

Planning Board Final Approval
3-26-21

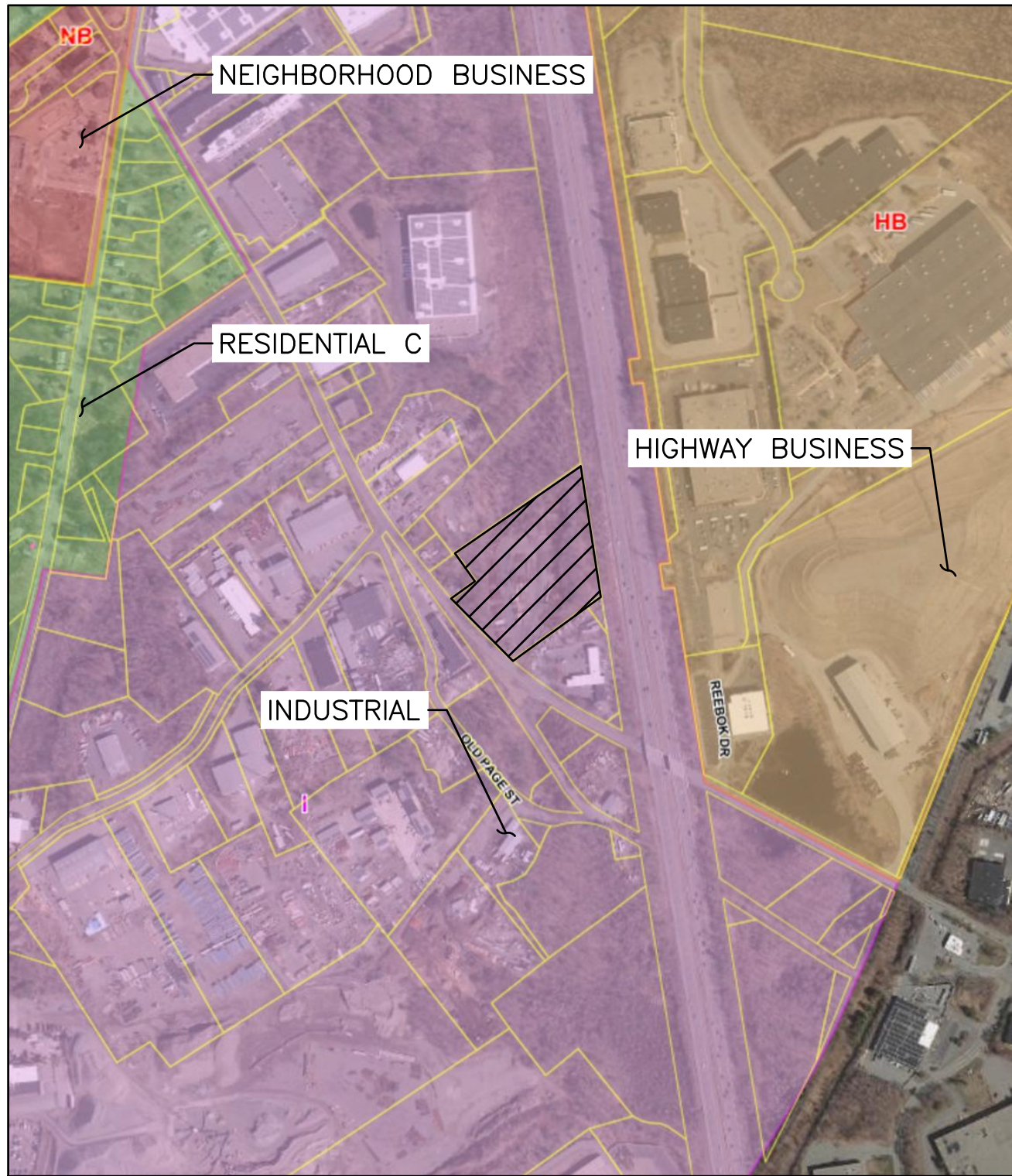
Re-submission for approval on pylon
sign 6-16-23

DRAFT



SALES & SERVICE FACILITY
STOUGHTON, MASSACHUSETTS

FEBRUARY 11, 2021



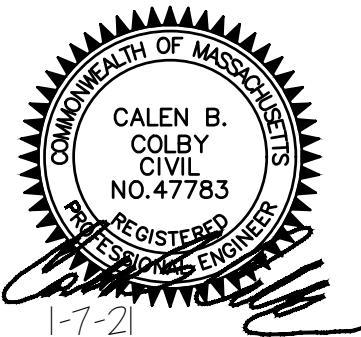
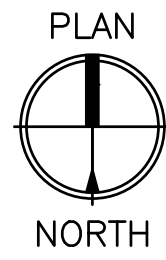
ZONING MAP
SCALE: 1"=600'

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LOCUS MAP
1"=600'



47A York St
Portland, ME
04101
207.553.7753

REV	DESCRIPTION	SIZE	DATE	APP	DATE
E	PB & CON COMM REVIEW	LDA	ALT	2/11/2021	
D	ADD DRAINAGE AREA	LDA	ALT	1/21/2021	
C	PLANNING BOARD REVIEW	DAM	ALT	1/7/2021	
B	CONSERVATION COMMISSION	DAM	ALT	12/4/2020	
A	PLANNING BOARD REVIEW	DAM	ALT	10/5/2020	
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SIZE: ANSI D
DATE: 1/7/2021
DES BY: LDA
DWN BY: DAM
CKD BY: ALT

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757	
SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA	
TITLE & INDEX SHEET	
PROJECT NO. 109.077.001	DRAWING NO. G-001
SHEET 1 OF 43	

CONSTRUCTION SCHEDULE:

APRIL 2021	INSTALL ALL EROSION AND SEDIMENTATION CONTROLS
APRIL 2021	BEGIN SITE DEMO AND TREE CLEARING
MAY 2021	BEGIN EARTHWORK, EXCAVATE BUILDING FOUNDATION
JUNE 2021	BEGIN SITE GRADING, ERECT BUILDING STEEL
JULY 2021	BUILDING ROOF/SITE UTILITIES
AUGUST 2021	EXTERIOR BUILDING PANELS - SITE SUBGRADE
SEPT 2021	BASE COURSE PAVING/ESTABLISH SITE VEGETATION
OCT 2021	WINTER EROSION AND SEDIMENTATION CONTROLS
NOV. 2021	CLOSE IN BUILDING AND INTERIOR FINISHES/FIT-UP
DEC 2021	INTERIOR FINISHES
JAN 2022	INTERIOR FINISHES
FEB 2022	INTERIOR FINISHES
MARCH 2022	INTERIOR FINISHES
APRIL 2022	INTERIOR FINISHES
MAY 2022	INTERIOR FINISHES
JUNE 2022	INTERIOR FINISHES
JULY 2022	FINISH PAVEMENT, STRIPING AND SIGNAGE
AUGUST 2022	FINAL LANDSCAPING, SITE CLEAN UP
SEPT 2022	BUILDING COMPLETION
OCT 2022	BUILDING TURNOVER / FINAL CERT OF OCCUPANCY

NOTES:

- PROPERTY IS IDENTIFIED AS TAX MAP 94 LOT 43.
- RECORD OWNER: JF WHITE CONTRACTING CO. 56 OLD PAGE STREET, STOUGHTON MA.
- THE TOTAL AREA OF MAP 94 LOT 43 IS 282,663 SF OR 6.49 ACRES.
- THE PROPOSED DEVELOPMENT TO INCLUDE:
36,616 SF BUILDING

