

SITE DEVELOPMENT PLANS

FOR

ATKINSON AVENUE EXTENSION

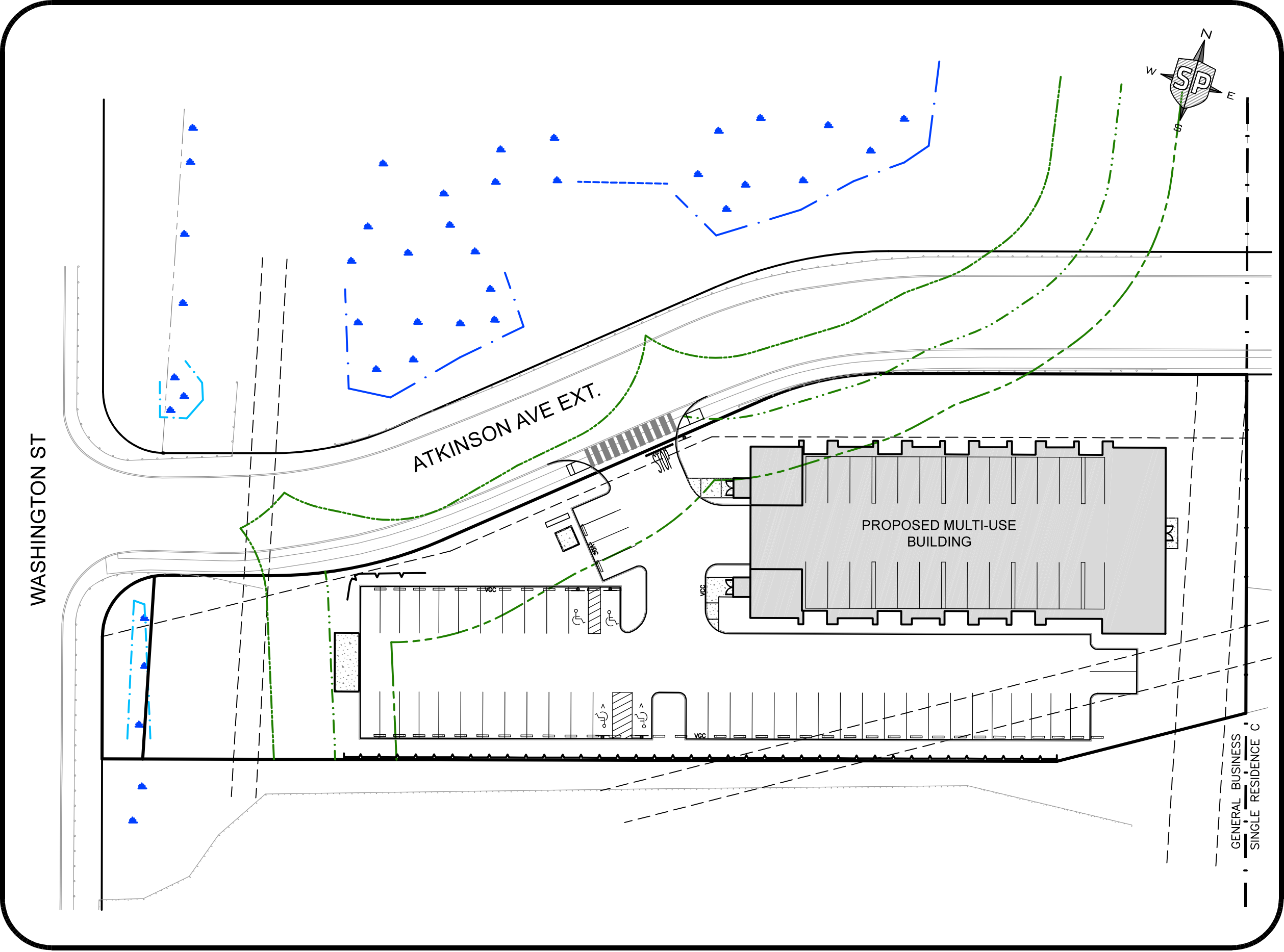
MAP 61 LOTS 60 & 61
STOUGHTON, MASSACHUSETTS

OWNER :
ENDRIUNAS BROTHERS LLC
466 SUMNER STREET
STOUGHTON, MASSACHUSETTS 02072

APPLICANT:
CORVO COMPANIES
4 PORTER STREET
STOUGHTON, MASSACHUSETTS 02072

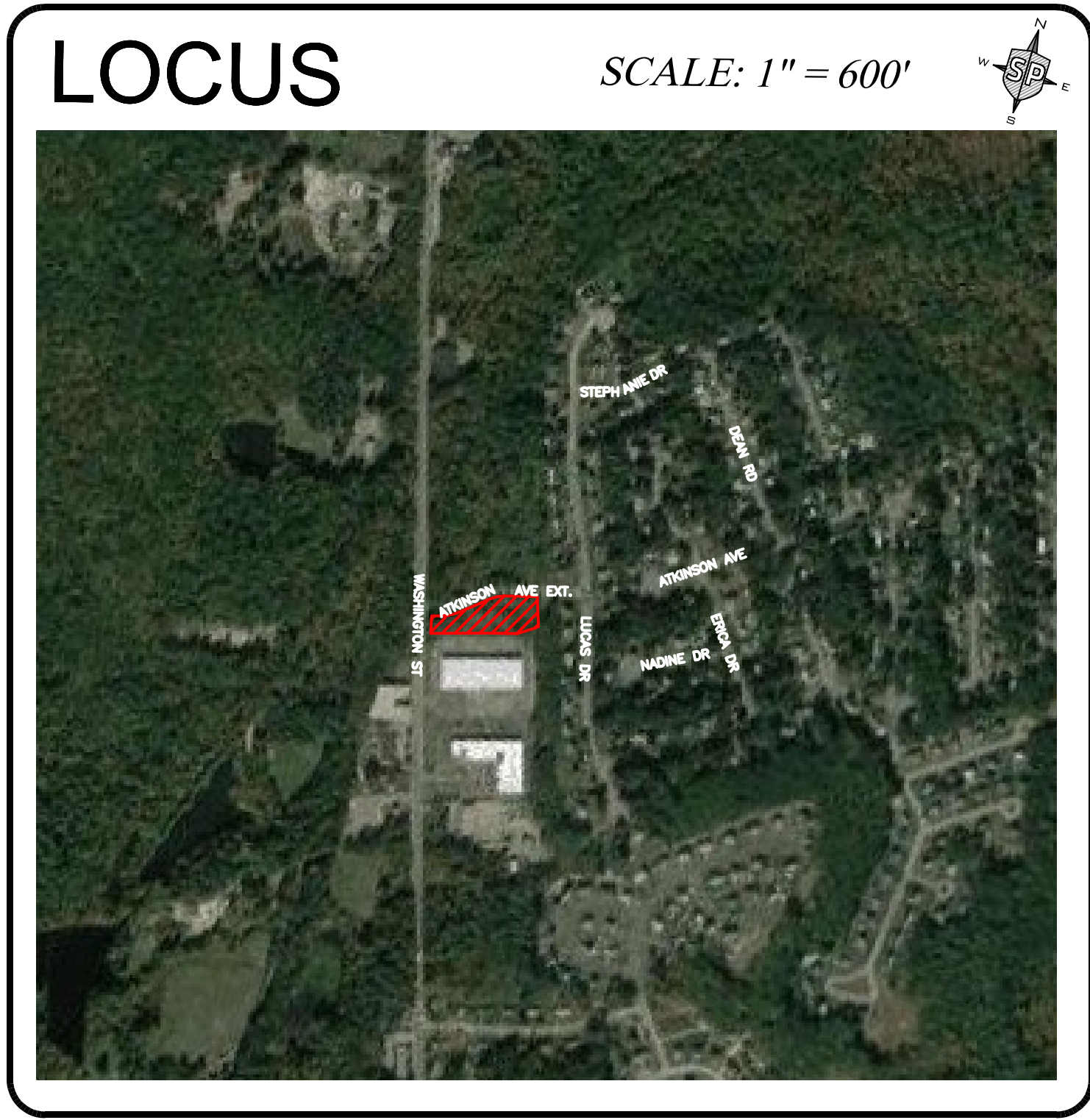
CIVIL ENGINEER :
 **STRONGPOINT**
ENGINEERING SOLUTIONS, INC
340 MANLEY STREET, UNIT 2
WEST BRIDGEWATER, MA 02379
(508) 682-0229

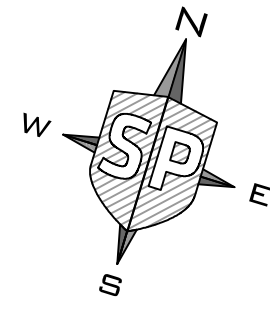
ARCHITECT :
mj+associates
architects+planners
70 Connie Lane
Stoughton, MA 02072
(617) 448-8974



