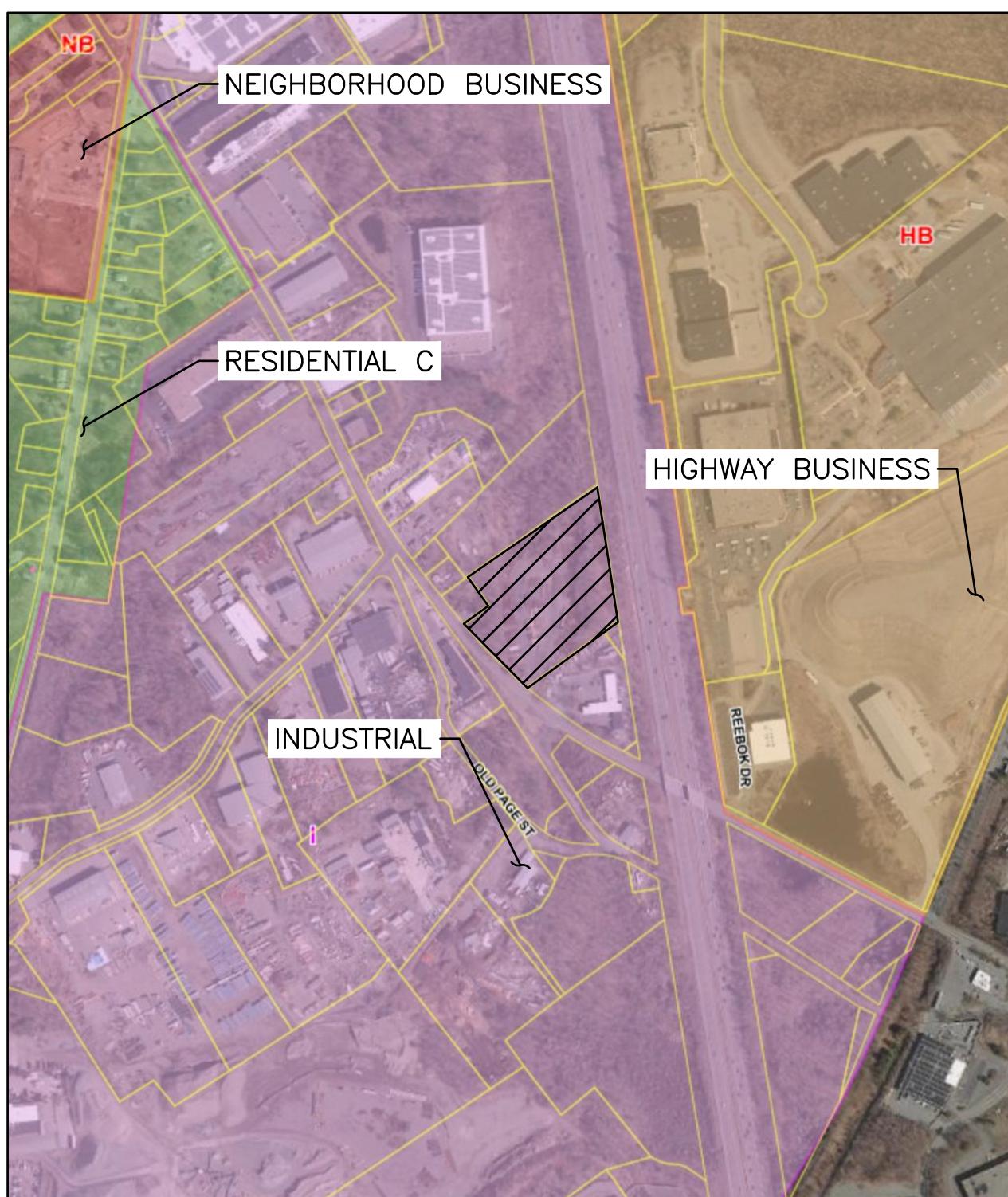


Planning Board Final Approval
3-26-21

Re-submission for approval on pylon
sign 6-16-23

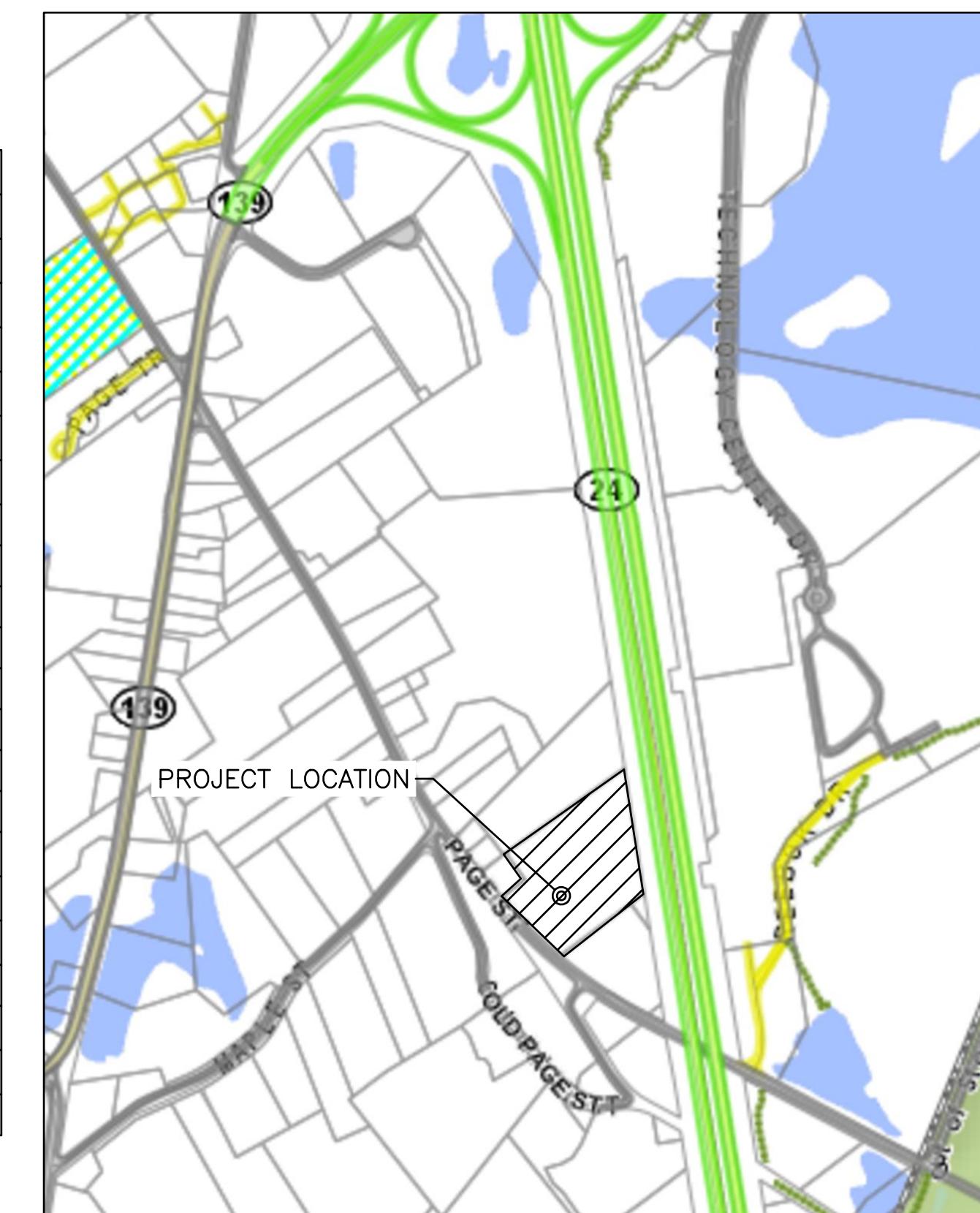
DRAFT



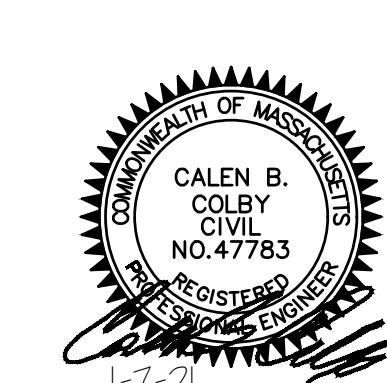
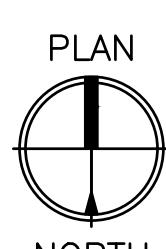
DRAWING INDEX		
DRAWING	TITLE	SHEET NUMBER
G-001	TITLE & INDEX SHEET	1
V-101	BOUNDARY SURVEY	2
C-101	EXISTING CONDITIONS PLAN	3
C-102	SITE DEMOLITION PLAN	4
C-103	OVERALL SITE LAYOUT PLAN	5
C-104	OVERALL GRADING & DRAINAGE PLAN	6
C-105	EROSION CONTROL PLAN	7
C-106	STRIPING AND SIGNAGE PLAN	8
C-107	SITE PLAN - COLOR CODED	9
C-110	SITE PLAN (1 OF 2)	10
C-111	SITE PLAN (2 OF 2)	11
C-112	SITE UTILITY PLAN	12
C-120	GRADING & DRAINAGE PLAN (1 OF 2)	13
C-121	GRADING & DRAINAGE PLAN (2 OF 2)	14
C-130	OFF-SITE SEWER PLAN	15
C-131	SANITARY SEWER PLAN & PROFILE	16
C-301	DRAINAGE PROFILES	17
C-302	OFF-SITE DRAINAGE PROFILE	18
C-501	EROSION CONTROL NOTES	19
C-502	EROSION CONTROL DETAILS	20