LOCATED IN INDUSTRIAL (I) ZONE.
NOT LOCATED WITHIN THE FEMA 100 YEAR FLOOD PLAIN.
LOADING AREA CALCULATION:
T AREA: 282,663 SF
UILDING AREA: 36,616 SF
VG AREA: 9.6% < 50% ALLOWED

DS:	REQUIRED	PROVIDED
SIZE:	80,000 SF	282,663 SF
VTAGE:	150 LF	358 LF
MIN. FRONT SETBACK:	25 FT	189 FT
MIN. REAR SETBACK:	40 FT	N/A
MIN. SIDE SETBACK:	20 FT	140 FT
MAX. BUILDING HEIGHT:	40 FT	32 FT
OPEN SPACE:	70,666 SF	72,250 SF

- PARKING CALCULATIONS: (PURSUANT TO TOWN OF STOUGHTON TABLE OF OFF-STREET PARKING REGULATIONS)
5. NEW AND USED CAR SALES AND AUTOMOTIVE SERVICE ESTABLISHMENT AND OTHER RETAIL AND SERVICE ESTABLISHMENT UTILIZING EXTENSIVE DISPLAY AREAS, EITHER INDOOR OR OUTDOOR WHICH ARE UNUSUALLY EXTENSIVE IN RELATION TO CUSTOMER TRAFFIC.
1 PER 1,000 SQUARE FEET OF GROSS FLOOR SPACE.
36,616 SF GROSS FLOOR AREA / 1 PER 1,000 SF ===== 36.6
1 PER 1,000 SF OF OUTDOOR DISPLAY AREA
14,850 SF OUTDOOR DISPLAY / 1 PER 1,000 SF = 14.9 SPACES
TOTAL SPACES REQUIRED = 14.9 + 36.7 = 51.6 ==> 52 SPACES
TOTAL SPACES PROVIDED = 52
ACCESSIBLE SPACES REQUIRED = 3
- THE RETAINING WALL MANUFACTURER WILL SUPPLY STAMPED (COMMONWEALTH OF MASSACHUSETTS) ENGINEERING DRAWINGS TO THE CONTRACTOR AND STOUGHTON ENGINEERING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- THE TOWN OF STOUGHTON ZONING BOARD OF APPEALS APPROVED MILTON CAT'S PETITION TO OPERATE AN ACCESSORY RETAIL STORE IN AN INDUSTRIAL OR WAREHOUSE BUILDING PROVIDING IT IS SELLING THEIR OWN PRODUCTS. THIS DECISION WAS RECORDED AT THE NORFOLK COUNTY REGISTRY OF DEEDS ON BOOK 38679 PAGE 98 ON NOVEMBER 2, 2020.
- THE BUILDING WILL BE EQUIPPED WITH A FIRE PROTECTION SPRINKLER SYSTEM, A FLOW TEST MUST BE PERFORMED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE FLOW TEST RESULTS MUST BE INCORPORATED IN TO THE FIRE SUPPRESSION SYSTEM DESIGN AND MUST BE REVIEWED AND APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- A FINAL AS-BUILT PLAN MUST BE SUBMITTED TO THE TOWN OF STOUGHTON ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL REQUIRED INSPECTION FEES MUST BE PAID THROUGH THE ENGINEERING OFFICE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE PLANNING BOARD REQUIRES A CASH BOND IN THE AMOUNT TO COVER THE FULL REPLACEMENT COST OF ALL LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE BOND WILL BE HELD BY THE PLANNING BOARD FOR ONE FULL GROWING SEASON AFTER THE LANDSCAPING IS INSTALLED.
- ALL STORMWATER UTILITY STRUCTURES LOCATED ALONG THE FRONTAGE OF PAGE STREET MUST BE CLEANED AND SERVICED PRIOR TO THE CONSTRUCTION OF THE RELOCATED PAGE STREET STORMWATER SYSTEM THROUGH THE SITE.
- A VEGETATION MANAGEMENT PLAN MUST BE PREPARED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO CONTROL INVASIVE SPECIES THAT EXIST ON SITE. THE PREPARATION AND IMPLEMENTATION OF THE PLAN MUST BE COMPLETED BY A QUALIFIED MADAR CERTIFIED INVASIVE SPECIES MANAGEMENT SPECIALIST ACCEPTABLE TO THE CONSERVATION COMMISSION.

LEGEND

Previously approved.
This scope will not change.

- LIMITS OF WORK
- GUARD RAIL
- ALUMINUM RAILING
- SEGMENTAL BLOCK RETAINING WALL
- # OF PARKING SPACES
- OUTDOOR DISPLAY AREA
- CONCRETE
- HEAVY DUTY PAVEMENT
- POLE MOUNTED LIGHT FIXTURE W/ CONCRETE BASE

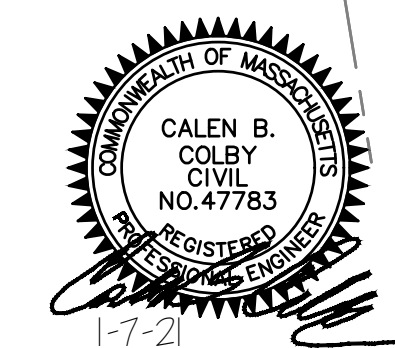
PROPOSED TREELINE
APPROXIMATE LOCATION OF HISTORICAL STREAM.
2" SANITARY SEWER FORCE MAIN 530 LF CONNECT TO EXISTING SEWER MANHOLE ON OLD PAGE STREET
8' HIGH WHITE VINYL FENCE
APPROXIMATE LOCATION OF HISTORICAL STREAM WATERSHED.
25' MIN. SIDE SETBACK
OFFSITE STORM DRAIN (TO DAYLIGHT AT TOE OF SLOPE).
42" HIGH SPLIT RAIL FENCE (FALL PROTECTION). SEE DETAIL
ORNAMENTAL FENCE - BLACK WITH AUTOMATED GATE (SEE DETAIL)

25' MIN. FRONT SETBACK
PROPOSED TREELINE
LIMITS OF OVERHEAD CANOPY
'WELCOME TO STOUGHTON' SIGN
9'x19' PARKING SPACES
EXISTING 6" WATER MAIN, APPROXIMATE LOCATION
SAWCUT AND PAVEMENT PATCH
STONE SURFACE OUTDOOR DISPLAY AREA. 14,850 SF
CLEARING OF VEGETATION ALONG PAGE STREET WILL BE REQUIRED TO ENSURE ADEQUATE SIGHT DISTANCE
RISER MOUNTED ON POLE
ENTRANCE SIGN
6' HIGH WHITE VINYL STOCKADE FENCE

75' WETLAND BUFFER
10'x20' CONCRETE PAD WITH DUMPSTER FENCE ENCLOSURE
100' WETLAND BUFFER
SANITARY SEWER PUMP STATION
OIL/WATER SEPARATOR (SEE DETAIL)
LIMITS OF OVERHEAD CANOPY

PROPOSED TREELINE
UNDERGROUND DETENTION SYSTEM

OVERALL SITE LAYOUT PLAN
SCALE: 1" = 50'-0"



47A York St
Portland, ME
04101
207.553.7753

REV	DESCRIPTION	SIZE:	ANSI D	DATE:	DES BY:	DWN BY:	CKD BY:
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MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757			
SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA			
OVERALL SITE LAYOUT PLAN			
PROJECT NO.	109.077.001	DRAWING NO.	C-103
SHEET	5 OF 43		

