PP	6	PICEA PUNGENS	COLORADO SPRUCE	6"-7" HT. B & B
CK	2	CORNUS KOUA	KOUSAS DOGWOOD	6"-7" HT. B & B
BN	5	BETULA NIGRA	RIVER BIRCH	2-2 1/2" CAL. B & B
RPJM	10	RHODODENDRON "PJM"	PJM RHODODENDRON	18"-24" HT. CONTAINER
ROHC	14	RHODODENDRON X OBTUSUM "HINOCRIMSON"	HINOCRIMSON AZALEA	15"-18" HT. CONTAINER
TH	21	TAXUS MEDIA "HICKSII"	HICKS YEW	30"-36" HT. CONTAINER
IGC	19	ILEX GLABRA "COMPACTA"	COMPACT INKBERRY	15"-18" HT. CONTAINER

Assessors Map: 94 Parcel: 27 & 28
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

LANDSCAPE & DEVELOPMENT PLAN

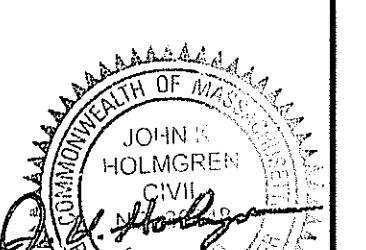
J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA. 02301

Phone - (508) 583-2595

Email : sfaria@holmgren.com



SCALE: 1" = 40'

40	0	40	80
SCALE IN FEET			
3	SSR 10.16.23	CONDITIONS OF APPROVAL	
2	CM 6.15.23	TOWN REV.	
1	CM 5.24.23	TOWN REV.	
NO. BY DATE	REMARKS		
H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CM1\DESIGN\2022-143SP3.dwg			
2022-143			

C-7

DRAWING NUMBER

DATE: 03/28/2023

UTILITY NOTES:

1. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.
2. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE WATER LINE SHOULD BE LOCATED AS LOW AS POSSIBLE AND AS FAR AWAY FROM THE SEWER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATERTIGHT AND STRUCTURALLY SOUND. THE LENGTHS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATERTIGHT.

3. SEWER BUILDING CONNECTIONS SHALL BE 6" MIN. SDR 35 PVC, U.O.N., AT A SLOPE OF 1/8% MINIMUM FROM MAINLINE TO BUILDING UNIT WITH A CLEAN OUT SET AT A DISTANCE OF 10' (U.O.N.) OF EACH UNIT FOUNDATION.

4. TYPICAL COVER OVER WATER LINE SHALL BE 5', IF LESS THAN 4' OF COVER IS PROVIDED, INSULATE WATER LINE AGAINST FREEZING.

5. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 6 FEET U.O.N. OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.

6. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.

7. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED AS INDICATED. IF THE BITUMINOUS CONCRETE IS LEFT WITHIN THE TRENCH, THE SURFACE TREATMENT CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.

SEWER AT CROSSING
INV.=258.98
TOP PIPE=259.48
DRAIN PIPE AT CROSSING
INV.=261.41
TOP PIPE=262.41

SEWER SCHEDULE	
SMH1 RIM=266.40 INV.(IN)=262.41 INV.(OUT)=261.88	SMH2 RIM=265.99 INV.(IN-SMH 1)=259.27 INV.(OUT)=259.22
SMH3 RIM=265.80 INV.(IN)=258.02 INV.(OUT)=257.92	PROPOSED OIL/WATER SEPARATOR RIM=265.99 INV.(IN)=260.50 INV.(OUT)=260.42

EX. GRAVEL AREA

PR. HYDRANT

LEGEND

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES, BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT

MAP 94 PARCEL 26
MEDEIROS AUXENCIO M
308 PAGE STREET

EXIST. BIT. CONC.
PARKING AREA

WATER DEPARTMENT NOTES:

- 1) THE 1" OR 2" WATER SERVICE SHALL BE PE (250 PSI RATED) FROM THE MAIN TO THE PROPOSED CURB BOX AND CURB BOX TO THE THE PROPOSED BUILDING WITH NO COUPLINGS.
- 2) WATER SERVICE LINES SHALL HAVE MINIMUM 4.5 FEET OF COVER, BEDDED ON 6 INCHES OF SAND AND BACKFILLED WITH 12 INCHES OF SAND.
- 3) PROVIDE AND ATTACH 12 GAGE TRACER WIRE TO THE WATER SERVICE PIPE AND TERMINATE THE WIRE AT THE BALL VALVE BEFORE THE METER AND UP INTO THE TOP OF THE CURB BOX. DO NOT GROUND ELECTRIC PANEL TO THE PLASTIC WATER SERVICE.
- 4) PROVIDE LOCATOR TAPE ON TOP OF THE SAND BACKFILL FOR THE FULL LENGTH OF THE TRENCH;
- 5) PLUMBER SHALL PROVIDE 1/4-TURN BALL VALVES BEFORE AND AFTER THE WATER METER.
- 6) CURB BOX SHALL BE ERIC-STYLE WITH STAINLESS STEEL CETER
- 7) CONTRACTOR SHALL NOTIFY THE WATER DEPT. FOR INSPECTION PRIOR TO BACKFILL.
- 8) HYDRANT SHALL BE PER TOWN OF STOUGHTON SPECIFICATIONS.

GENERAL NOTES:

ASSESSORS MAP : 94 PARCELS : 28 & 27
LOCUS DEED REFERENCE : BOOK 6008, PAGE 523
: BOOK 8706, PAGE 456

ZONING : INDUSTRIAL

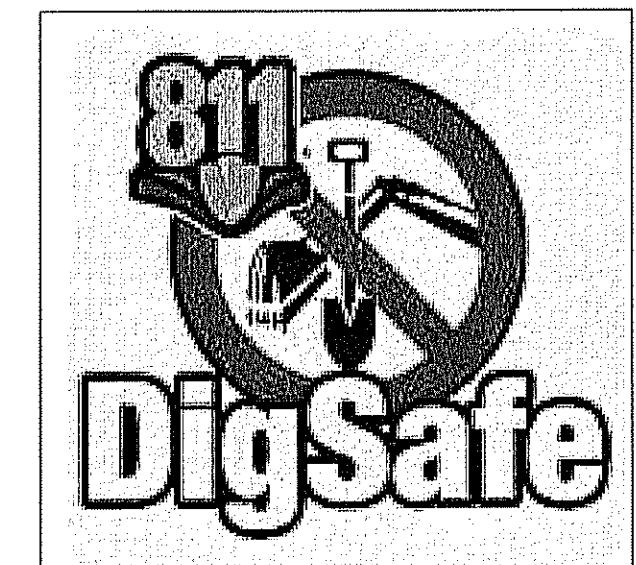
OWNER :
GIACOSSO FRANCESCO & FERRANTE
58 SPRAGUE STREET
HYDE PARK, MA 02136

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE. (REAR OF THE LOCUS IS IN AN AQUIFER PROTECTION OVERLAY DISTRICT)

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0214E, DATED 7/17/2012.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FURNISHED WITH A LIST OF ALL UTILITIES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF STOUGHTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.



Assessors Map: 94 Parcel: 27 & 28
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE

UTILITY PLAN

J.K. HOLMGREN ENGINEERING, LLC.

Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
Phone - (508) 583-2595
Email : sfaria@jholmgren.com



20 0 20 40
SCALE IN FEET

SCALE: 1" = 20'