ZONING MAP
SCALE: 1"=600'

C-503	CONSTRUCTION DETAILS - UTILITIES	21
C-504	CONSTRUCTION DETAILS - SEWER	22
C-505	CONSTRUCTION DETAILS - DRAINAGE (1 OF 4)	23
C-506	CONSTRUCTION DETAILS - DRAINAGE (2 OF 4)	24
C-507	CONSTRUCTION DETAILS - DRAINAGE (3 OF 4)	25
C-508	CONSTRUCTION DETAILS - DRAINAGE (4 OF 4)	26
C-509	CONSTRUCTION DETAILS - SITE (1 OF 2)	27
C-510	CONSTRUCTION DETAILS - SITE (2 OF 2)	28
C-511	CONSTRUCTION DETAILS - SIGNAGE	29
WQ-101	PRE-DEVELOPMENT WATER QUALITY PLAN	30
WQ-102	POST-DEVELOPMENT WATER QUALITY PLAN	31
L-101	LANDSCAPE PLAN	32
L-102	LANDSCAPE DETAILS	33
ES-101	PHOTOMETRIC PLAN	34
ES-102	LIGHTING DETAILS	35
A101	FIRST FLOOR PLAN	36
A102	SECOND FLOOR PLAN	37
A201	ELEVATIONS	38
A202	ELEVATIONS	39
A901	3D VIEWS	40
B-101	BORING LOGS (1 OF 2)	41
B-102	BORING LOGS (2 OF 2)	42
X-101	PLANNING BOARD DECISION	43



LOCUS MAP
1"=600'



47A York St
Portland, ME
04101
207.553.7753

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC			SALES & SERVICE FACILITY			TITLE & INDEX SHEET		
100 QUARRY DRIVE, MILFORD, MA 01757			207 PAGE STREET, STOUGHTON MA			PROJECT NO. 109.077.001		
REV	DESCRIPTION	DWN	APP	DATE	SIZE: ANSI D	DES BY: LDA	DRAWING NO. 1 OF 43	
E	PB & CON COMM REVIEW	LDA	ALT	2/11/2021				
D	ADD DRAINAGE AREA	LDA	ALT	1/21/2021				
C	PLANNING BOARD REVIEW	DAM	ALT	1/7/2021				
B	CONSERVATION COMMISSION	DAM	ALT	1/24/2020				
A	PLANNING BOARD REVIEW	DAM	ALT	10/5/2020				
REV	DESCRIPTION	DWN	APP	DATE				

G-001

ZONING COMPLIANCE CHART

By-Law

6.2.3.3 - One wall sign for each lot street frontage of each establishment. Shall not be > 10% of the wall area on wall they are displayed or 150sf, whichever is lesser

Qty	Type	Elevation	Wall Area (sf)	Sign Area (allowed)	Sign Area (proposed)	% of Wall (allowed)	% of Wall (proposed)
1	Milton CAT	West	2,554	150	132	10%	5.37%
1	Milton CAT**	South	4,849	150	132	10%	2.72%

* All Milton CAT signs to be internally lit with white lighting.