ZONING COMPLIANCE CHART

By-Law
6.2.3.3 - One wall sign for each lot street frontage of each establishment. Shall not be > 10% of the wall area on wall they are displayed or 150sf, whichever is lesser

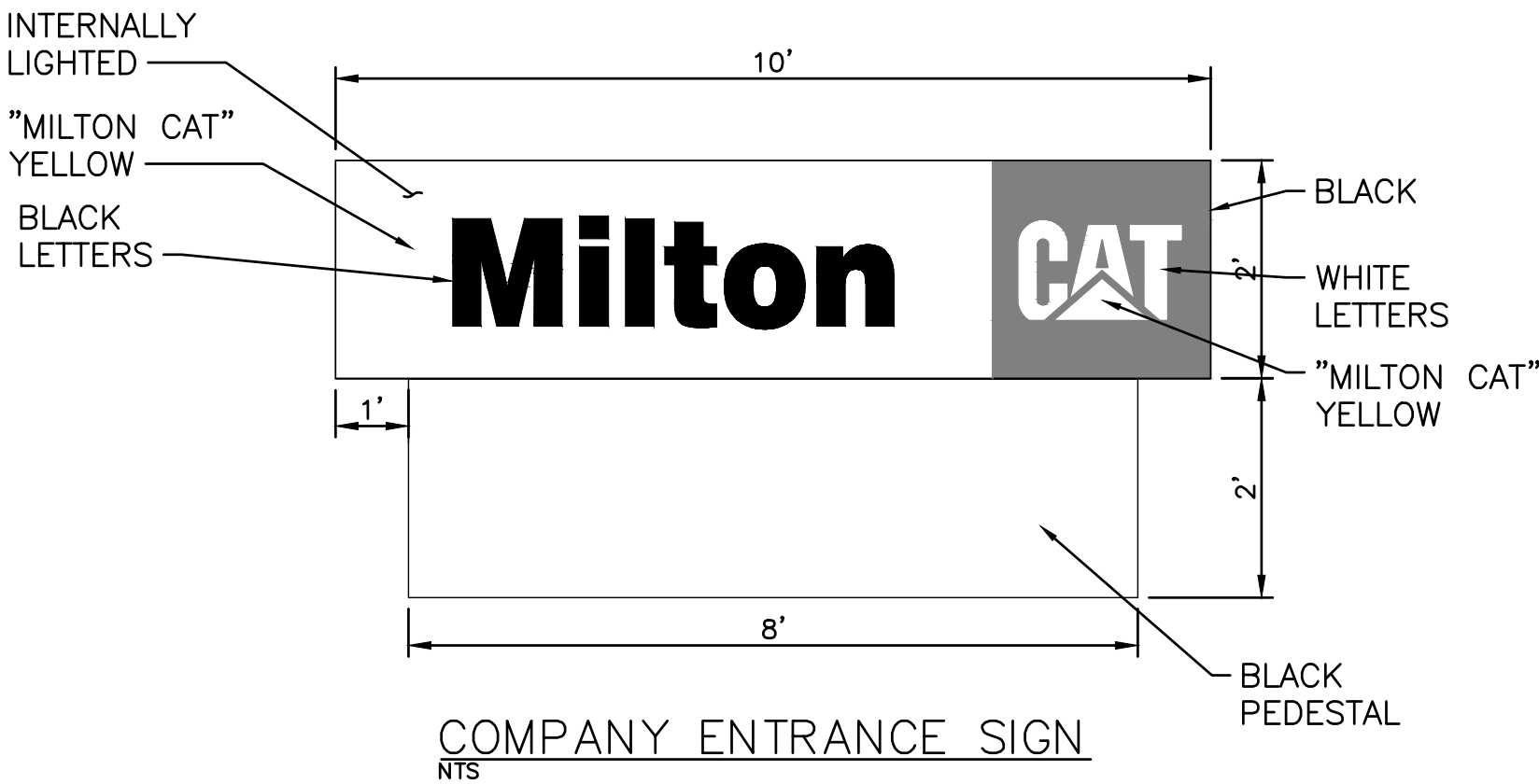
By-Law
6.2.4.2 - One ground sign for each establishment, provided: it shall not exceed 150 square feet in surface area; it shall be set back at least 15 feet from any street lot line; it shall not be erected so that any portion of it is over 30 feet above the ground or sidewalk; and if lighted, it shall be illuminated internally by white light only.

Qty	Type	Elevation	Wall Area (sf)	Sign Area (allowed)	Sign Area (proposed)	% of Wall (allowed)	% of Wall (proposed)
1	Milton CAT	West	2,554	150	132	10%	5.17%
1	Milton CAT**	South	4,849	150	132	10%	2.72%

* All Milton CAT signs to be internally lit with white lighting.
** Waiver Requested, Special Permit App for Sign included, Fee submitted with Site Plan Application.

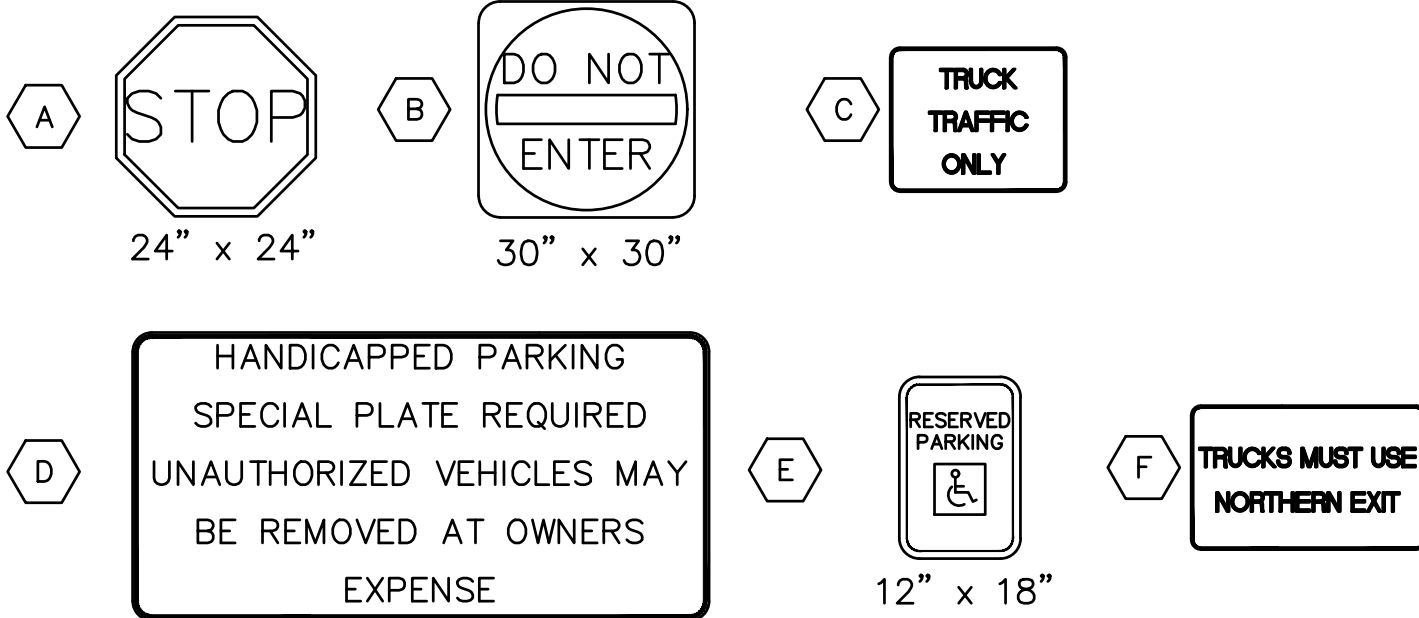
Qty		Location	Height (allowed)	Height (proposed)	Sign Area (allowed)	Sign Area (proposed)	Setback (allowed)	Setback (proposed)
1	Milton CAT	Site Entrance	30'	6'	150sf	36sf	15'	15.7'
1	Milton CAT***	Pole Sign (East)	30'	66'	150sf	144sf	15'	52'
1	Welcome to Stoughton	Site Exit	30'	3'-10"	150sf	~135sf	15'	16'