3	SSR 10.16.23	CONDITIONS OF APPROVAL
2	CM 6.15.23	TOWN REV.
1	CM 5.24.23	TOWN REV.
NO. BY DATE		REMARKS

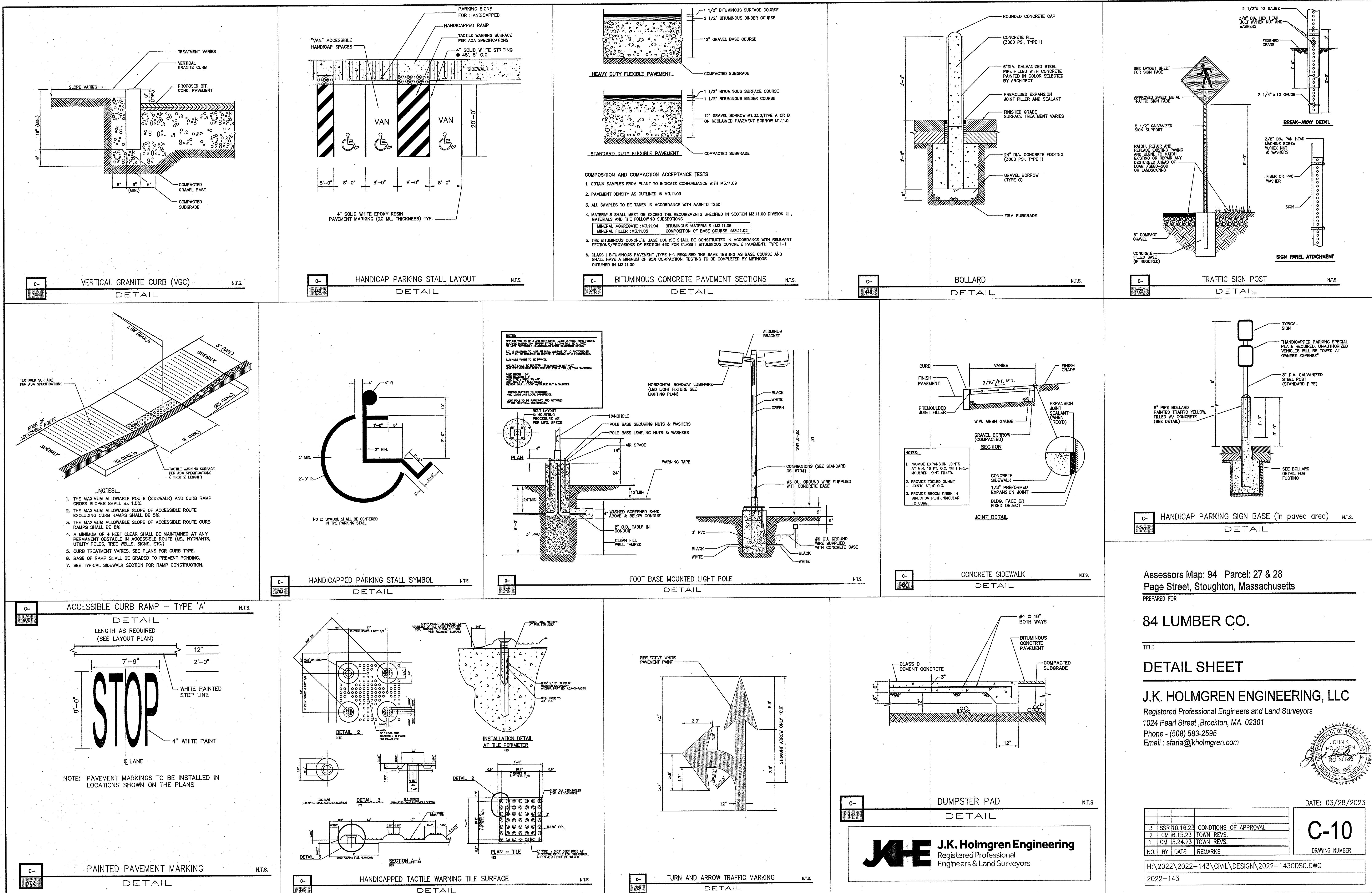
H:\2022\2022-143 84 Lumber, Plot 27&28 Page St., Stoughton\CIVIL\DESIGN\2022-143SP3.dwg
2022-143