** Waiver Requested, Special Permit App for Sign included, Fee submitted with Site Plan Application.

By-Law

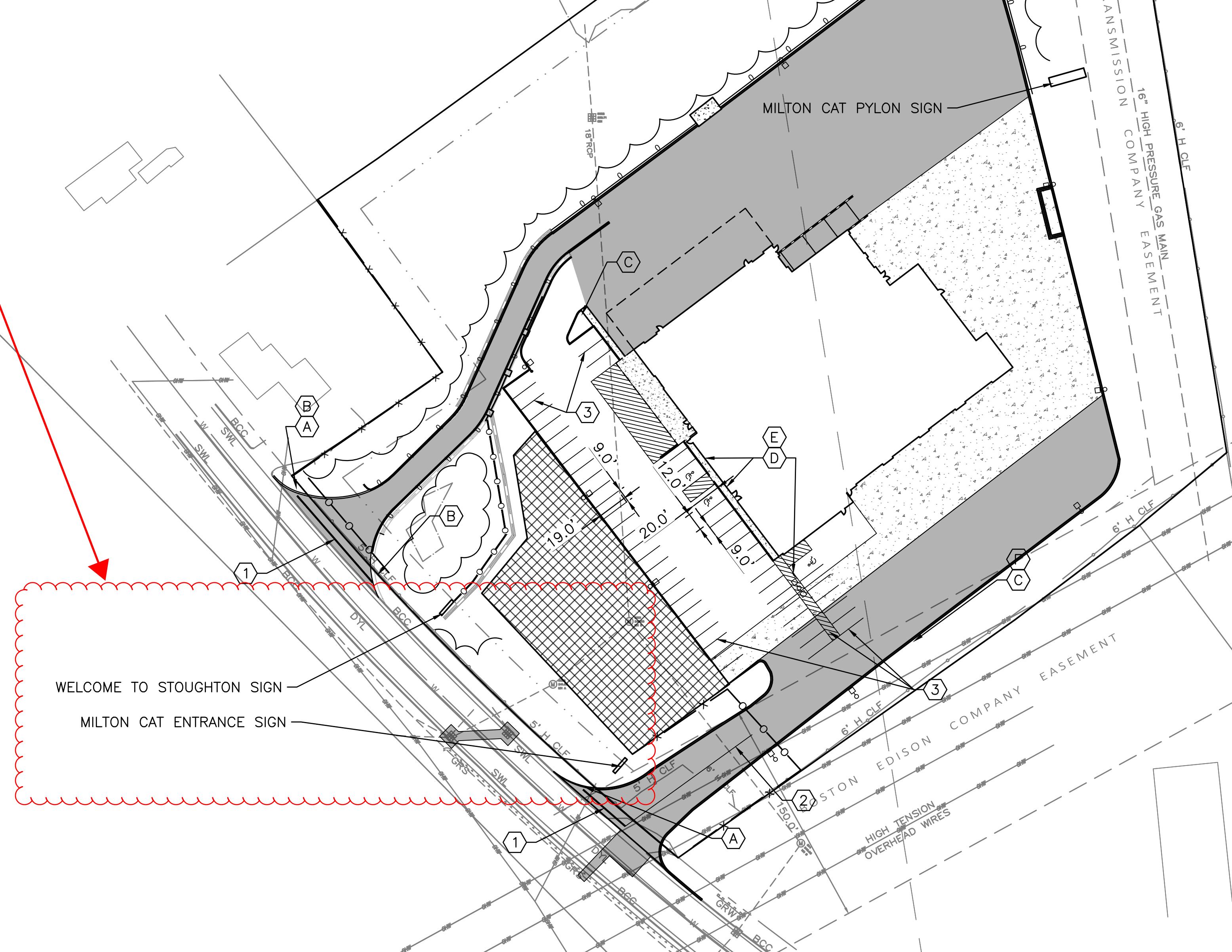
6.2.4.2 - One ground sign for each establishment, provided: it shall not exceed 150 square feet in surface area; it shall be set back at least 15 feet from any street lot line; it shall not be erected so that any portion of it is over 30 feet above the ground or sidewalk; and if lighted, it shall be illuminated internally by white light only.

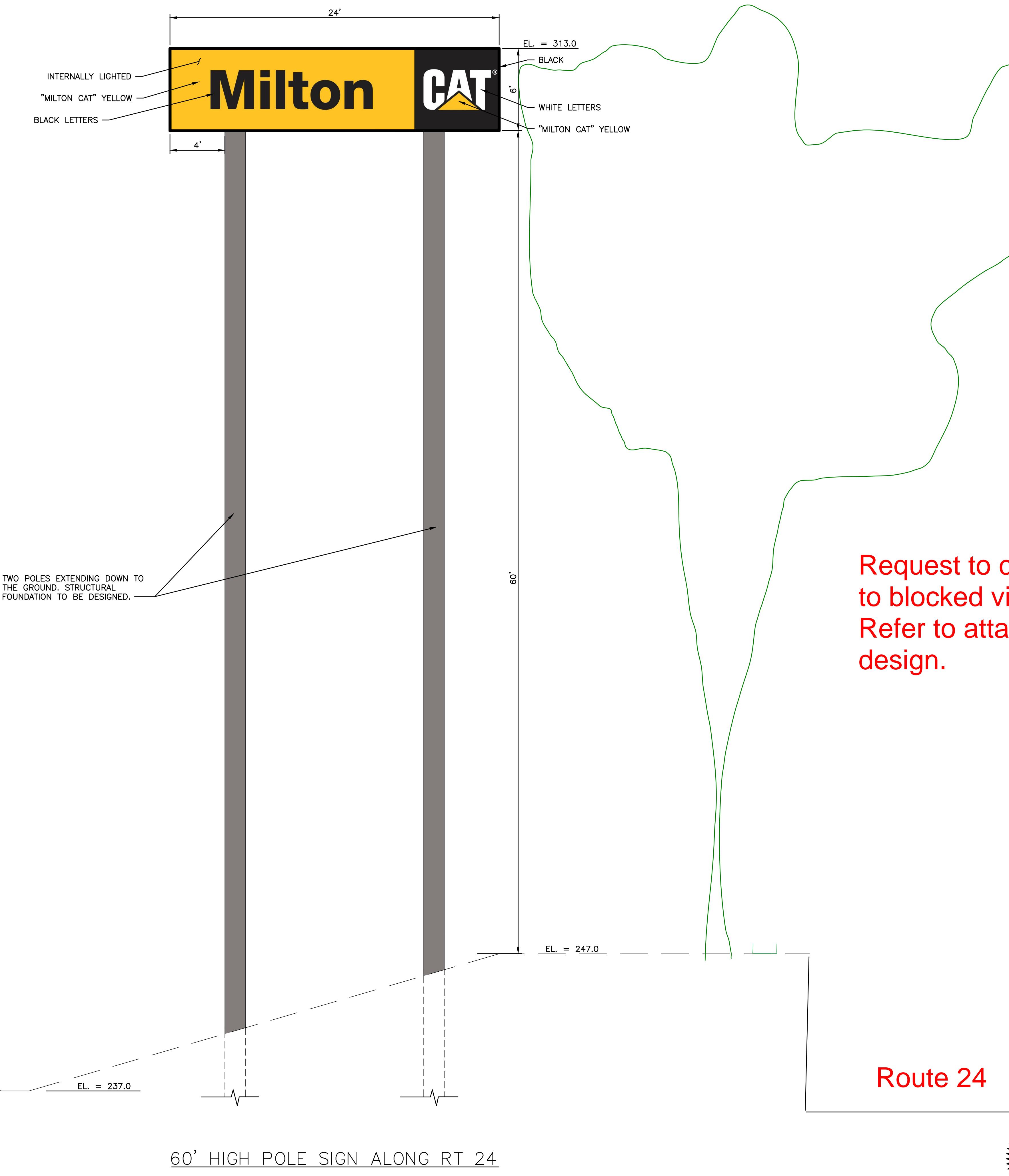
* All Milton CAT signs to be internally lit with white lighting.