* All Milton CAT signs to be internally lit with white lighting.
** 'Welcome to Stoughton' sign to match existing sign in Town of Stoughton.
*** Waiver Requested, Special Permit App for Sign included, Fee submitted with Site Plan Application.

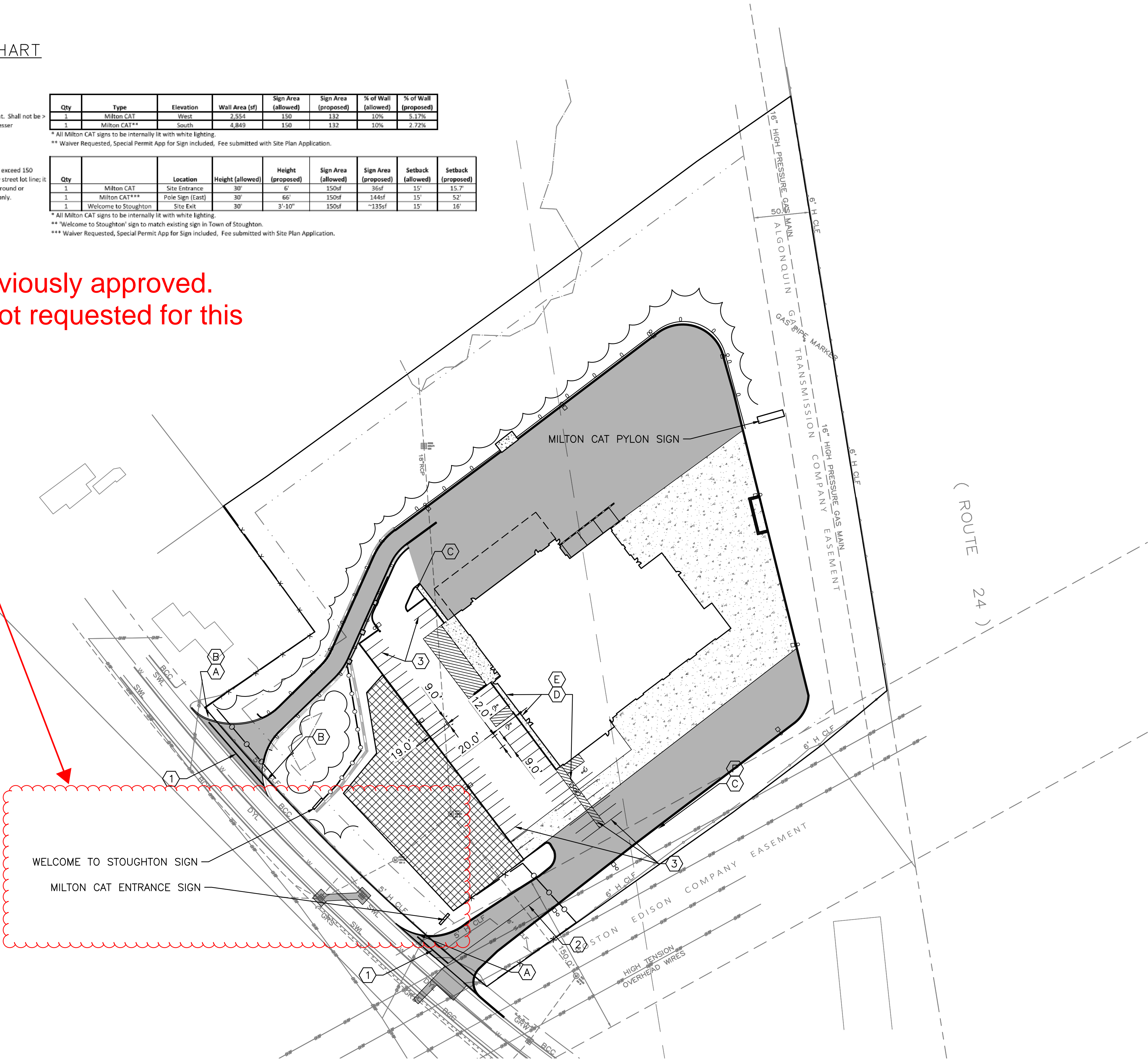
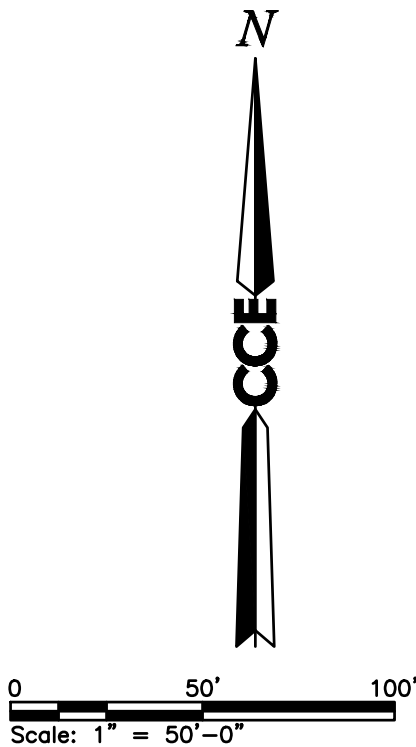


WELCOME TO STOUGHTON SIGN
NTS

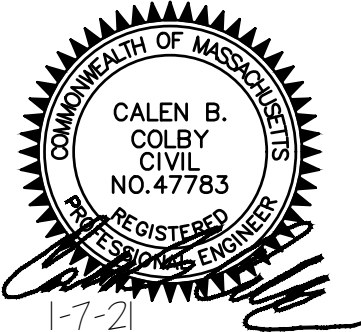
KEYED NOTES:
SIGNS



- 1 12" SINGLE SOLID WHITE STRIPE
- 2 4" SINGLE SOLID YELLOW STRIPE
- 3 4" SINGLE SOLID WHITE STRIPE



STRIPING AND SIGNAGE PLAN
SCALE: 1" = 50'-0"



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SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA	
STRIPING AND SIGNAGE PLAN	
PROJECT NO. 109.077.001	DRAWING NO. C-106
SHEET 8 OF 43	



TWO POLES EXTENDING DOWN TO THE GROUND. STRUCTURAL FOUNDATION TO BE DESIGNED.