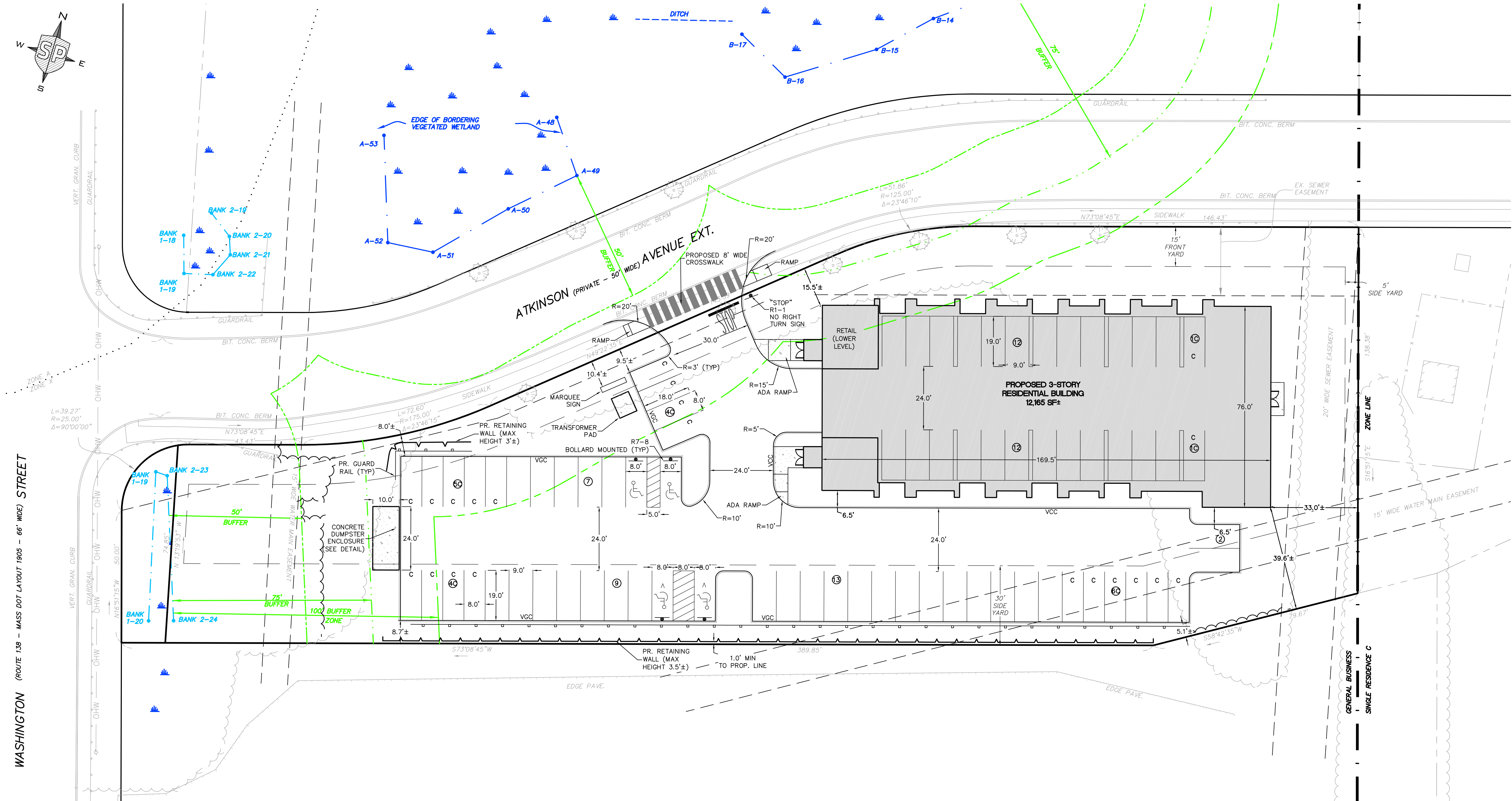

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC

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WASHINGTON (ROUTE 138 - MASS DOT LAYOUT 1905 - 66' WIDE) STREET



NOTES:

1. BUILDING FOOTPRINT SHOWN IS INDICATIVE OF FOUNDATION WALLS. SEE ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION REGARDING BUILDING DESIGN.
2. ALL BUILDING DIMENSIONS TO BE CONFIRMED WITH THE PROJECT ARCHITECTURAL PLANS, INCLUDING THE ENTRANCE CANOPY, ANY AND ALL POINTS OF INGRESS & EGRESS.
3. ALL DISTURBED AREAS NOT OTHERWISE DESIGNATED FOR SPECIFIC SURFACE TREATMENT SHALL RECEIVE SIX INCHES OF LOAM, AND BE SEEDED, WATERED, FERTILIZED AND MAINTAINED UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
4. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE BETWEEN EXISTING AND PROPOSED SURFACES.
5. ALL CURB DIMENSIONS AND RADII REFERENCE FACE OF CURB UNLESS OTHERWISE NOTED.
6. ALL SIDEWALKS SHALL HAVE A MINIMUM CROSS SLOPE OF 1% AND A MAXIMUM CROSS SLOPE OF 2%.
7. ALL RETAINING WALLS TO BE DESIGNED BY OTHERS AND LOCATED A MINIMUM OF 1'-FOOT FROM PROPERTY LINES.
8. MARQUEE SIGN TO MEET ALL APPLICABLE ZONING REGULATIONS.
9. SNOW SHALL BE PUSHED TO THE EDGE OF OF PAVED SURFACES OUTSIDE OF THE 100' WETLAND BUFFER. WHEN STORAGE AREA IS FULL, SNOW SHALL BE REMOVED FROM SITE.
10. PET WASTE STATIONS TO BE INSTALLED NEAR BUILDING ENTRANCES.

PARKING TABLE

STUDIO AND ONE BEDROOM DWELLING UNIT: 2 SPACES/UNIT
TWO BEDROOM OR MORE DWELLING UNIT: 3 SPACE/UNIT
RETAIL: 1 SPACE/300 SF

REQUIRED SPACES:

3 STUDIO UNITS + 21 ONE BEDROOM UNITS = 24 UNITS = 48 SPACES
9 TWO BEDROOM UNITS = 27 SPACES
RETAIL = 440 SF = 1 SPACE

TOTAL REQUIRED: 76 SPACES
TOTAL PROPOSED: 76 SPACES

COMPACT SPACES: NOT MORE THAN 30% OF THE TOTAL PARKING SPACES UTILIZED IN COMPUTING
REQUIRED OFF STREET PARKING SPACES SHALL BE COMPACT SPACES

MINIMUM REQUIRED FULL SIZE PARKING SPACES: 53

PROVIDED SPACES:
76 SPACES TOTAL
22 COMPACT SPACES
54 FULL SIZED SPACES

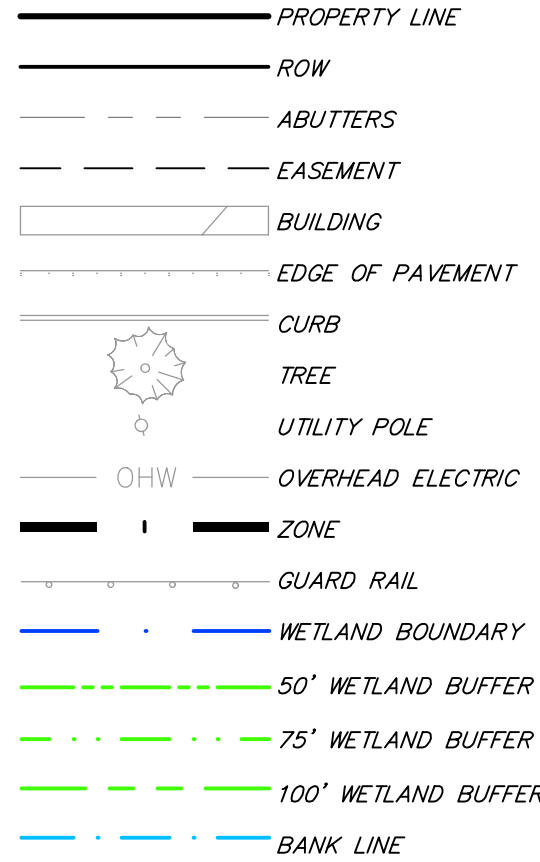
ADA COMPLIANT SPACES REQUIRED: 4
ADA COMPLIANT SPACED PROVIDED: 4

ZONING TABLE
GENERAL BUSINESS

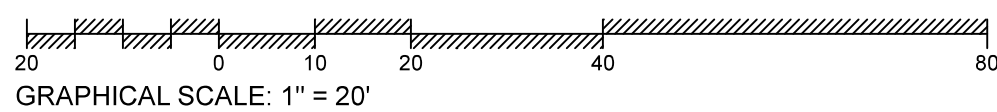
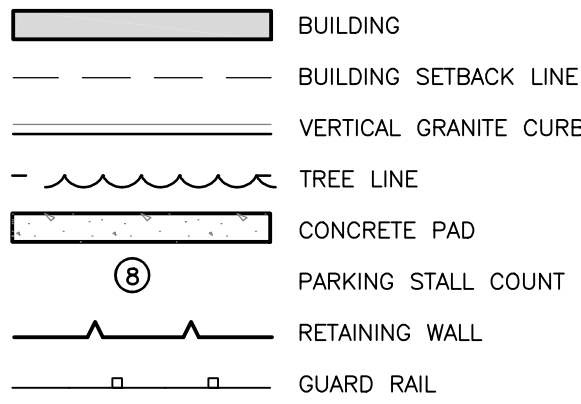
	REQUIRED	PROVIDED
LOT AREA	10,000 SF	55,133 SF±
LOT FRONTAGE	50 FT	477.35 FT
LOT DEPTH	75 FT	75.00 FT
LOT WIDTH	50 FT	465.50 FT
FRONT YARD SETBACK	15 FT	15.50 FT±
REAR YARD SETBACK	30 FT	39.6 FT±
SIDE YARD SETBACK	5 FT	33.0 FT±
MAX BUILDING COVERAGE	70%	22%
MIN. OPEN SPACE	10%	41%
MAX BUILDING HEIGHT	40 FT/ 3 STORIES	38.4 FT AVERAGE
MIN INTERIOR LANDSCAPING	15%	15%