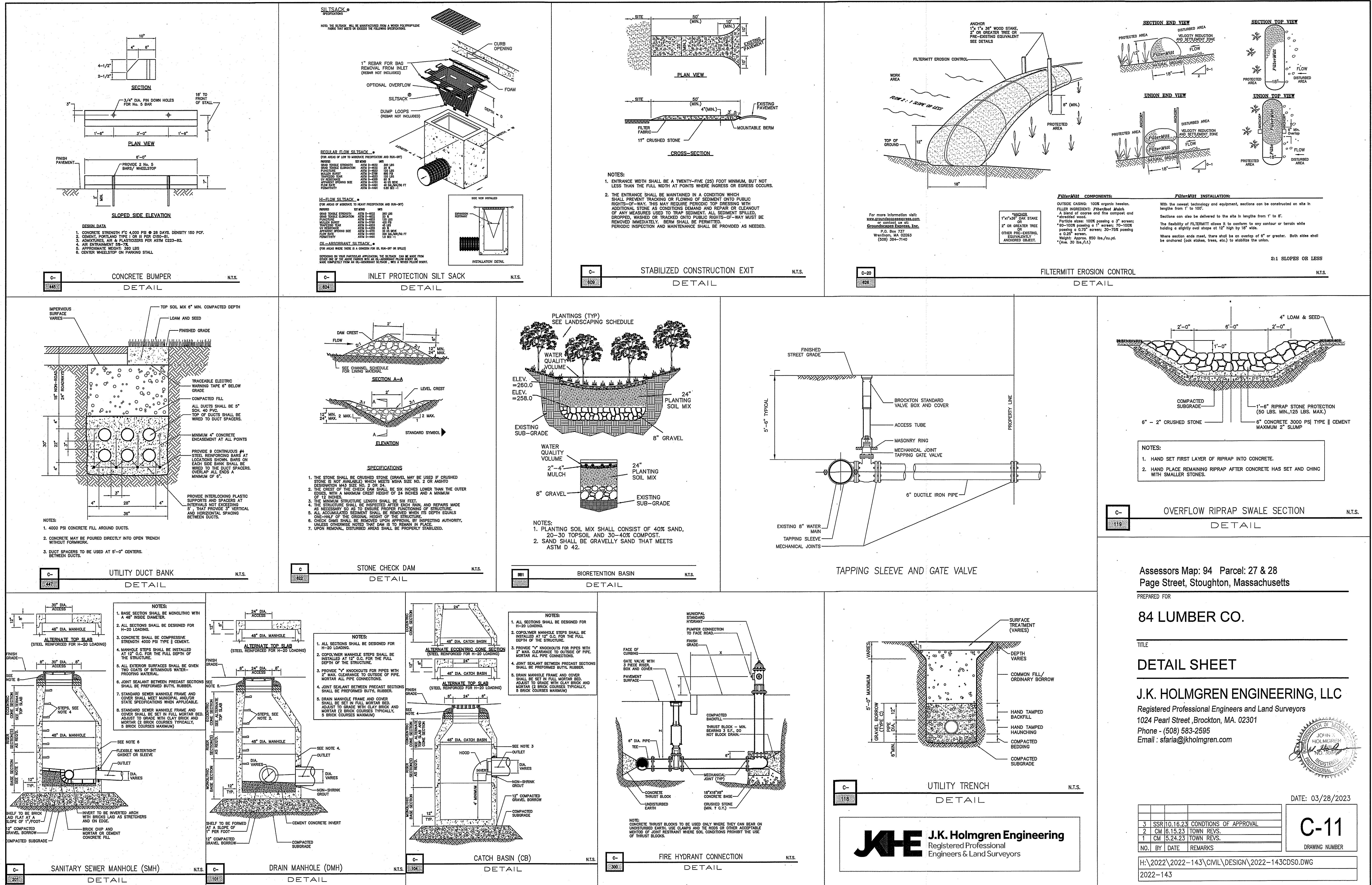


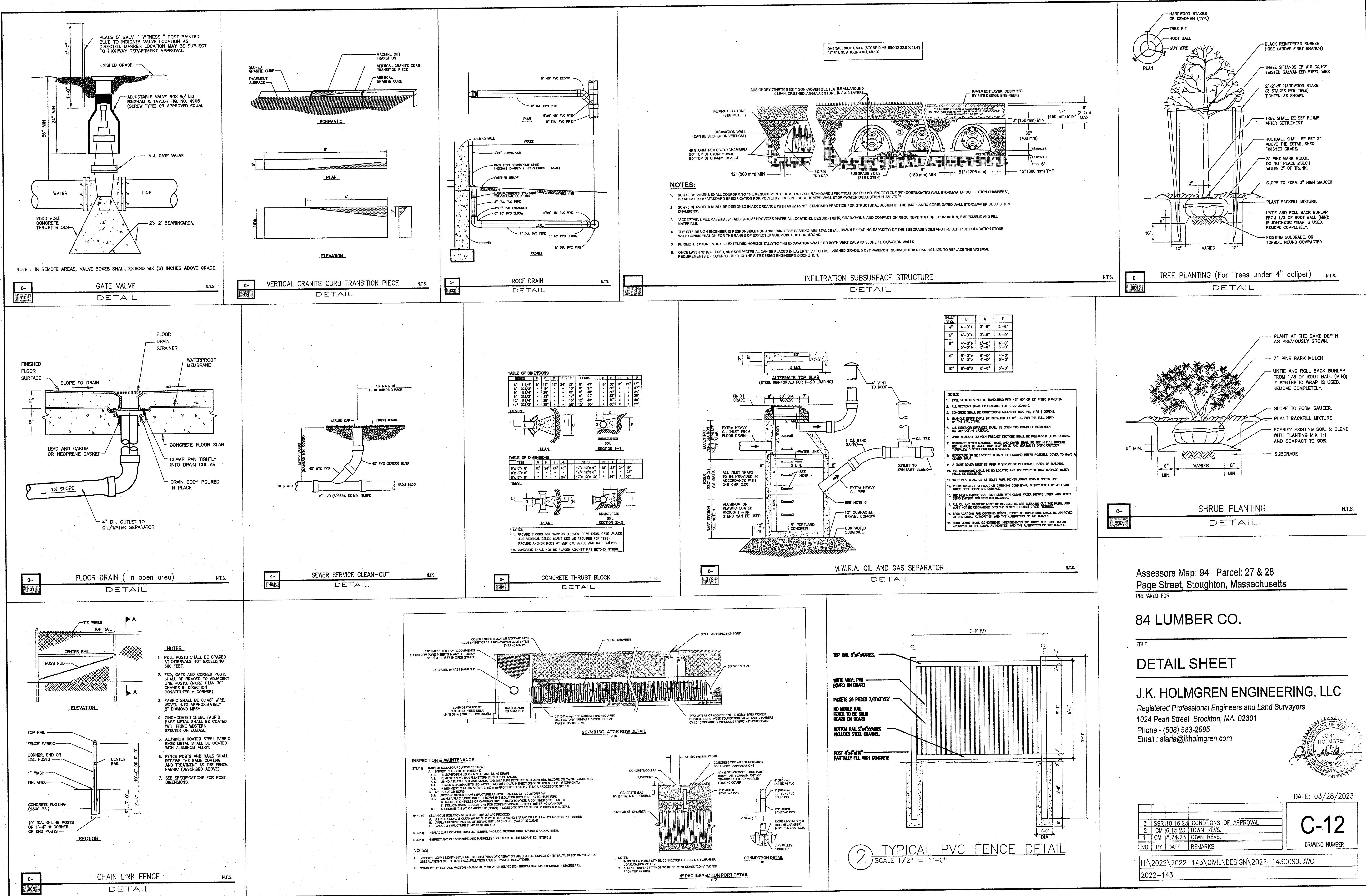
C-9

DRAWING NUMBER

DATE: 03/28/2023







TEST PIT # 1 GRD. EL. 246.1
GW. EL. 237.60
DATE: 02-03-23 MOTTLES EL. N/A
TEST BY: JK HOLMGREN, PE
WITNESSED BY: N/A
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A TOP SOIL	
12-48	B FILL	
48-120	C SANDY LOAM	2.5 5/3

MOTTLES @ N/A
WATER OBSERVED @ 102"
PERC RATE N/A MIN/INCH

TEST PIT # 2 GRD. EL. 246.3
GW. EL. 240.8
DATE: 02-03-23 MOTTLES EL. N/A
TEST BY: JK HOLMGREN, PE
WITNESSED BY: N/A
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A TOP SOIL	
12-108	C SANDY LOAM	2.5 5/3

MOTTLES @ N/A
WATER OBSERVED @ 66"
PERC RATE N/A MIN/INCH

TEST PIT # 3 GRD. EL. 245.6
GW. EL. 240.1
DATE: 02-03-23 MOTTLES EL. N/A
TEST BY: JK HOLMGREN, PE
WITNESSED BY: N/A
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A TOP SOIL	
12-108	C SANDY LOAM	2.5 5/3

MOTTLES @ N/A
WATER OBSERVED @ 66"
PERC RATE N/A MIN/INCH

TEST PIT # 4 GRD. EL. 263.2
GW. EL. 256.2
DATE: 02-03-23 MOTTLES EL. N/A
TEST BY: JK HOLMGREN, PE
WITNESSED BY: N/A
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A FILL	
12-48	B SANDY LOAM	2.5 4/2
48-120	C LOAMY SAND	10YR 4/6

MOTTLES @ 84"
WATER OBSERVED @ 90"
PERC RATE N/A MIN/INCH

TEST PIT # 5 GRD. EL. 263.9
GW. EL. 256.9
DATE: 02-03-23 MOTTLES EL. N/A
TEST BY: JK HOLMGREN, PE
WITNESSED BY: N/A
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A FILL	
12-36	B SANDY LOAM	2.5 4/3
36-120	C LOAMY SAND	10YR 5/6