60'

EL. = 247.0

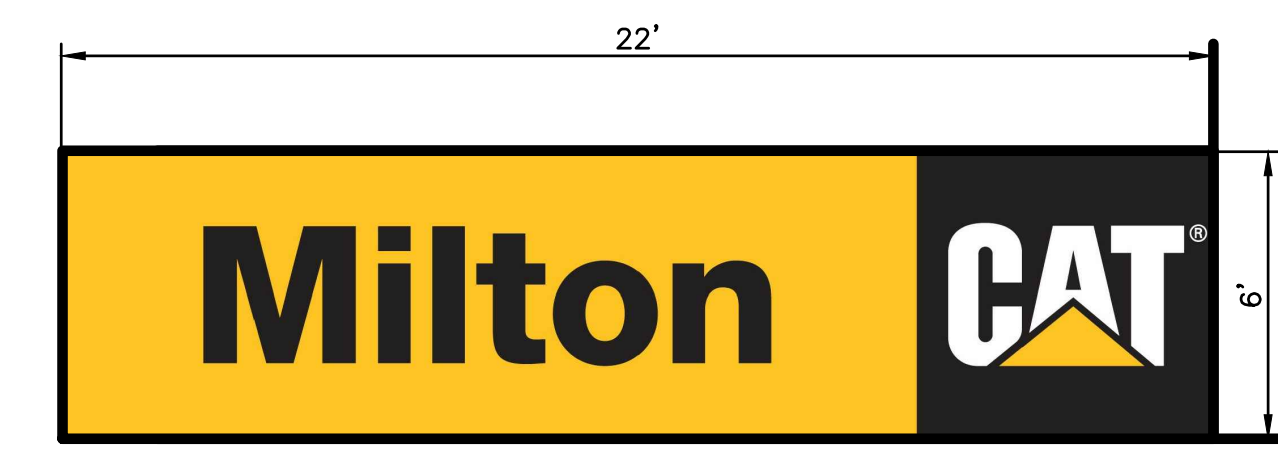
EL. = 237.0

60' HIGH POLE SIGN ALONG RT 24

NTS

Request to change this to a 100' sign due to blocked visibility from the trees. Refer to attached renderings for new design.

Route 24



BUILDING MOUNTED SIGN

NTS

TOWN OF STOUGHTON SIGN ORDINANCE REQUIRES THAT BUILDING SIGNS BE 150 SF OR 10% OF THE ELEVATION AREA, WHICHEVER IS LESS.

BUILDING MOUNTED SIGN TO BE MOUNTED TO THE SOUTH AND EAST ELEVATIONS.

AREA OF EAST ELEVATION = 6,361 SF 10% x 6,361 SF = 636 SF*

AREA OF SOUTH ELEVATION = 6,127 SF 10% x 6,127 SF = 613 SF*

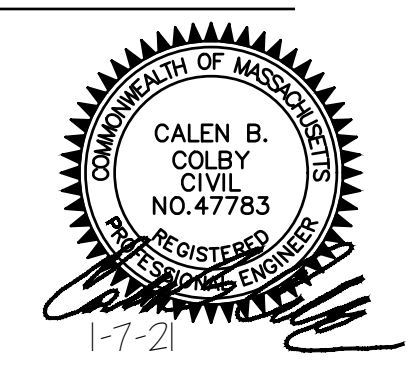
BOTH AREAS > 150 SF, USE THE LESSER AREA = 150 SF

SIGN DIMENSIONS = 6'x22' = 132 SF < 150 SF



COMPANY ENTRANCE SIGN

NTS



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SALES & SERVICE FACILITY 207 PAGE STREET, STOUGHTON MA	
CONSTRUCTION DETAILS - SIGNAGE	
PROJECT NO. 109.077.001	DRAWING NO. C-511
SHEET 29 OF 43	



TOWN OF STOUGHTON
Massachusetts
MA 02072
PLANNING BOARD

Site Plan Approval and Special Permits for
207 Page Street
Case SP # 20-02

Date: February 25, 2021
Applicant: Milton Real Properties of Massachusetts, LLC
100 Quarry Drive
Milford, MA 01757
Owner: J.F. White Contracting Company
56 Old Page Street
Stoughton, MA 02072
Representative: Attorney Barry R. Crimmins
909 Washington Street
Stoughton, MA 02072
Property: 207 Page Street (Assessor's Map 94, Lot 43)

I) Project Summary

The proposed project includes the construction of a 34,200 SF industrial warehouse/office building on a 6.5 acre site in the Industrial (I) zoning district.

II) Procedural History

- Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on October 14, 2020.
- The Site Plan submitted for review to the Planning Board is titled "Sales & Service Facility, Stoughton, Massachusetts" prepared by Colby Company, LLC, 47A York Street, Portland, ME 04101, dated October 5, 2020 and revised through February 23, 2021.
- The land shown on the Site Plan is located off of Page Street and shown on Assessor's Map 94, Lot 43 (the "Property") and is located in the Industrial (I) zoning district and consists of approximately 6.5 acres of lot area.
- A public hearing on the Site Plan Application was held on November 12, 2020, January 4, 2021, January 28, 2021 and February 25, 2021.

1

WILLIAM P. O'DONNELL, REGISTER
NORFOLK COUNTY REGISTRY OF DEEDS
RECEIVED & RECORDED ELECTRONICALLY

Bk 39192 Pg456 #39757

B) Special Conditions

- During construction, the hours of operation shall be from 7:00 am until 6:00 pm Monday through Friday and 8:00 am until 5:00 pm on Saturday. No machinery shall be started or run prior to those start times. There shall be no construction activities on Sunday or any state or federal holiday.
- The Applicant is required to obtain an Order of Conditions for the project through the Stoughton Conservation Commission and a copy of said Order shall be provided to the Board, once obtained. Any changes to the site plan resulting from any conditions within the Order of Conditions shall be presented to the Planning Board for a determination as to whether the change(s) is minor or major in nature by the Board. The consideration of major modification(s) shall necessitate the opening of a new public hearing at the Applicant's expense.
- A National Pollutant Discharge Elimination System (NPDES) Construction General Permit and a Stormwater Pollution Prevention Plan (SWPPP) are required prior to the issuance of any building permit(s). A copy of each document and proof of filing for a NPDES Permit shall be provided to the Engineering Department.
- Prior to the issuance of any Building Permit, the Applicant shall submit a final Basement Plan defining a 25-foot Drainage Easement around the drainage system conveying the off-site runoff to the Engineering Department for review and approval. The easement shall provide rights to the Town of Stoughton to access the stormwater system and outfall for maintenance purposes.
- An Operation & Maintenance and Long-Term Pollution Prevention Plan shall include the proposed maintenance of all site components including landscaping, fencing, walls, etc. This document shall be recorded with the Planning Board decision at the Registry of Deeds prior to the issuance of any Building Permit(s).
- The plans shall be updated according to the items specified in this review letter. The applicant shall submit a set of the construction plans to the Engineering Department.
- Final structural design plans for the retaining walls and wing wall shall be submitted to the Engineering Department prior to the issuance of any building permit(s).
- A Stormwater Permit Application and fee shall be submitted for this project with the Engineering Department prior to the issuance of any building permit(s).
- The applicant intends to provide sprinklers for fire suppression within the building. A fire flow test shall be performed prior to the issuance of building permit. The location of proposed fire hydrants and the flow test results shall be incorporated in to the fire suppression system design and shall be reviewed and approved by the Fire Department and Water Department prior to the issuance of any Building Permit(s).
- Final design plans for the proposed sewer connection shall be submitted to the Engineering Department for review. A Sewer Connection Permit for the project is required to be issued by the Engineering Department prior to the issuance of any Building Permit(s).