SPECIAL PERMIT REQUIRED FOR MIXED-USE BUILDING

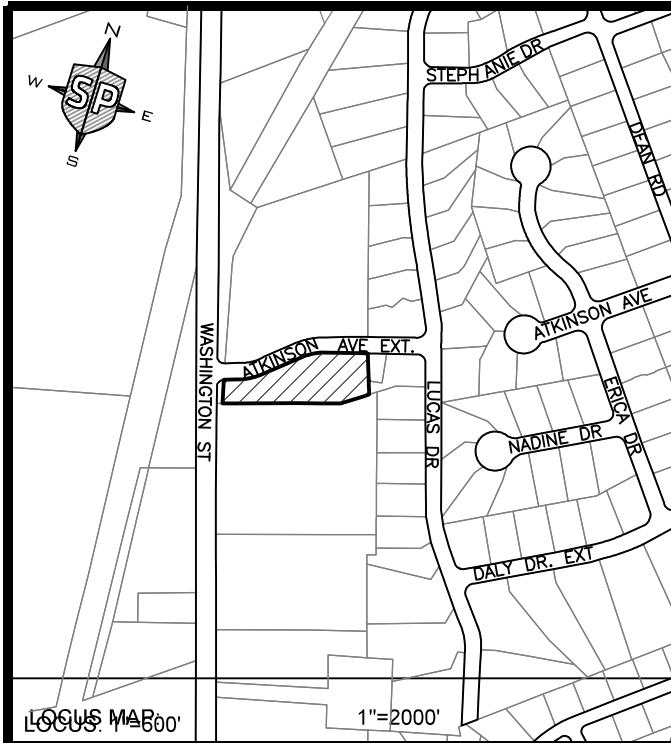
EXISTING FEATURES



PROPOSED FEATURES



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC



REV	DESCRIPTION	DATE
2	REVIEW COMMENTS	6/2/23
1	REVIEW COMMENTS	5/10/23

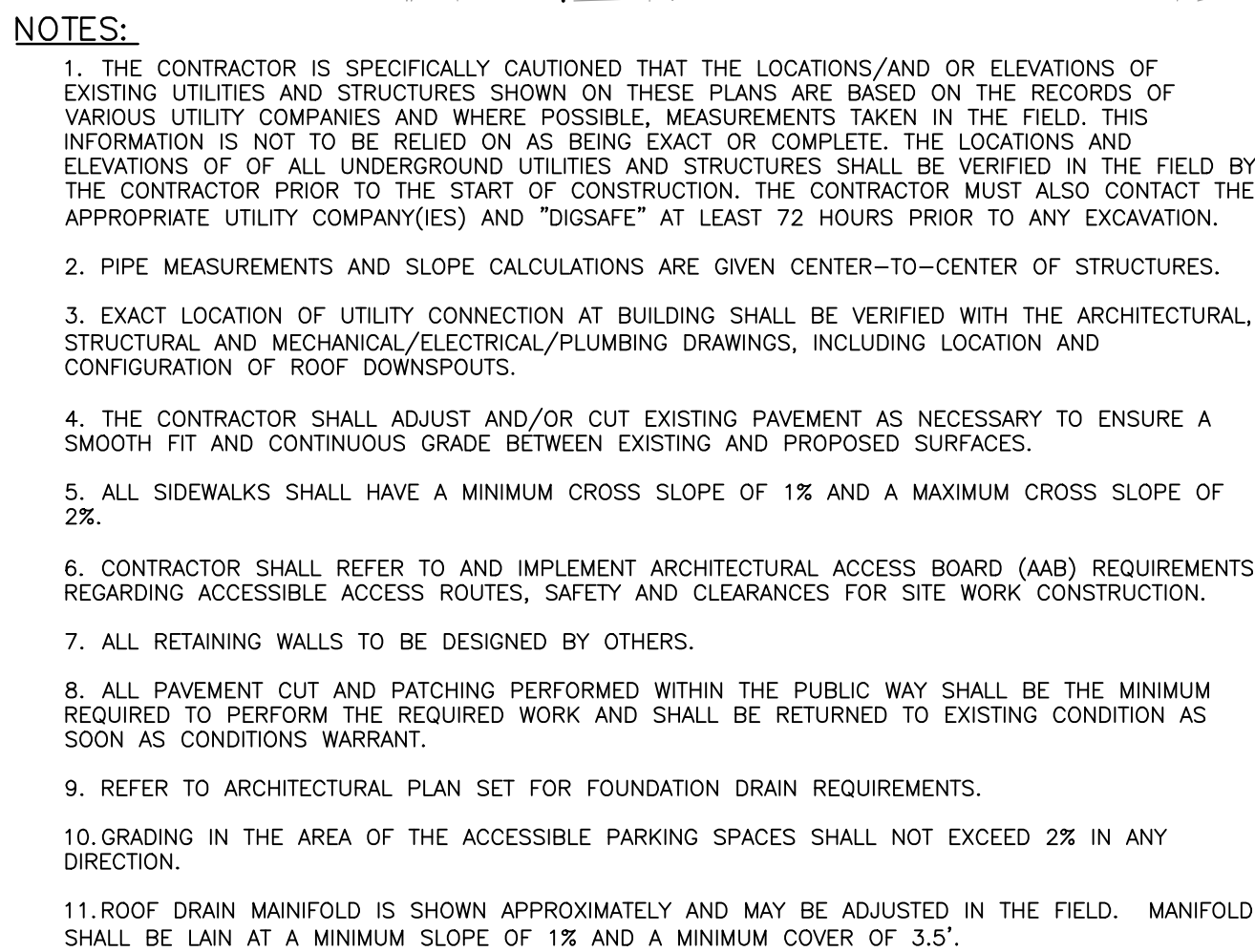


PROJECT NUMBER:	2212-002
DATE OF ISSUE:	MARCH 10, 2023
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DESIGNED BY:	SH
CHECKED BY:	ED

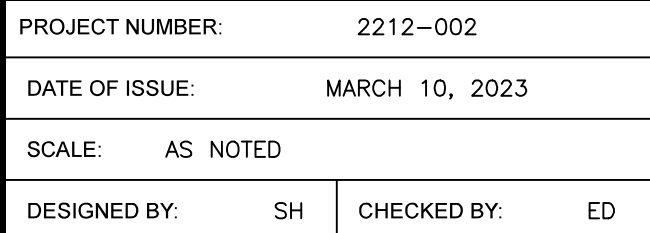
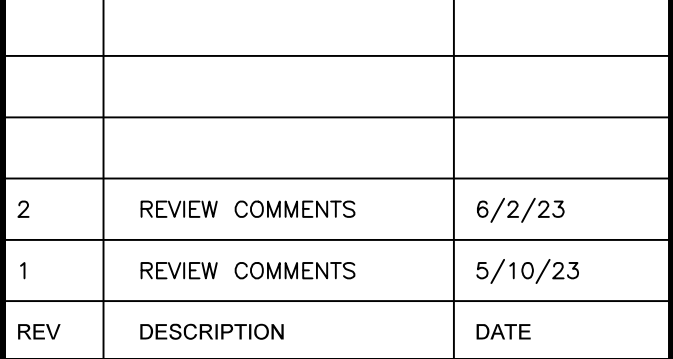
PREPARED ON BEHALF OF:
CORVO COMPANIES
4 PORTER ST
STOUGHTON, MASSACHUSETTS 02072

SITE PLAN REVIEW
FOR
0 ATKINSON AVE EXTENSION
STOUGHTON, MASSACHUSETTS 02072
MAP 61, LOTS 80 AND 81

PROPOSED LAYOUT PLAN
C-2



GRAPHICAL SCALE: 1" = 20'



SITE PLAN REVIEW
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0 ATKINSON AVE EXTENSION
STOUGHTON, MASSACHUSETTS 02072
MAP 61, LOTS 60 AND 61

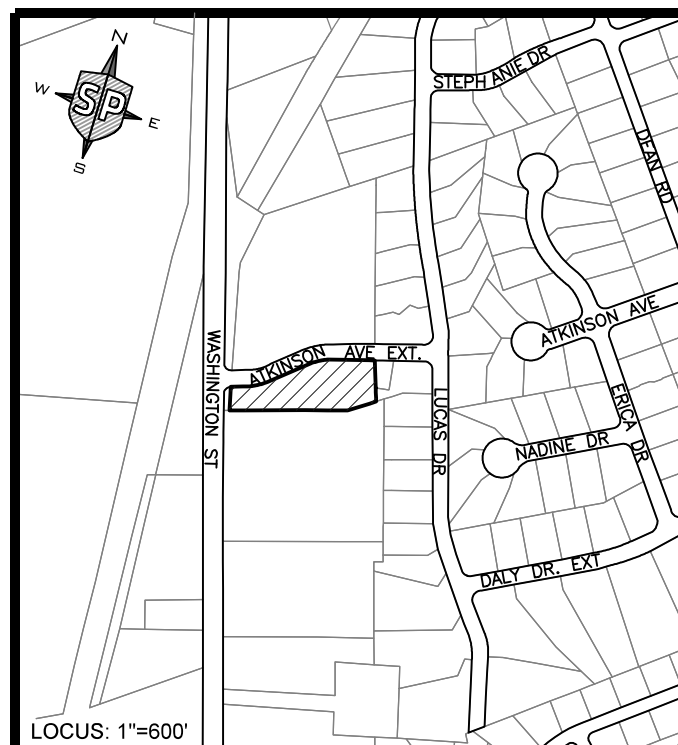
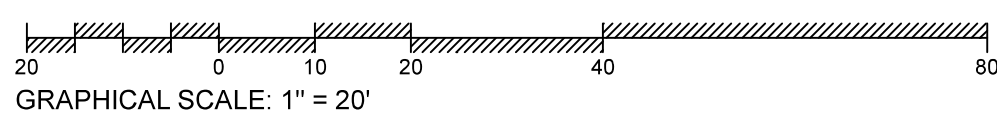
C-3



1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS/AND OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON THE RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NORMALLY RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST ALSO CONTACT THE APPROPRIATE UTILITY COMPANY(IES) AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
2. PIPE MEASUREMENTS AND SLOPE CALCULATIONS ARE GIVEN CENTER-TO-CENTER OF STRUCTURES.
3. PROPOSED UTILITIES ARE SHOWN IN THESE PLANS IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
4. EXACT LOCATION OF UTILITY CONNECTION AT BUILDING SHALL BE VERIFIED WITH THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL/ELECTRICAL/PLUMBING DRAWINGS, INCLUDING LOCATION AND CONFIGURATION OF ROOF DOWNSPOUTS.
5. PROPOSED TELEPHONE, ELECTRIC AND COMMUNICATIONS SYSTEMS SHALL BE UNDERGROUND. LOCATIONS AND INSTALLATION OF THESE FEATURES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY.
6. ALL PAVEMENT CUT AND PATCHING PERFORMED WITHIN THE PUBLIC WAY SHALL BE THE MINIMUM REQUIRED TO PERFORM THE REQUIRED WORK AND SHALL BE RETURNED TO EXISTING CONDITION AS SOON AS CONDITIONS WARRANT.
7. SLEEVE SEWER WHERE MINIMUM 10' SEPARATION TO WATER CAN'T BE MAINTAINED.