MOTTLES @ 84"
WATER OBSERVED @ 88"
PERC RATE N/A MIN/INCH

TEST PIT # 6 GRD. EL. 264.6
GW. EL. 257.6
DATE: 02-03-23 MOTTLES EL. N/A
TEST BY: JK HOLMGREN, PE
WITNESSED BY: N/A
CERTIFIED BY: JK HOLMGREN ENGINEERING

DEPTH (IN)	SOIL TEXTURE	OTHER
0-12	A FILL	
12-36	B SANDY LOAM	2.5 4/3
36-120	C LOAMY SAND	10YR 5/6

MOTTLES @ 84"
WATER OBSERVED @ 88"
PERC RATE N/A MIN/INCH

TEST PIT # 7 GRD. EL. 260.30
GW. EL. 254.63
DATE: 06-01-23 MOTTLES EL. N/A
TEST BY: ANTHONY ESPOSITO
WITNESSED BY: LAWRENCE PERRY
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-4"	GRAVEL	
4-68"	C LS 2.5/4/3	FIRM

MOTTLES @ N/A
WATER OBSERVED @ N/A
PERC RATE N/A MIN/INCH

TEST PIT # 8 GRD. EL. 258.75
GW. EL. 252.50
DATE: 06-01-23 MOTTLES EL. 250.50
TEST BY: ANTHONY ESPOSITO
WITNESSED BY: LAWRENCE PERRY
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-4"	GRAVEL	
4-36"	FILL	
36-108"	LS 2.5/4/3	MOTTLES 7.5/5/8

MOTTLES @ 75"
WATER OBSERVED @ 100"
PERC RATE N/A MIN/INCH

TEST PIT # 9 GRD. EL. 257.75
GW. EL. 250.50
DATE: 06-01-23 MOTTLES EL. 250.50
TEST BY: ANTHONY ESPOSITO
WITNESSED BY: LAWRENCE PERRY
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-2"	GRAVEL	
2-11"	LS 10y4/6	
11-69"	C1 LS 2.5/4/4	
69-99"	C2 LS 2.5/4/3	MOTTLES 7.5/5/8

MOTTLES @ 87"
WATER OBSERVED @ N/A
PERC RATE N/A MIN/INCH

TEST PIT # 10 GRD. EL. 257.20
GW. EL. 250.37
DATE: 06-01-23 MOTTLES EL. 250.37
TEST BY: ANTHONY ESPOSITO
WITNESSED BY: LAWRENCE PERRY
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-2"	SL 10y4/6	
8-27"	LS 10y5/6	
27-82"	C LS 2.5/4/6	MOTTLES 82" 7.5/5/8

MOTTLES @ 82"
WATER OBSERVED @ N/A
PERC RATE N/A MIN/INCH

TEST PIT # 11 GRD. EL. 253.90
GW. EL. 244.82
DATE: 06-01-23 MOTTLES EL. N/A
TEST BY: ANTHONY ESPOSITO
WITNESSED BY: LAWRENCE PERRY
CERTIFIED BY: ANTHONY ESPOSITO

DEPTH (IN)	SOIL TEXTURE	OTHER
0-2"	GRAVEL	
2-13"	SL 10y4/6	
13-29"	LS 10y5/6	FIRM
29-109"	C LS 2.5/4/6	FIRM

MOTTLES @ N/A
WATER OBSERVED @ N/A
PERC RATE N/A MIN/INCH

Assessors Map: 94 Parcel: 27 & 28
Page Street, Stoughton, Massachusetts

PREPARED FOR

84 LUMBER CO.

TITLE

DETAIL SHEET

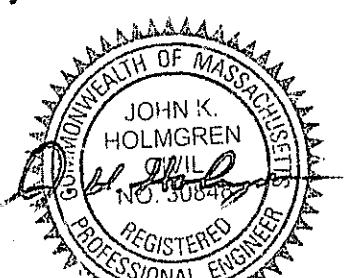
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DATE: 03/28/2023

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2	CM 6.15.23	TOWN REVS.
1	CM 5.24.23	TOWN REVS.

NO. BY DATE REMARKS

H:\2022\2022-143\CIVIL\DESIGN\2022-143CDS0.DWG
2022-143

C-13

DRAWING NUMBER