5

Bk 39192 Pg452 #39757

A True Copy of the Town Clerk's Office

Attest: *Stephanie A. Carrara*
Stoughton Town Clerk, 02072

RECEIVED
MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
OFFICE OF THE TOWN CLERK
MAR -2 P 2 29
DATE

I hereby certify that the above is a true and correct copy of the original as filed with the Town Clerk's Office.

II) Application Submittals

- The Site Plan submitted for review to the Planning Board is titled "Sales & Service Facility, Stoughton, Massachusetts" prepared by Colby Company, LLC, 47A York Street, Portland, ME 04101, dated October 5, 2020 and revised through February 23, 2021.
- Stormwater Management Report prepared by Colby Company, LLC dated October 15, 2020 and revised through February 2021.
- Traffic Assessment prepared by Colby Company, LLC dated October 15, 2020.
- Development Impact Report prepared by Colby Company, LLC dated October 15, 2020.

III) Related Documents

- Copy of the ZBA decision (Case #4243) dated October 29, 2020.
- Copy of the Legal Public Hearing notice from the edition of the Journal-Sun dated October 28, 2020 and November 4, 2020.
- Certified List of Abutters dated October 15, 2020.
- Comment email from Larry Perry of the Stoughton Board of Health dated October 21, 2020.
- Comment email from Craig Horsfall, Assistant Town Engineer dated October 26, 2020.
- Comment letter from Sargeant James O'Connor of the Stoughton Police Department dated October 30, 2020.
- Technical Review Letter (First) from Craig Horsfall, Assistant Town Engineer dated November 5, 2020.
- Comment letter from John Charbonneau, Town Planner dated November 9, 2020.
- Comment letter from Phil McNulty, Water Division dated November 17, 2020.
- Comment letter from Jack Erickson, Building Commissioner dated December 28, 2020.
- Comment letters from James Conlon, Conservation Agent dated January 4, 2021 and February 11, 2021.

IV) Findings

- The Planning Board finds that the applicant has submitted the required information for determination of approval of the Site Plan.
- The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
- After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Conservation Commission, Department of Public Works and the Engineering Department, the Planning Board analyzed all the comments and reports received. There were several productive in-house meetings with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
- The Planning Board, in granting the Applicant's request for a Site Plan Approval and Special Permits pursuant to the provisions of Section 10.6 "Site Plan Approval" and certain Special Permits to the sign regulations pursuant to the provisions of Section 6.2.4, "Signs Permitted in the "I" District," and Section 6.2.6, "Additional Sign Regulations," as allowed by Special Permit under Section 6.2.7, "Special Permit," found that the

2

Bk 39192 Pg453 #39757

Applicant has met the conditions and the project will not result in any substantial detriment to the district.

V) Decision

A) General Conditions

- This decision for Site Plan Approval and Special Permit shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant at the discretion of the Planning Board.
- Prior to commencement of construction, a revised full set of approved plans and calculations, showing any required changes to the Site Plan required by this decision shall be submitted to the Planning Board for its records. The Planning Board decision shall be scanned onto and incorporated into the approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
- Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
- Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
- The Applicant is responsible for the filing of this decision with the Registry of Deeds.
- The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
- All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
- The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- No site activity shall take place at the property under the Site Plan and Special Permit without proper authorization and permitting from all local and state agencies, as required.
- Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.

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VI) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan based on the above stated facts, findings and conditions. They further voted to authorize the Chair to endorse the decision on their behalf.

On this day of February 25, 2021.

Joseph Scardino
Joseph Scardino, Chairman

Daniel Kelly
Daniel Kelly, Vice Chairman

Paul Demusz
Paul Demusz

Jonathan Garland
Jonathan Garland

Senesie Kabba
Senesie Kabba

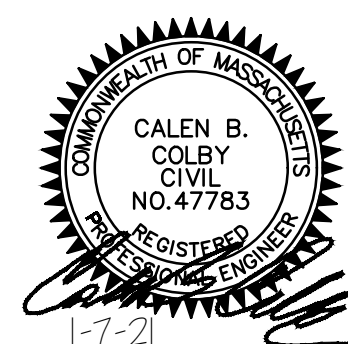
Cc: Town Clerk:
Applicant:
Interested Parties:

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on March 2, 2021.

FOR THE PLANNING BOARD

Joseph Scardino
Joseph Scardino, Chairman



47A York St
Portland, ME
04101
207.553.7753

				MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757			
E	PB & CON COMM REVIEW	LDA	ALT	2/11/2021			
D	ADD DRAINAGE AREA	LDA	ALT	1/21/2021			
C	PLANNING BOARD REVIEW	DAM	ALT	1/7/2021			
B	CONSERVATION COMMISSION	DAM	ALT	12/4/2020			
A	PLANNING BOARD REVIEW	DAM	ALT	10/5/2020			
REV	DESCRIPTION	DWN	APP	DATE			
SIZE: ANSI D				PROJECT NO.			
DATE: 1/7/2021				109.077.001			
DES BY: LDA				SHEET			
DWN BY: DAM				43 OF 43			
CKD BY: ALT							

PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.