EXISTING FEATURES	PROPOSED FEATURES
PROPERTY LINE	BUILDING
ROW	VERTICAL GRANITE CURB
ABUTTERS	TREE LINE
BUILDING	CONCRETE PAD
EDGE OF PAVEMENT	GUARD RAIL
CURB	RETAINING WALL
TREE	INTERMEDIATE CONTOUR
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	D DRAIN PIPE
W WATER PIPE	DRAIN MANHOLE
UTILITY POLE	CATCH BASIN
OVERHEAD ELECTRIC	FLARED END
I ZONE	S SEWER PIPE
SEWER MANHOLE	W WATER SERVICE
S SEWER LINE	UE UNDERGROUND E/T/C
CATCH BASIN	
D DRAIN LINE	
GUARD RAIL	
WETLAND BOUNDARY	
50' WETLAND BUFFER	
75' WETLAND BUFFER	
100' WETLAND BUFFER	
BANK LINE	

1. DOMESTIC AND FIRE SUPPRESSION LINE SIZES SHOWN ARE APPROXIMATE AND MAY CHANGE DURING FINAL MEP DESIGN.
2. 2" DOMESTIC LINE SHALL BE PE (250 PSI RATED) FROM MAIN TO CURB STOP (BUFFALO STYLE) AND FROM CURB BOX TO BUILDING.
3. FIRE SUPPRESSION LINE SHALL INCLUDE A DOUBLE CHECK BACKFLOW DEVICE AS APPROVED BY THE WATER DEPARTMENT. 6" GATE VALVE SHALL BE OPEN RIGHT.
4. 2" WATER SERVICE SHALL HAVE A MINIMUM OF 4.5' OF COVER, BEDDED ON 6" OF SAND AND BACKFILLED WITH 12" OF SAND.
5. A 12 GAGE TRACER WIRE SHALL BE ATTACHED TO THE 2" DOMESTIC SERVICE AND TERMINATED AT THE 2" BALL VALVE LOCATED INSIDE THE BUILDING AND INTO THE TOP OF THE NEW CURB BOX.
6. LOCATOR TAPE SHALL BE PLACED ON TOP OF THE SAND BACKFILL FOR THE FULL LENGTH OF THE TRENCH.
7. WATER METER SHALL BE 2" NEPTUNE METER FOR DOMESTIC SERVICE. 1/4--TURN BALL VALVES SHALL BE LOCATED BEFORE AND AFTER THE WATER METER.
8. CONTRACTOR SHALL NOTIFY THE DPW WATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILL.



2	REVIEW COMMENTS	6/2/23
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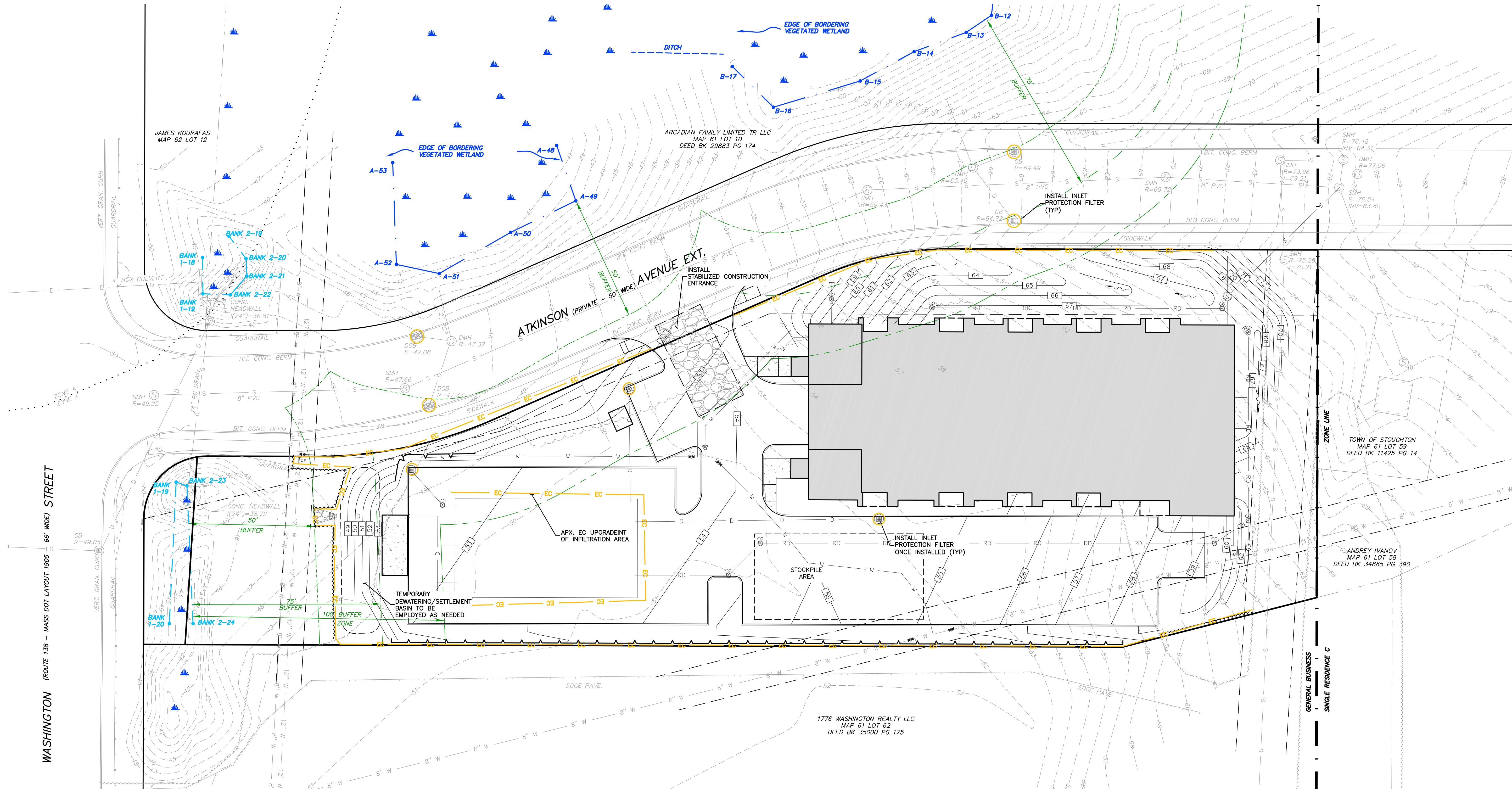
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4 PORTER ST
STOUGHTON, MASSACHUSETTS 02072

SITE PLAN REVIEW
FOR
0 ATKINSON AVE EXTENSION
STOUGHTON, MASSACHUSETTS 02071
MAP 61, LOTS 60 AND 61

PROPOSED UTILITY PLAN

C-4



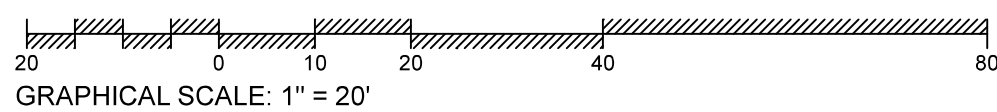
NOTES:

1. EROSION CONTROLS DEPICTED ON THIS PLAN ARE INTENDED TO PROVIDE A REASONABLE GUIDE TO THE MINIMUM EROSION AND SEDIMENT CONTROL REQUIREMENTS FOR THE PROPOSED SITE WORK CONSTRUCTION. THE CONTROLS DEPICTED ARE MINIMUM REQUIREMENTS TO BE EMPLOYED IN A GENERAL SENSE. ADDITIONAL CONTROLS SHALL BE IMPLEMENTED AS DEEMED NECESSARY BY THE APPLICANT, STORMWATER CONSULTANT, AND/OR TOWN OF STOUGHTON REPRESENTATIVE.
2. LOCATIONS OF CONTROLS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FIELD CONDITIONS AND SITE WORK REQUIREMENTS.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSACHUSETTS (DEP) EROSION AND SEDIMENTATION CONTROL GUIDELINES, AUGUST 1983, THE U.S.D.A. S.C.S. EROSION AND SEDIMENT CONTROL IN SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983 AND ALL LOCAL MUNICIPAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE DOCUMENTS.
4. CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO ENSURE THAT NO SEDIMENT OR UNCLEAR STORMWATER RUNOFF OR OTHER DISCHARGE IS DIRECTED TO ANY STORMWATER CONVEYANCE, ADJACENT PROPERTY OR WETLAND RESOURCE AREAS. THESE AREAS SHALL BE CONSIDERED CRITICAL AND SHALL BE PROTECTED TO THE MAXIMUM EXTENT PRACTICABLE. ANY SEDIMENT DISCHARGED TO THESE AREAS SHALL BE REMOVED WITHIN 24 HOURS IN ITS ENTIRETY BY APPROPRIATE MEANS.
5. THE LIMIT OF WORK SHALL BE CONSISTENT WITH THE MINIMUM AREA REQUIRED TO BE DISTURBED TO PERFORM THE PROPOSED WORK AS GENERALLY INDICATED BY THE PERIMETER EROSION CONTROL BARRIER DEPICTED.
6. ALL EXCAVATIONS SHOULD BE PERFORMED AND BACKFILLED APPROPRIATELY IN AS EXPEDITIOUSLY A MANNER AS POSSIBLE. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO ANTICIPATE INCLEMENT WEATHER CONDITIONS AND ANY OTHER FACTORS THAT MAY INFLUENCE EROSION AND SEDIMENTATION CONTROL RELATIVE TO THIS WORK AND TO RESPOND ACCORDINGLY.
7. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO KEEP VEHICULAR TRAVELED WAYS CLEAN AND SHALL SWEEP AND REMOVE ALL DEBRIS DAILY AT A MINIMUM. ANY LARGE STONES (2" DIA OR GREATER) OR DEBRIS SHALL BE REMOVED FROM THE ROADWAY IMMEDIATELY.
8. STOCKPILE AND STAGING AREAS ARE SHOWN APPROXIMATELY. ADDITIONAL AREAS ARE ALLOWED AND MAY BE MOVED IN ORDER TO ACCOMMODATE PROJECT NEEDS.