** Welcome to Stoughton sign to match existing sign in Town of Stoughton.

*** Waiver Requested, Special Permit App for Sign included, Fee submitted with Site Plan Application.

This scope previously approved.
Changes are not requested for this scope.





Route 24



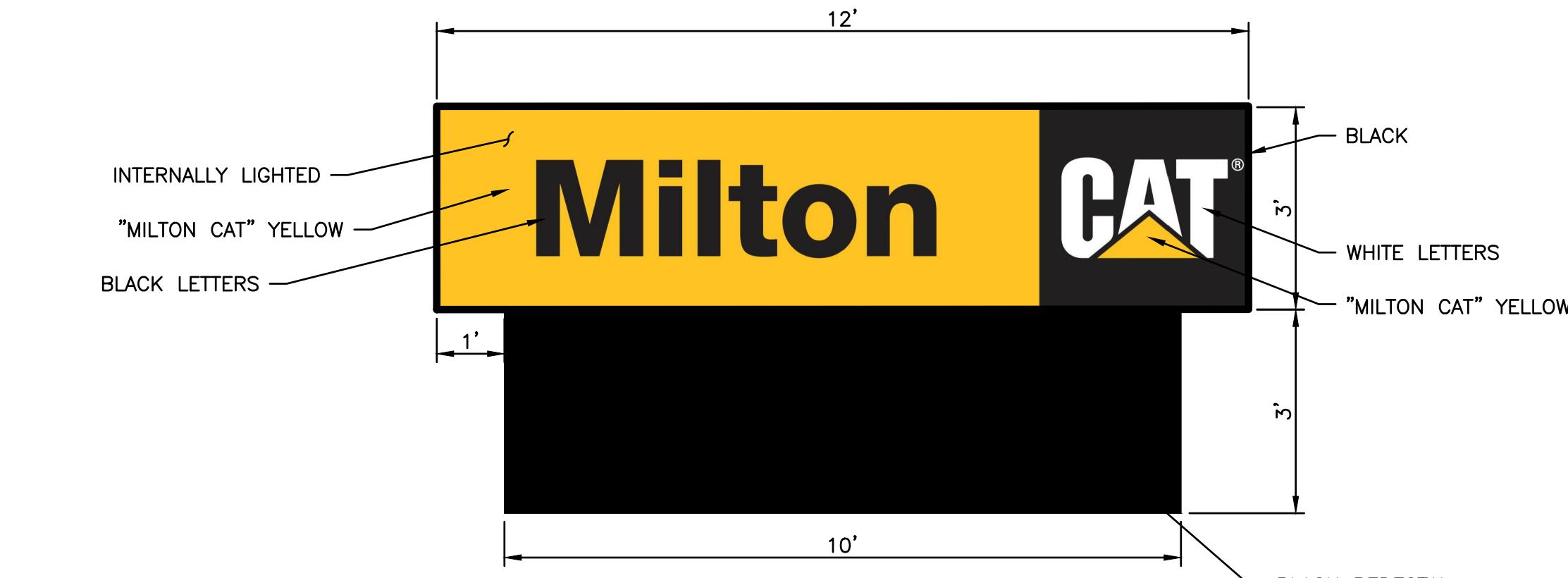
BUILDING MOUNTED SIGN
NTS

TOWN OF STOUGHTON SIGN ORDINANCE REQUIRES THAT BUILDING SIGNS BE 150 SF OR 10% OF THE ELEVATION AREA, WHICHEVER IS LESS.