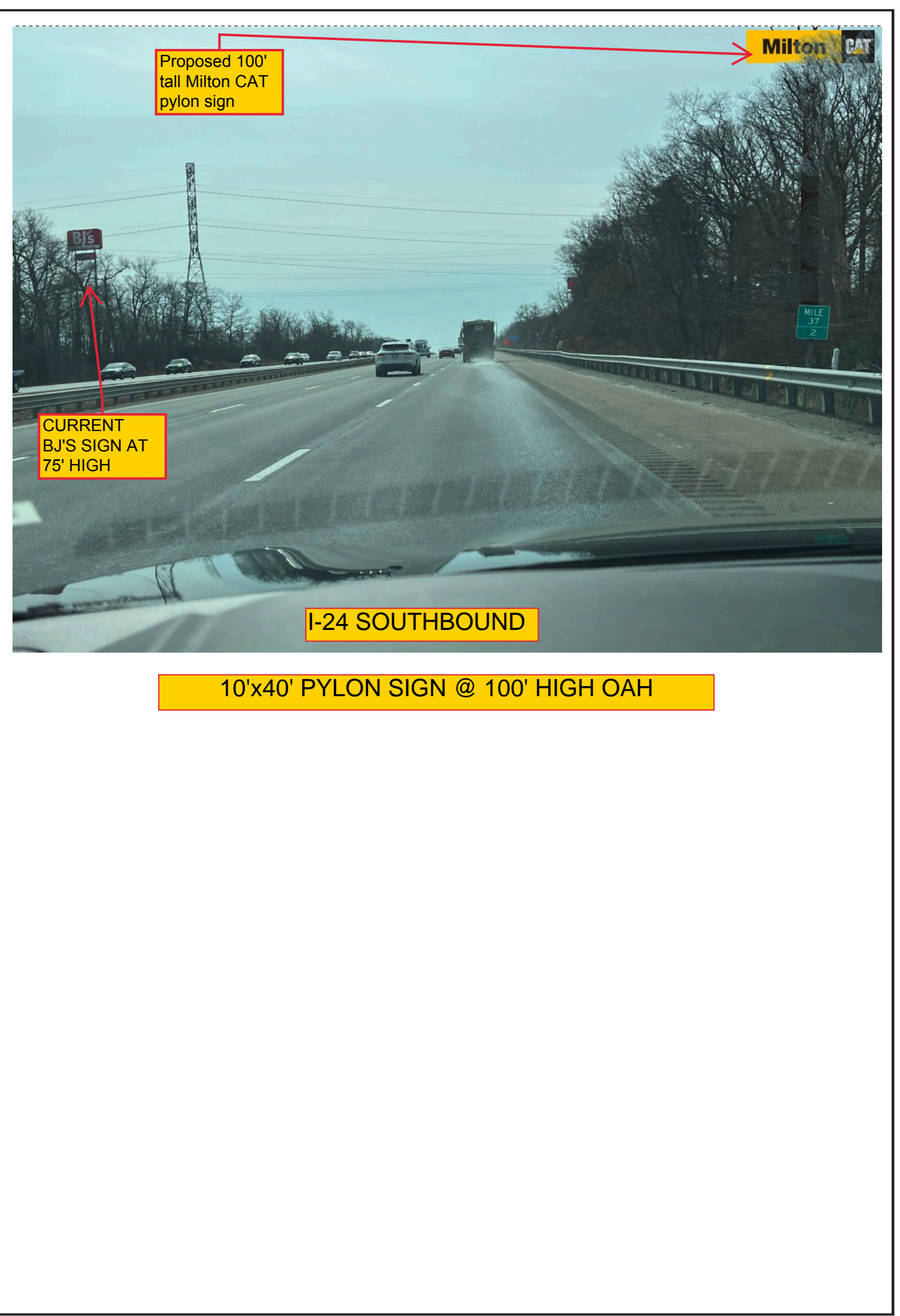
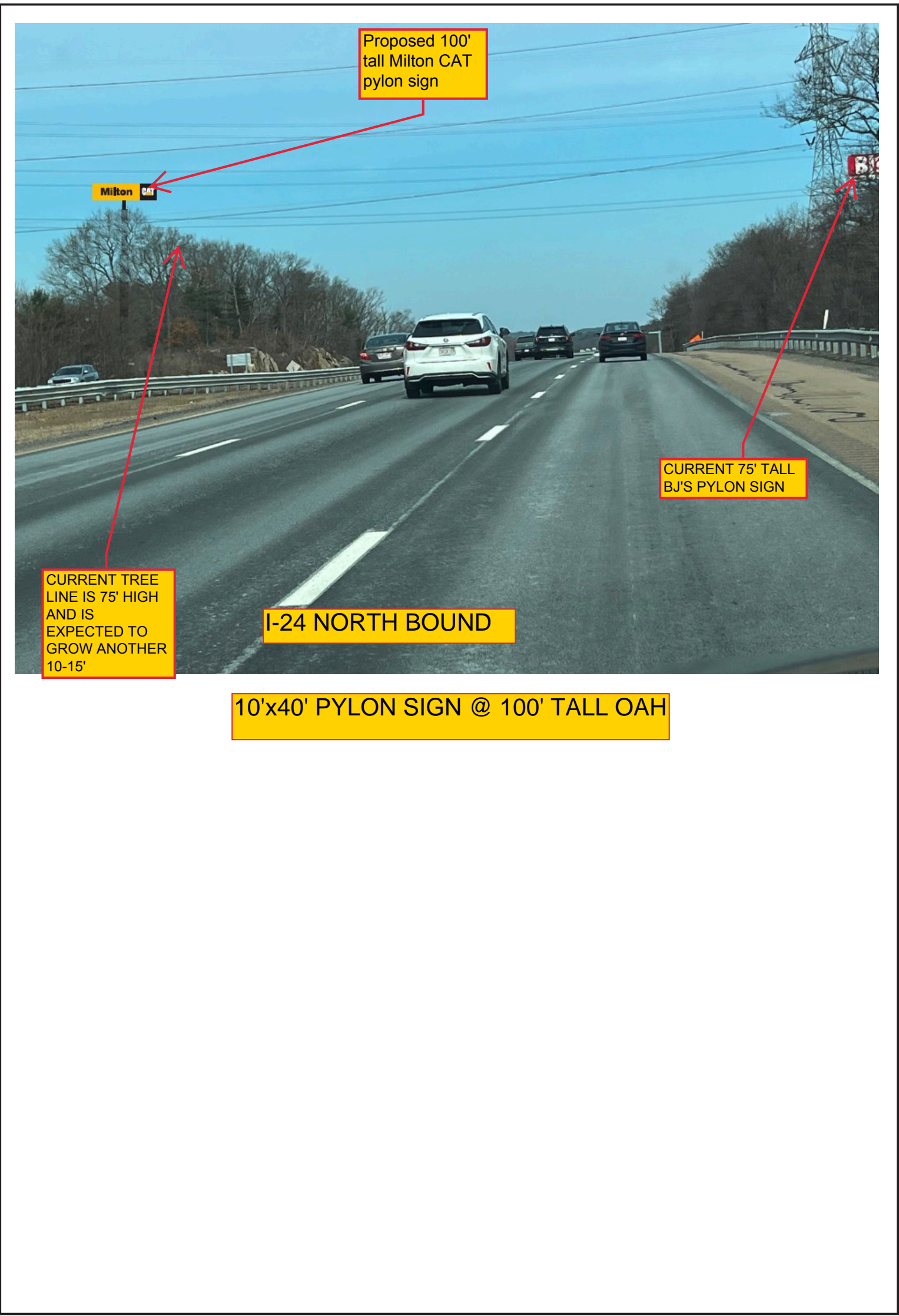
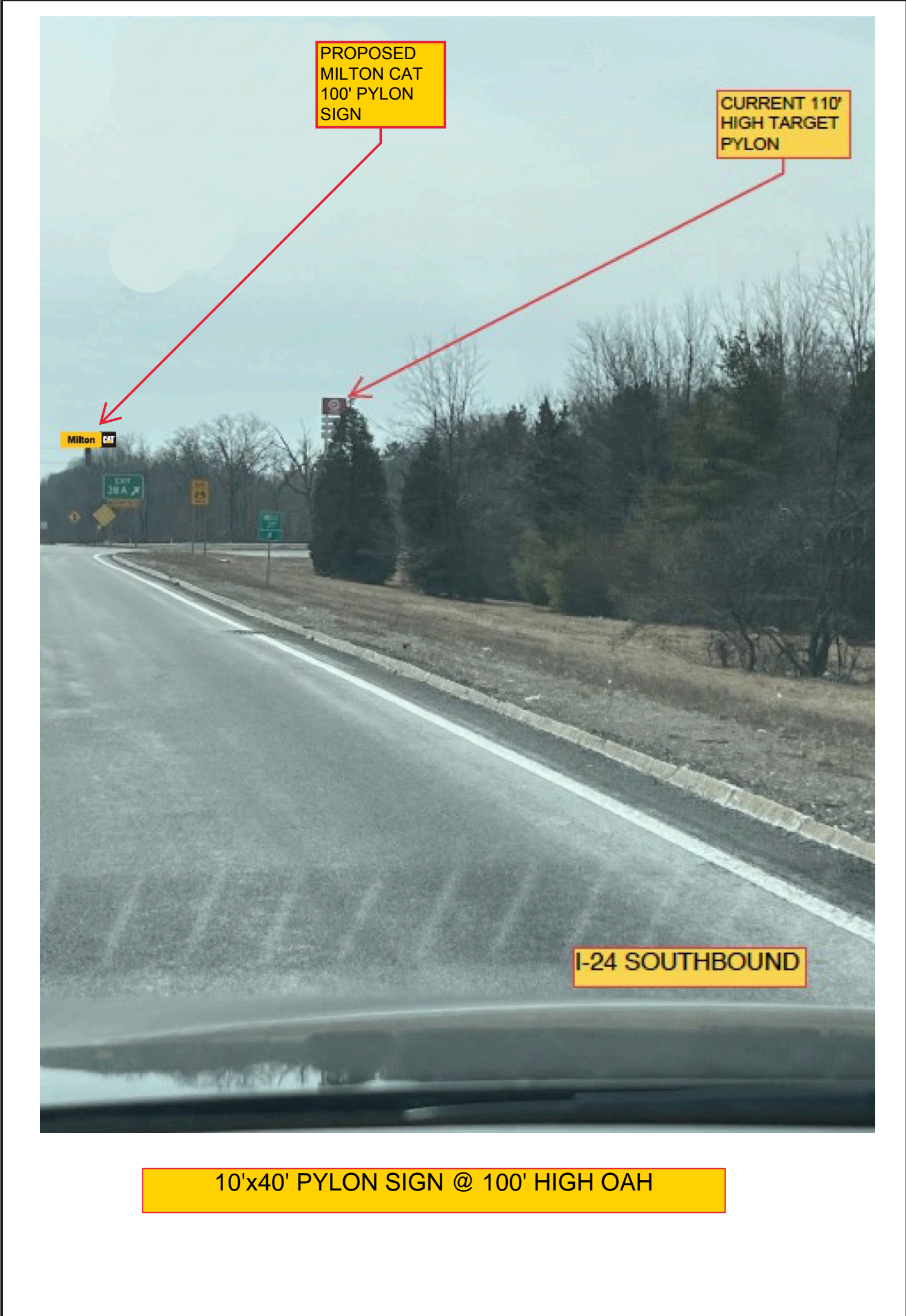
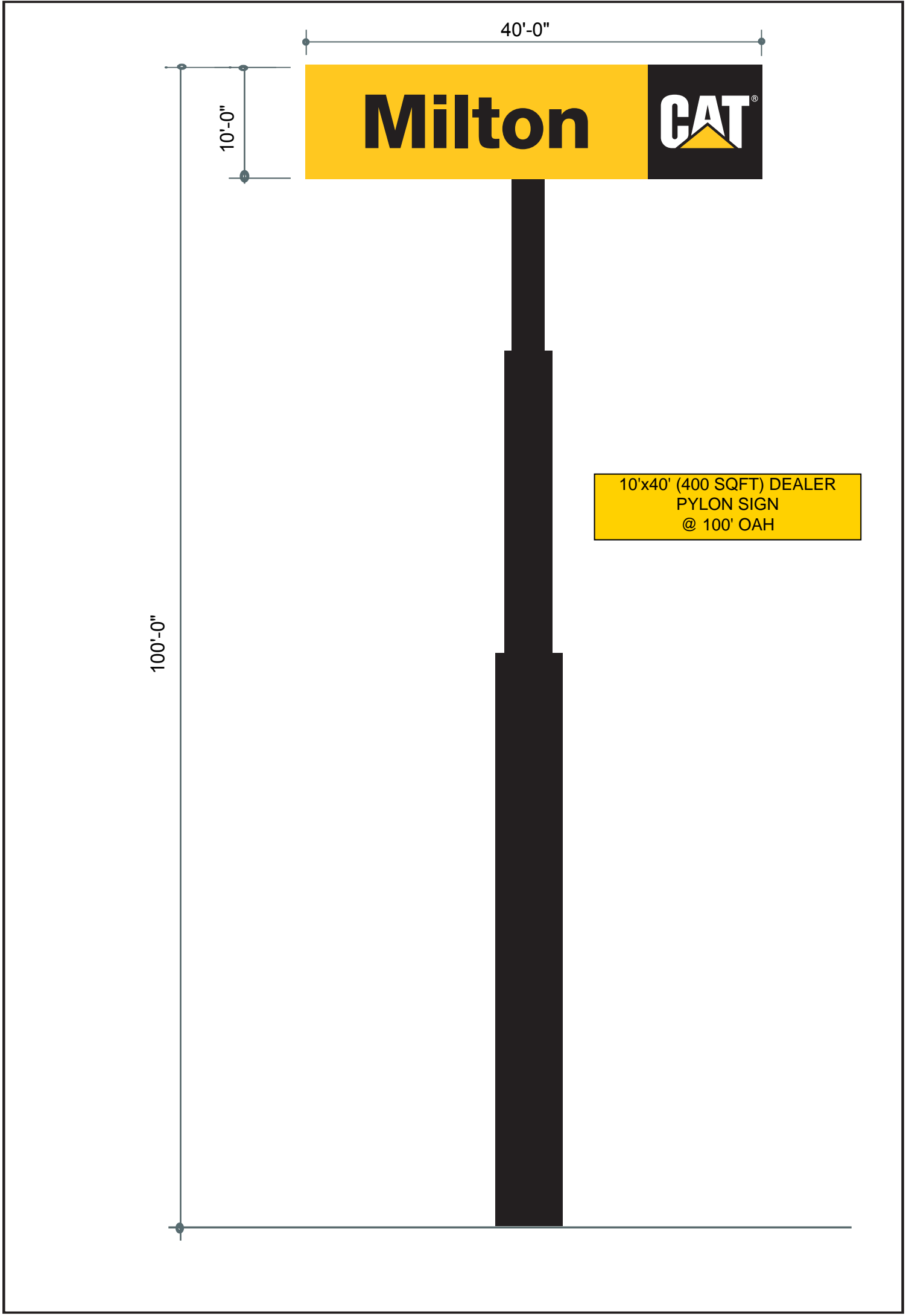
Approved
submission from
March 2021