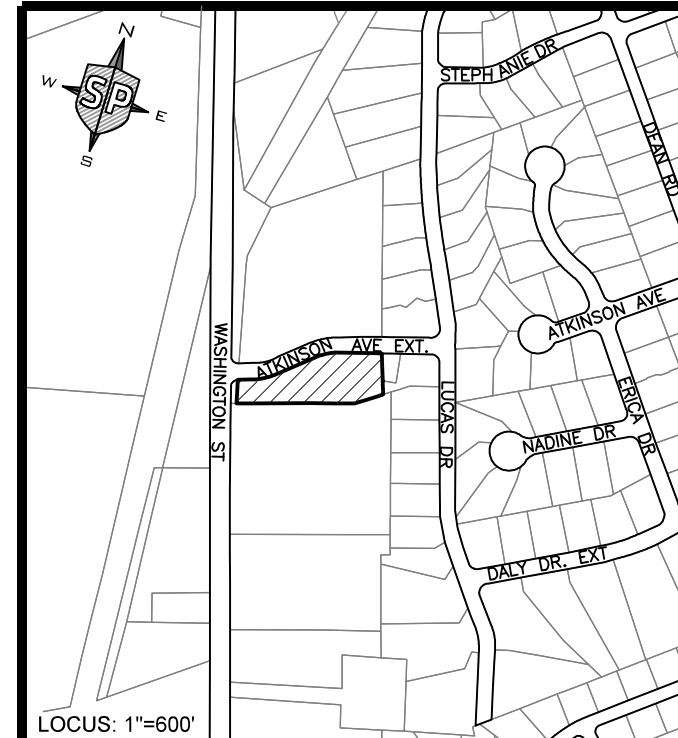
MINIMUM CONSTRUCTION REQUIREMENTS & SEQUENCING:

THE FOLLOWING MINIMUM CONSTRUCTION REQUIREMENTS & SEQUENCING SHALL BE ADHERED TO DURING PERFORMANCE OF ALL WORK PERFORMED. ANY NECESSARY REVISIONS TO THE PROPOSED SEQUENCING SHALL BE APPROVED BY THE ENGINEER OF RECORD IN KEEPING WITH THE INTENT PRESENTED HERE PRIOR TO IMPLEMENTATION.

1. INSTALL INLET FILTER PROTECTION IN EXISTING CATCH BASINS IN ATKINSON AVE EXT. PRIOR TO ANY EARTH DISTURBANCE. (APPROX 1 DAY)
2. STAKE THE PROPOSED LOCATION OF THE EROSION CONTROL BARRIERS/PROPERTY LINE. (APPROX 1 DAY)
3. CLEAR THE MINIMUM VEGETATION NECESSARY TO INSTALL THE EROSION CONTROL BARRIERS. EROSION CONTROL BARRIER INSTALLATION SHALL BE INSPECTED BY THE ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF SITE CLEARING. (APPROX 2 DAYS)
4. CLEAR AND GRUB/REMOVE HARDSCAPE MATERIALS. (APPROX 1 WEEK)
5. INSTALL STABILIZED CONSTRUCTION ENTRANCE. (APPROX 1 DAY)
6. ESTABLISH TEMPORARY STOCKPILE AREAS AS NEEDED EMPLOYING PROPER PERIMETER CONTROLS. (ONGOING)
7. PROCEED WITH ROUGH SITE GRADING. (APPROX 2 WEEKS)
8. INSTALL UTILITIES AND STRUCTURES AS APPROPRIATE. CONSULT ENGINEER OF RECORD FOR DEWATERING REQUIREMENTS AS NEEDED. (APPROX 6 MONTHS)
9. INSTALL INLET FILTRATION ON ALL PROPOSED STORMWATER CONVEYANCES AS SOON AS THEY MAY RECEIVE RUNOFF.
10. PERFORM FINAL GRADING AND INSTALL HARDSCAPE FEATURES (APPROX 1 MONTH)
11. INSTALL LANDSCAPING/LOAM AND SEED ALL DISTURBED AREAS. (APPROX 1 WEEK)
12. REMOVE EROSION CONTROL BARRIERS ONLY WHEN SITE IS STABILIZED AS DETERMINED BY THE ENGINEER OF RECORD.



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



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1	REVIEW COMMENTS	5/10/23



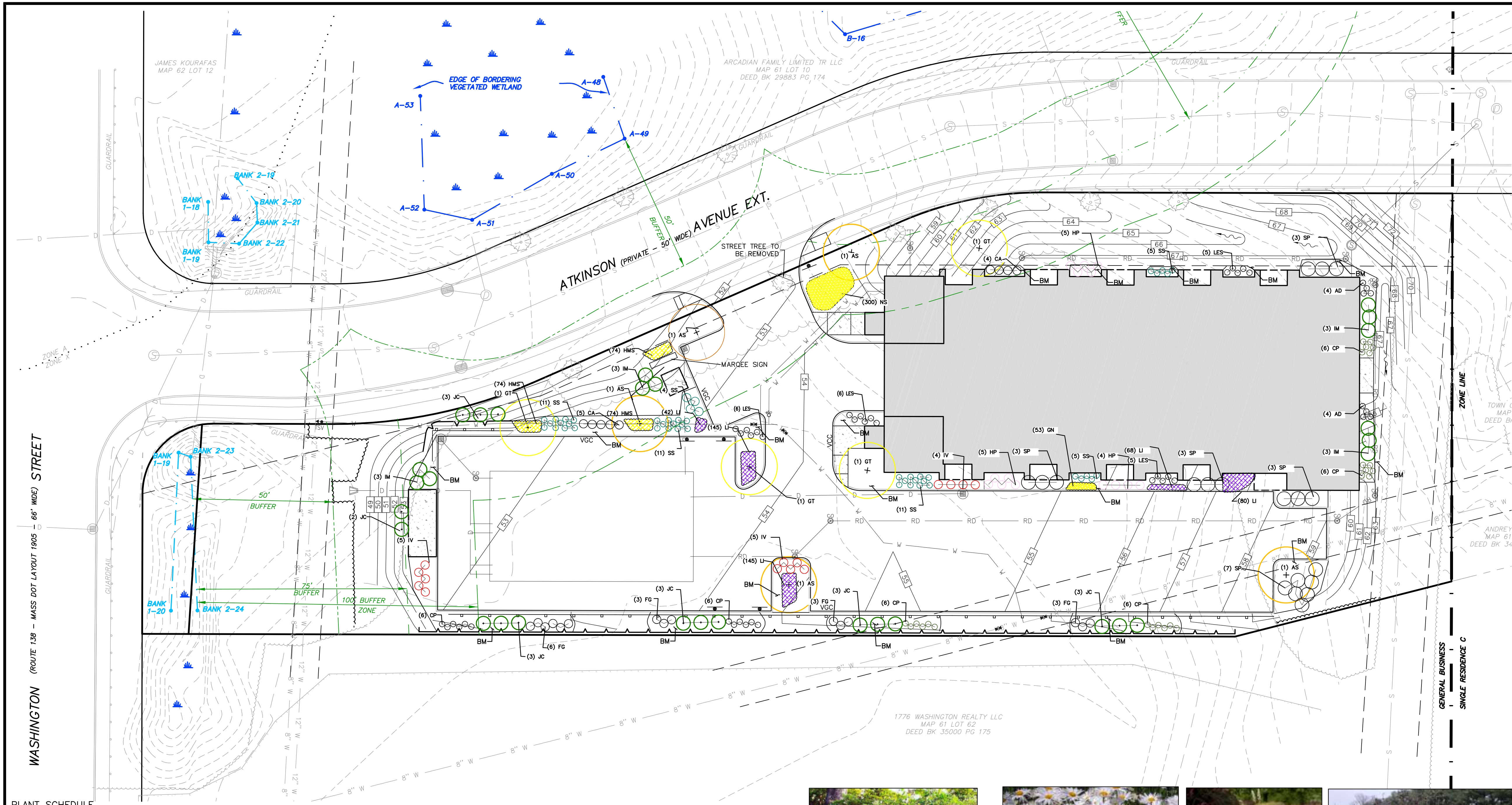
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SITE PLAN REVIEW
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0 ATKINSON AVE EXTENSION
STOUGHTON, MASSACHUSETTS 02072
MAP 61, LOTS 80 AND 61

**PROPOSED
EROSION CONTROL
PLAN**

C-5



PLANT SCHEDULE

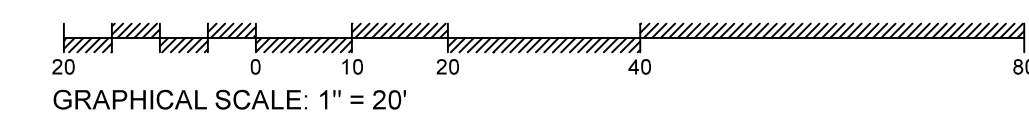
SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES					
AS	5	ACER SACCHARUM 'FALL FIESTA'	SUGAR MAPLE 'FALL FIESTA'	2.5-3" CAL.	FALL HAZARD
GT	4	GLEDITSIA TRICANTHOS 'INERMIS'	THORNLESS HONEYLOCUST	2.5-3" CAL.	
JC	17	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	6" HT	
SHRUBS					
CA	9	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET	36" HT.	48" O.C.
CP	36	COMPTONIA PEREGRINA	SWEET FERN	1 GAL.	24" O.C.
FG	15	FOTHERGILLA GARDENII 'BLUE MIST'	DWARF FOTHERGILLA	3 GAL.	36" O.C.
HP	01	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	3 GAL.	36" O.C.
IM	9	ILEX X MESERVEAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	4' HT.	48" O.C.
IV	10	ILEX VERTICILLATA 'BERRY POPPINS'	WINTERBERRY	3 GAL.	36" O.C.
SP	19	SYRINGA PUBESCENS SUBSP. PATULA 'MISS KIM'	MANCHURIAN LILAC	30" HT.	60" O.C.
PERENNIALS					
AD	8	ASTILBE 'DEUTSCHLAND'	WHITE ASTILBE	1 GAL.	24" O.C.
HMS	222	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL.	24" O.C.
LES	22	LEUCANTHEMUM X SUPERBUM	SHASTA DAISY	1 GAL.	24" O.C.
SS	47	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	1 GAL.	24" O.C.
PLUGS					
LI	480	LIRIOPE	LILYTURF	2" PLUG	8" O.C.
BULBS					
GN	53	GALANTHUS NIVALIS	SNOWDROP	BULB	9" O.C.
NS	30	NARCISSUS 'KING ALFRED'	KING ALFRED DAFFODIL	BULB	9" O.C.
OTHER					
BM			BLACK BARK MULCH	2 CF BAGS AS NEEDED	

PLANTING NOTES:

1. PLANT SOIL SHALL BE ⅓ SPHAGNUM PEAT MOSS AND ⅔ FERTILE FIELD LOAM BY VOLUME.
2. MULCH SHALL BE HORTICULTURAL QUALITY PINE BARK.
3. TREE PLANTINGS SHALL BE COMMON VARIETIES CAPABLE OF REACHING A HEIGHT OF 30' AT MATURITY.
4. SHRUB PLANTINGS SHALL BE COMMON VARIETIES CAPABLE OF REACHING A HEIGHT OF 6' AT MATURITY.
5. UPPER STORY PLANTINGS: 2 1/2" CALIPER.
6. LOWER STORY PLANTINGS: SHRUBS 30"-46".
7. PLANTS SHALL CONFORM TO MOST RECENT STANDARDS OF THE AMERICAN NURSERYMEN ASSOCIATION.
8. PROVIDE 6" TOPSOIL, FINE GRADE, AND SEED ALL AREAS NOT OTHERWISE NOTED.
9. ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF 3" OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
10. ALL PLANTING BED MASSINGS ARE REQUIRED TO HAVE PVC EDGING AND A MINIMUM OF 4" DEEP MULCH COVER OVER FIBERMAT WALK BARRIER.