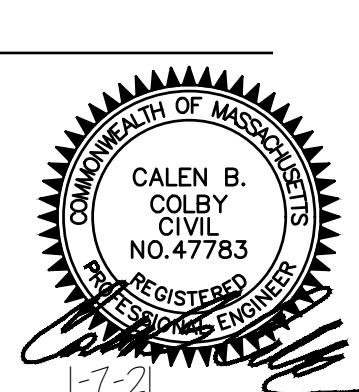
BUILDING MOUNTED SIGN TO BE MOUNTED TO THE SOUTH AND EAST ELEVATIONS.

AREA OF EAST ELEVATION = 6,361 SF 10% x 6,361 SF = 636 SF*
AREA OF SOUTH ELEVATION = 6,127 SF 10% x 6,127 SF = 613 SF*
BOTH AREAS > 150 SF, USE THE LESSER AREA = 150 SF
SIGN DIMENSIONS = 6'x22' = 132 SF < 150 SF

Request to change this to a 100' sign due to blocked visibility from the trees.
Refer to attached renderings for new design.

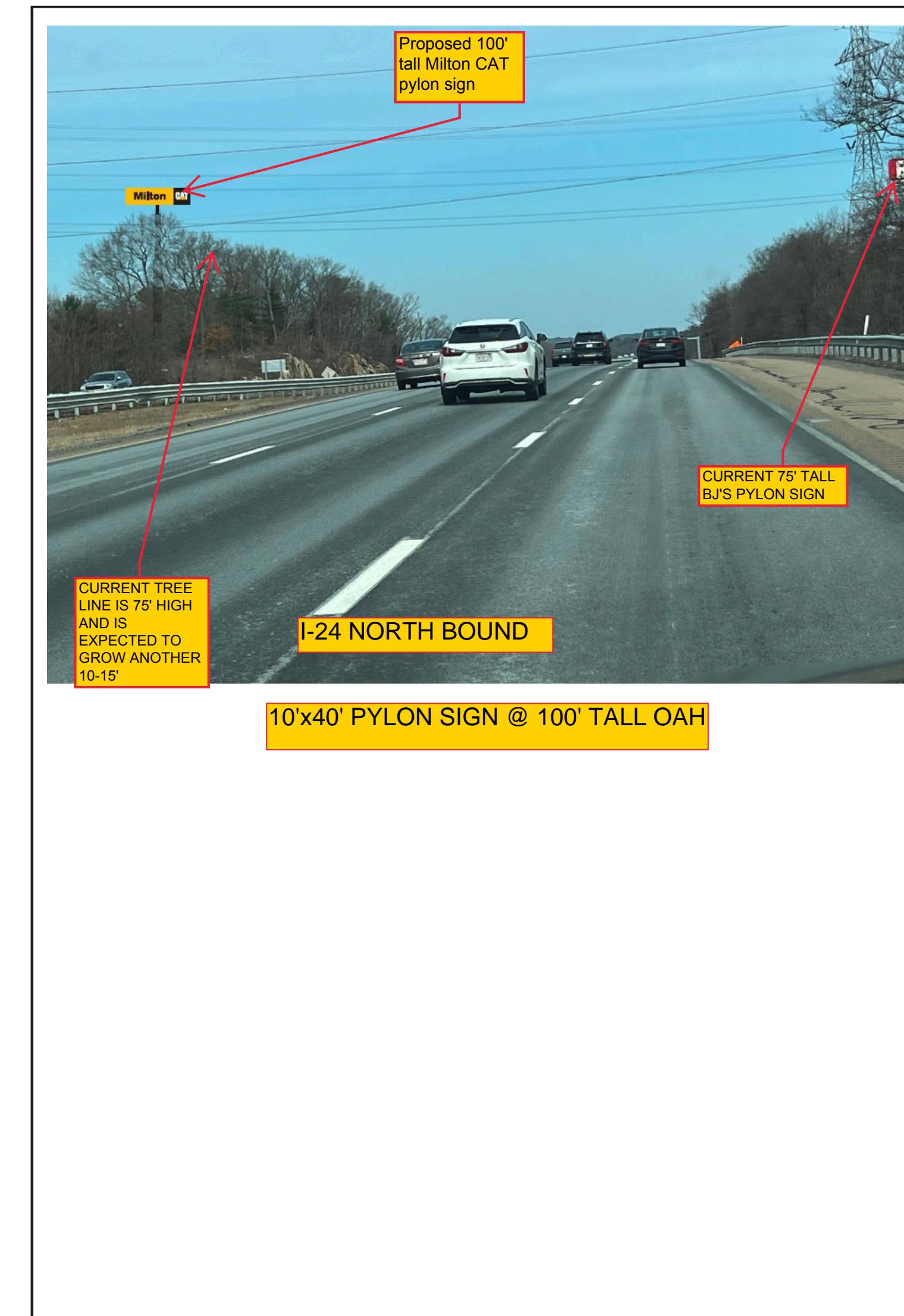
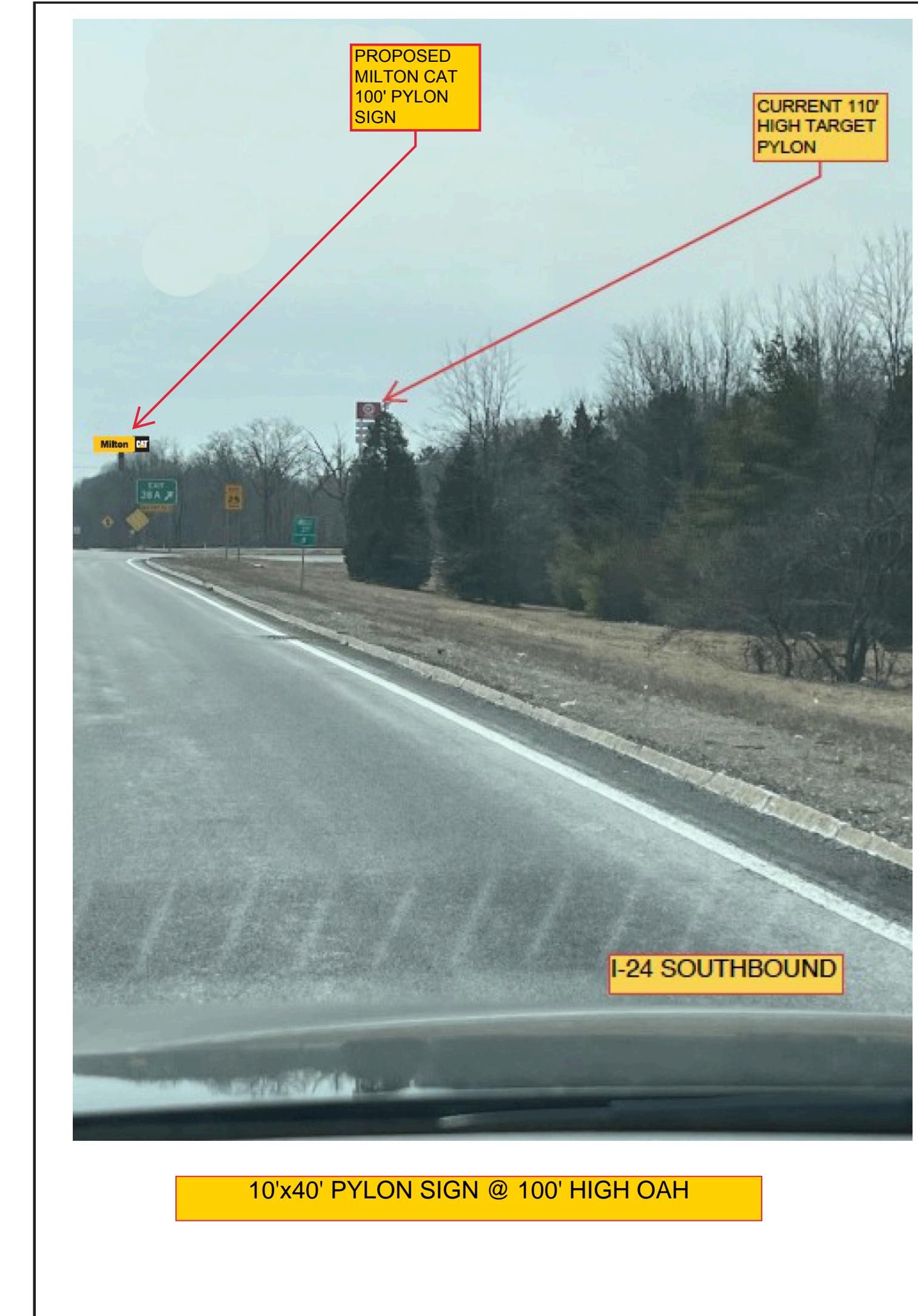
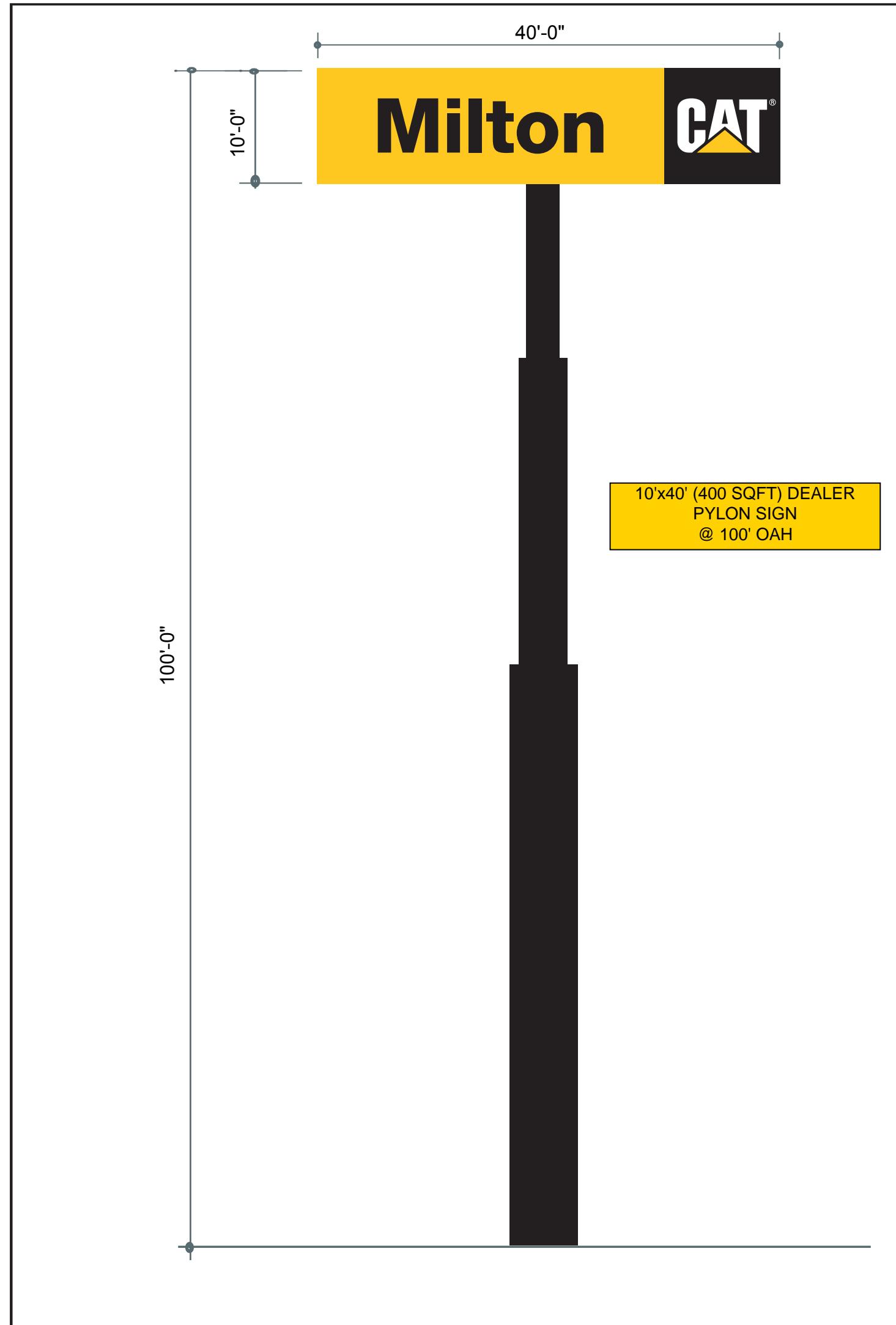


COMPANY ENTRANCE SIGN
NTS



47A York St
Portland, ME
04101
207.553.7753

				MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC	
				100 QUARRY DRIVE, MILFORD, MA 01757	
				SALES & SERVICE FACILITY	
				207 PAGE STREET, STOUGHTON MA	
				CONSTRUCTION DETAILS - SIGNAGE	
E	PB & CON COMM REVIEW	LDA	ALT	2/11/2021	
D	ADD DRAINAGE AREA	LDA	ALT	1/21/2021	
C	PLANNING BOARD REVIEW	DAM	ALT	1/7/2021	
B	CONSERVATION COMMISSION	DAM	ALT	12/4/2020	
A	PLANNING BOARD REVIEW	DAM	ALT	10/5/2020	
REV	DESCRIPTION	DWN	APP	DATE	
PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.					
SIZE:	ANSI D	PROJECT NO.		DRAWING NO.	
DATE:	1/7/2021	109.077.001		C-511	
DES BY:	LDA	SHEET		29 OF 43	
DWN BY:	DAM	CKD BY:			
CKD BY:	ALT				



Proposed Revisions
6-16-23