X-101

Bk 39192 Pg455 #39757

- The cost of any necessary outside testing, inspection or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
- Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
- The Applicant shall submit final construction plans to the Engineering Department and the Public Works Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
- Required soil and erosion control measures shall be erected and serviceable prior to any site activity. For purposes of controlling erosion, all grades exposed for greater than a 30-day period shall be stabilized.
- The Applicant shall be responsible for ensuring that any trucks involved in hauling materials onto or off-site are properly covered and otherwise secured from spilling material along any street outside the site. Violation of this condition may lead to the discontinuation of construction activities and/or permits and fines.
- Wetting and stabilization of exposed grades shall occur as necessary to suppress dust generation. The use of municipal water for wetting of exposed grades and for other purposes associated with this approved operation shall require the prior written authorization of the Stoughton Public Works Department. Copies of said authorization must be filed by the Applicant with the Planning Board and the Building Commissioner prior to its use. Otherwise, the potable water shall be transported to the site from a lawful source outside of the Town of Stoughton or provided by private well.
- A Final As-Built Plan that is stamped and signed by the fully-licensed civil engineer shall be submitted to the Engineering Department and the Planning Department along with a letter that details any differences between the as-built plan and the approved plan prior to the issuance any certificate of occupancy.
- The HVAC units shall be visually screened; if the unit is ground mounted with the use of vinyl stockade fencing, or where appropriate shall be surrounded by landscaping at a height high enough to obscure the unit, and if it is roof mounted shall not be visible from any side to the satisfaction of the Planning Board.
- A 6' (foot) PVC white fence shall be installed around the dumpster at a height high enough to obscure the unit. No portion of the dumpster shall be higher than the installed fence or gate. The screened dumpster enclosure gate shall be installed with PVC material. The Electric Transformer shall also be similarly enclosed.

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Proposed Revisions
6-16-23