IRRIGATION NOTES:

1. IRRIGATION DESIGN BY OTHERS.
2. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
3. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTINGS I.E. VERIFY ROOT BALL SIZE FOR PLANTINGS.
4. RAINBIRD CONTROL VALVES, COUPLINGS, SPRINKLER HEADS SERIES 1812 AND 1804 SHALL BE USED, OR TORO SUPER 700 LAWN ROTOR WHERE REQUIRED, OR APPROVED EQUALS.
5. MAINLINE AND LATERAL LINE PIPE SHALL BE CLASS 200 PVC. IRRIGATION SLEEVE SHALL BE SCHEDULE 40 PVC.
6. INCLUDE BACKFLOW PREVENTER ASSEMBLY AND SPRINKLER CHECK VALVE DEVICES WHERE LOW HEAD DRAINAGE MAY OCCUR.



LILYTURF



SNOWDROP



SHASTA DAISY



LITTLE BLUE STEM



KING ALFRED DAFFODIL



WHITE ASTILBE



STELLA DE ORO DAYLILY



WINTERBERRY



MANCHURIAN LILAC



DWARF FOTHERGILLA



LIMELIGHT HYDRANGEA



BLUE PRINCE HOLLY



SUGAR MAPLE 'FALL FIESTA'



THORNLESS HONEYLOCUST



BLUE POINT JUNIPER



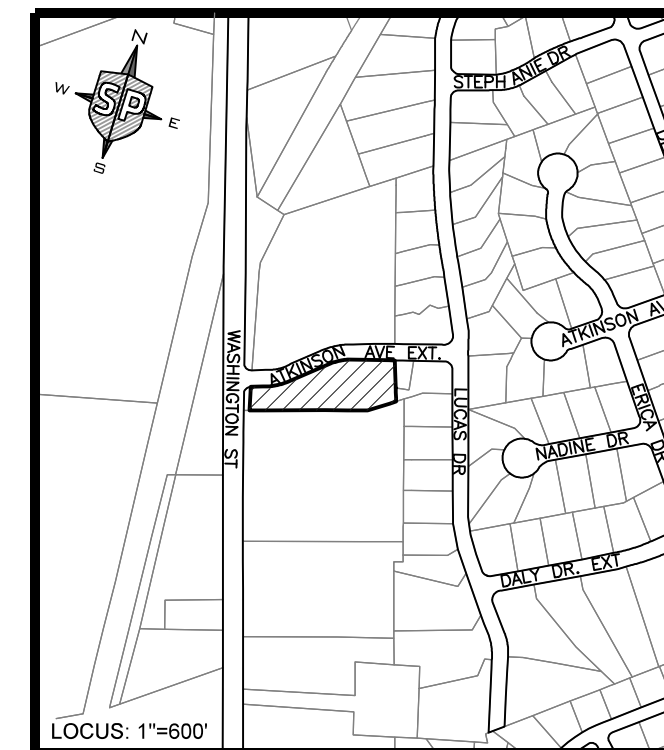
SUMMERSWEET



SWEET FERN



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



REV	DESCRIPTION	DATE
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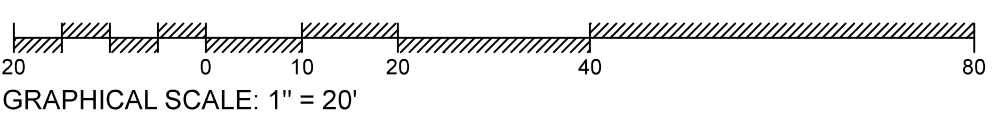
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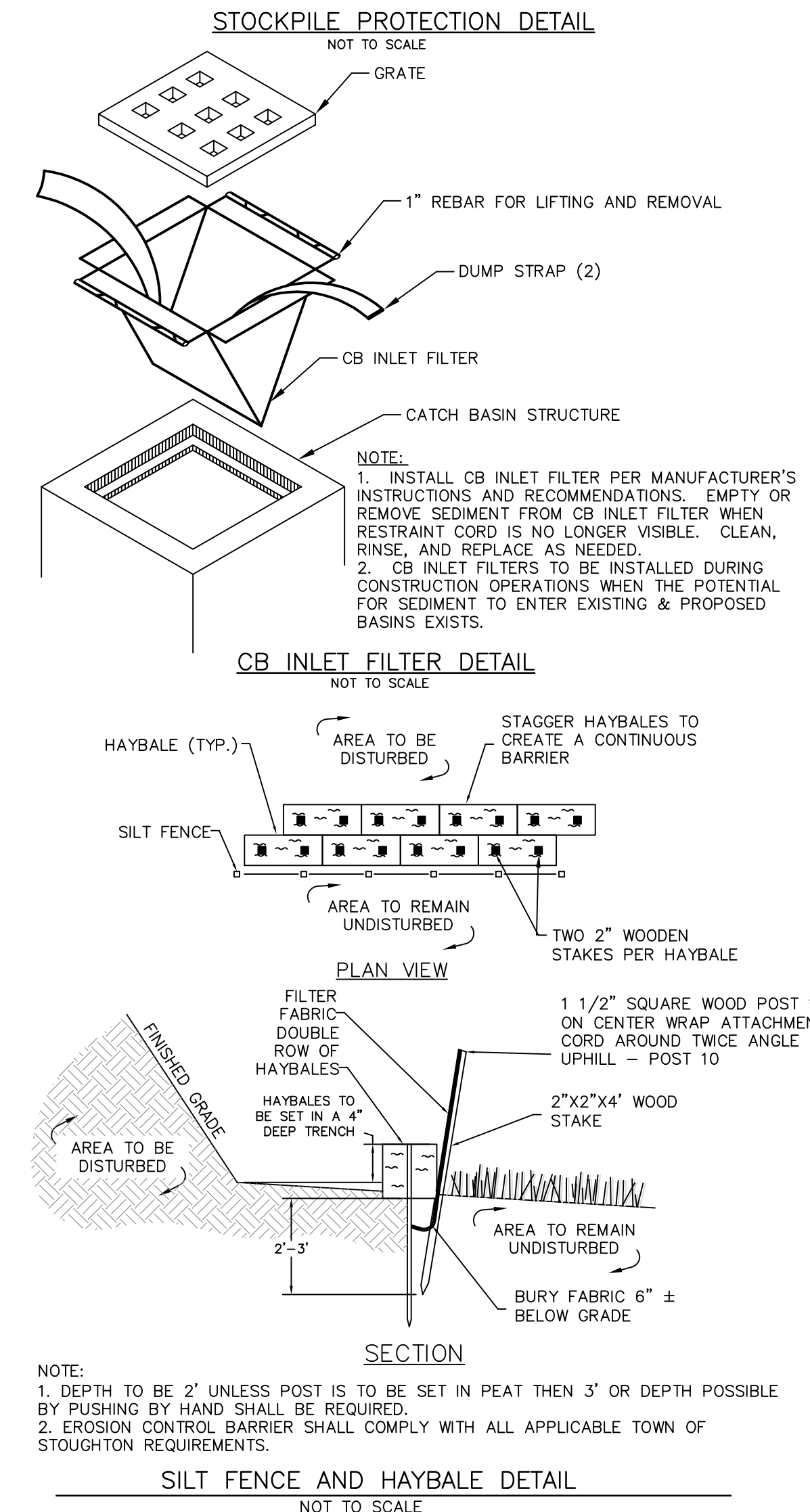
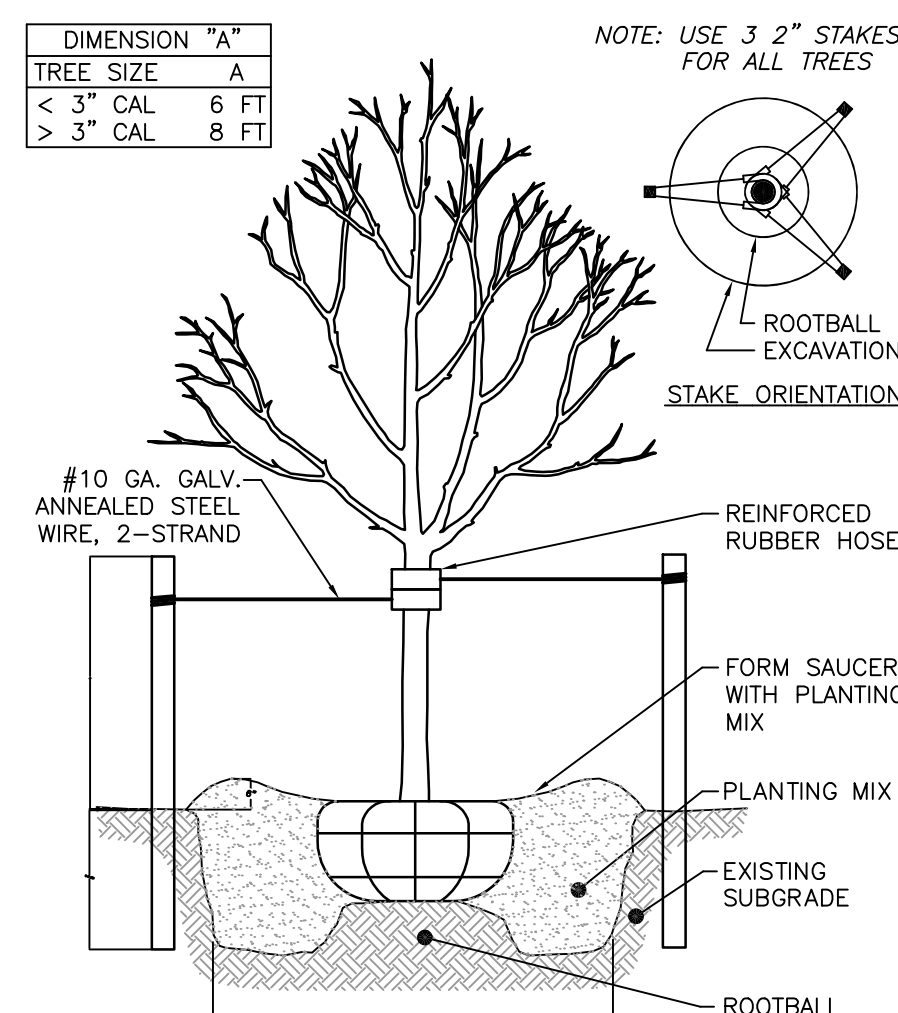
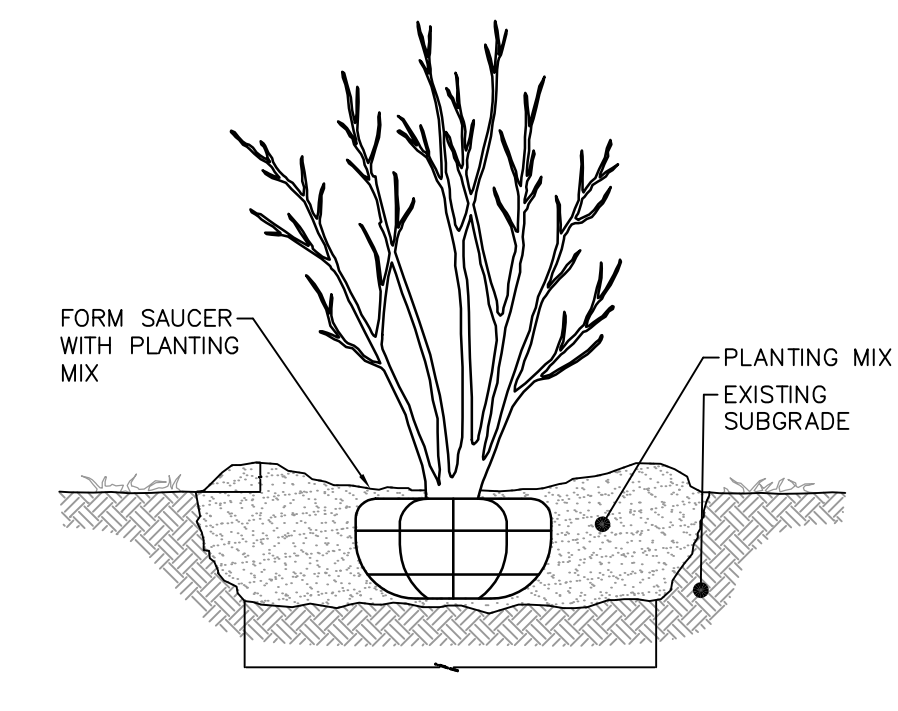
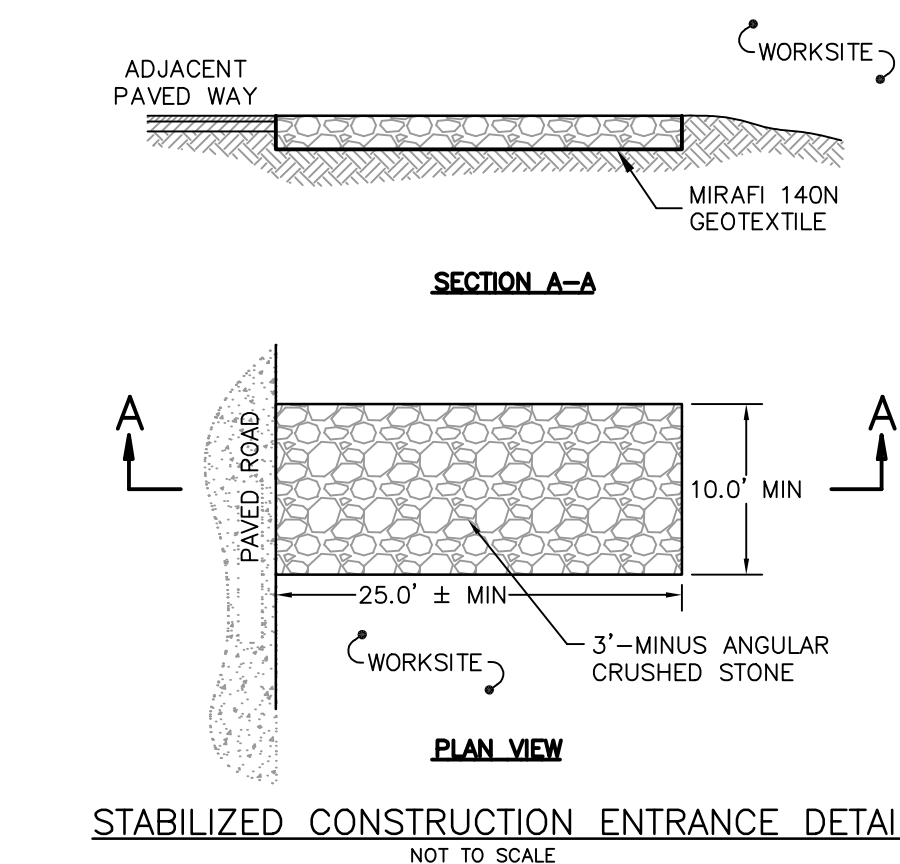
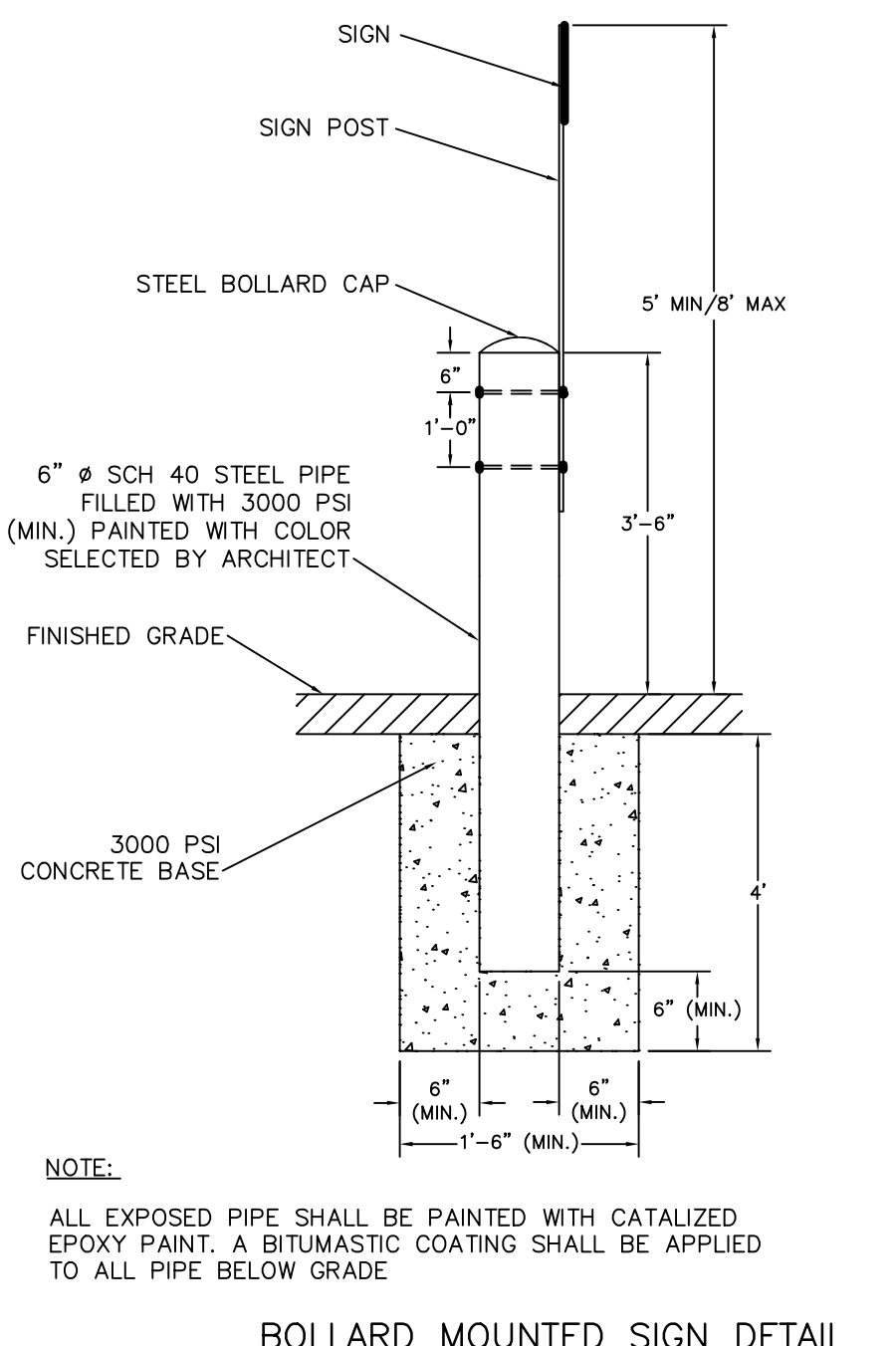
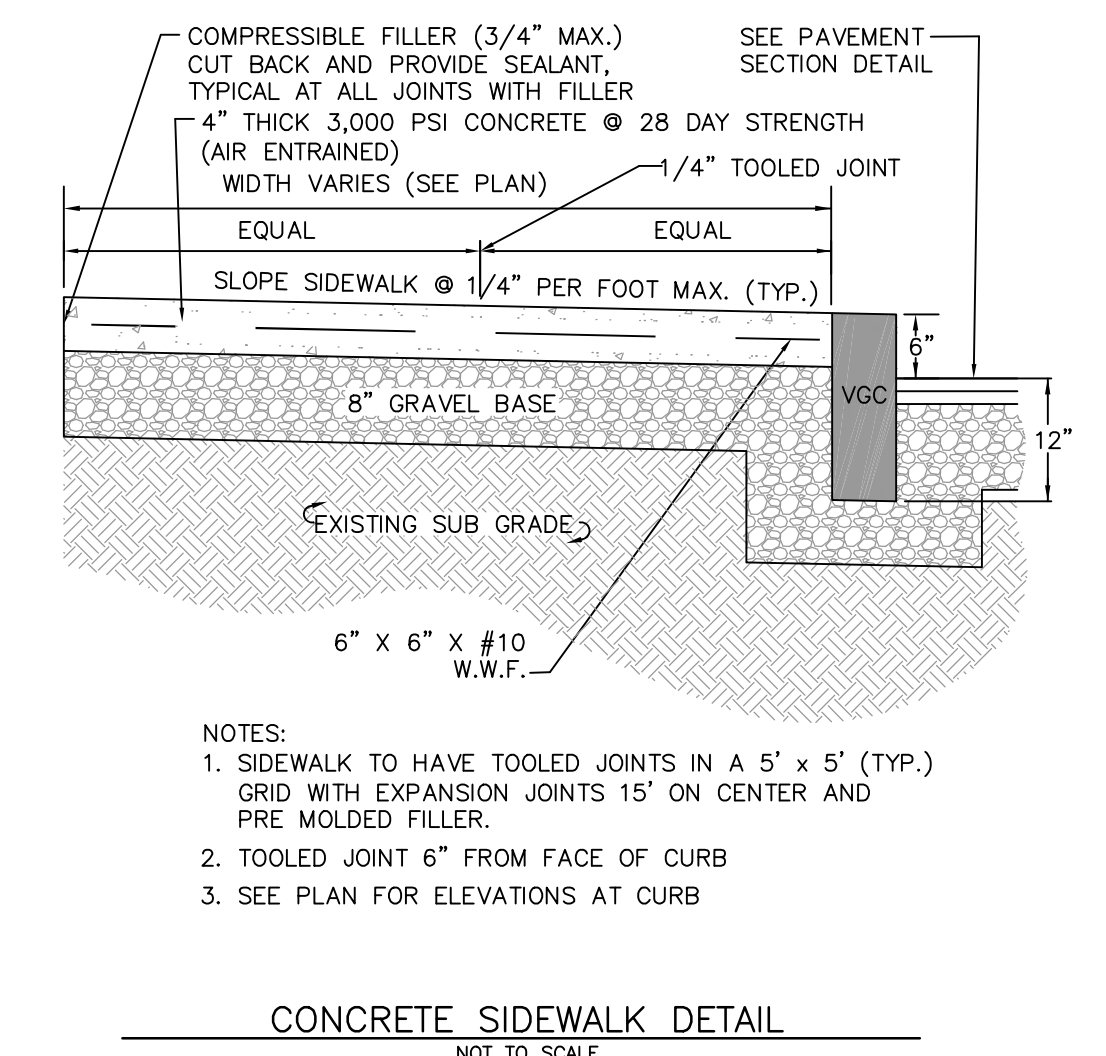
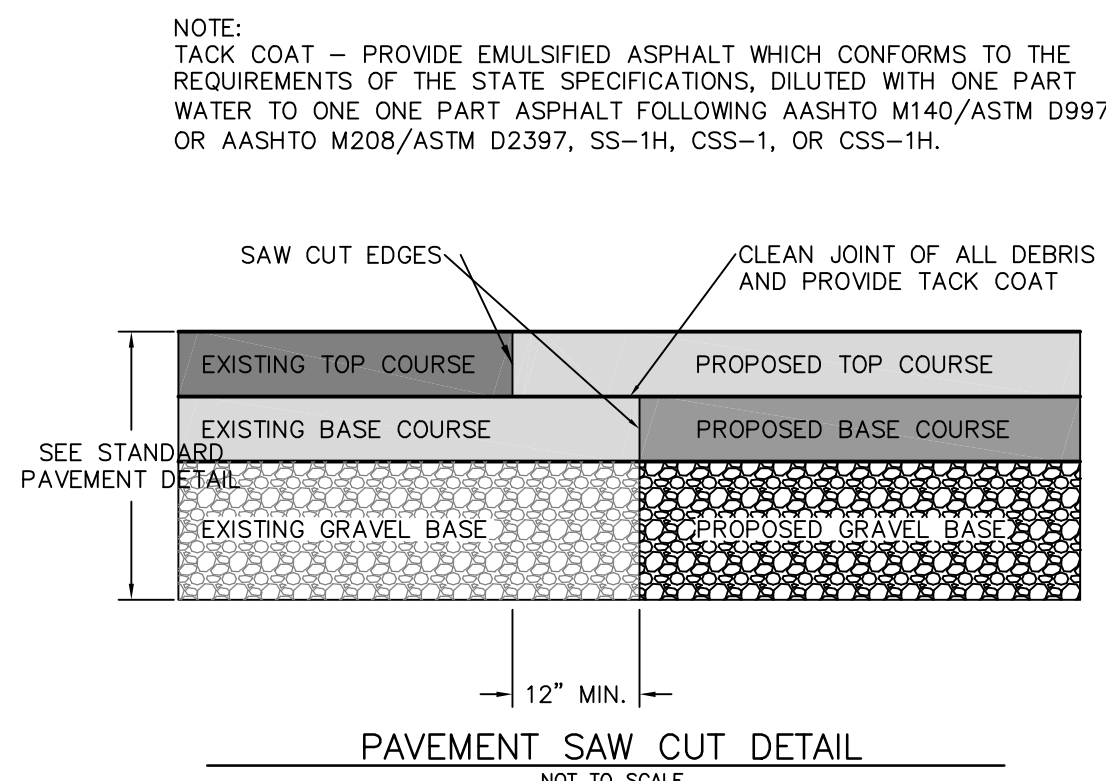
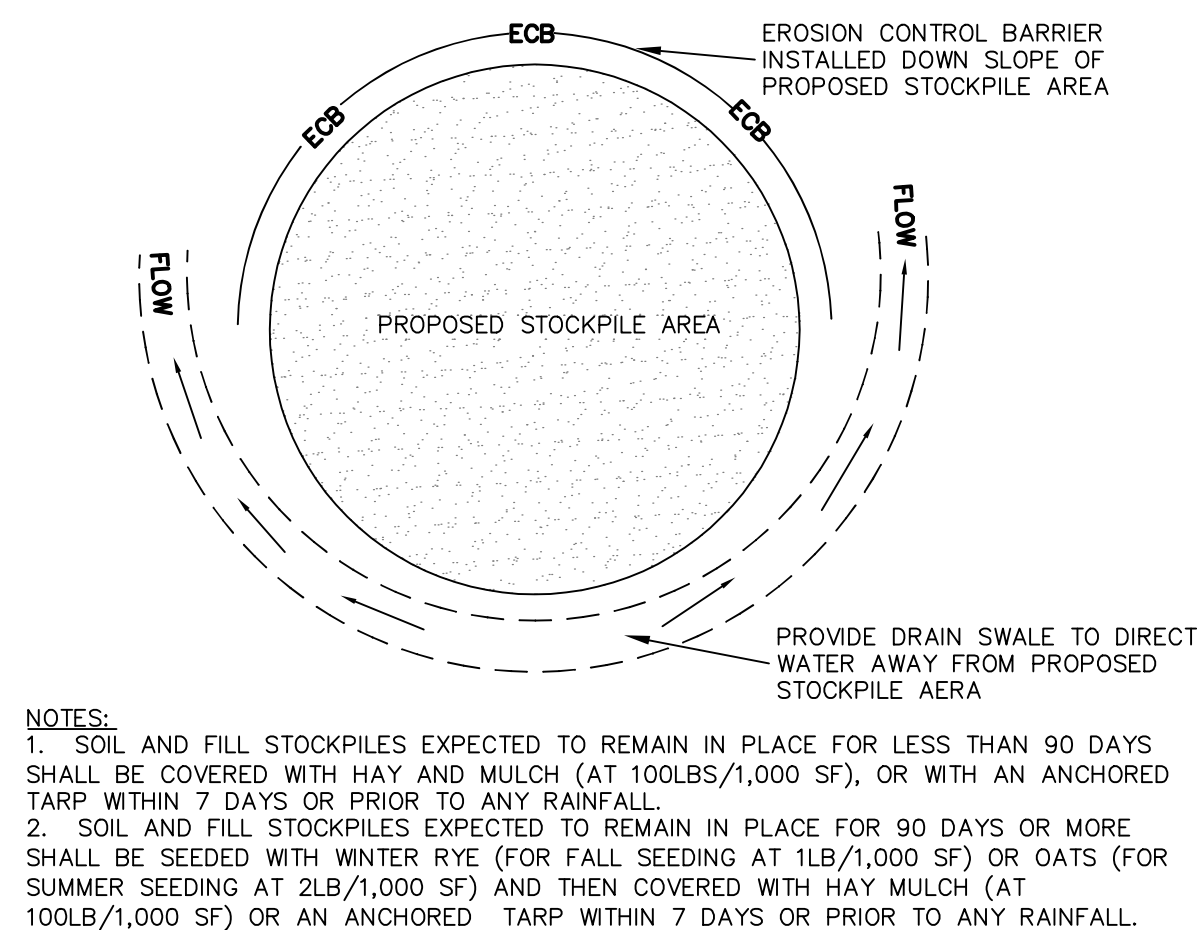
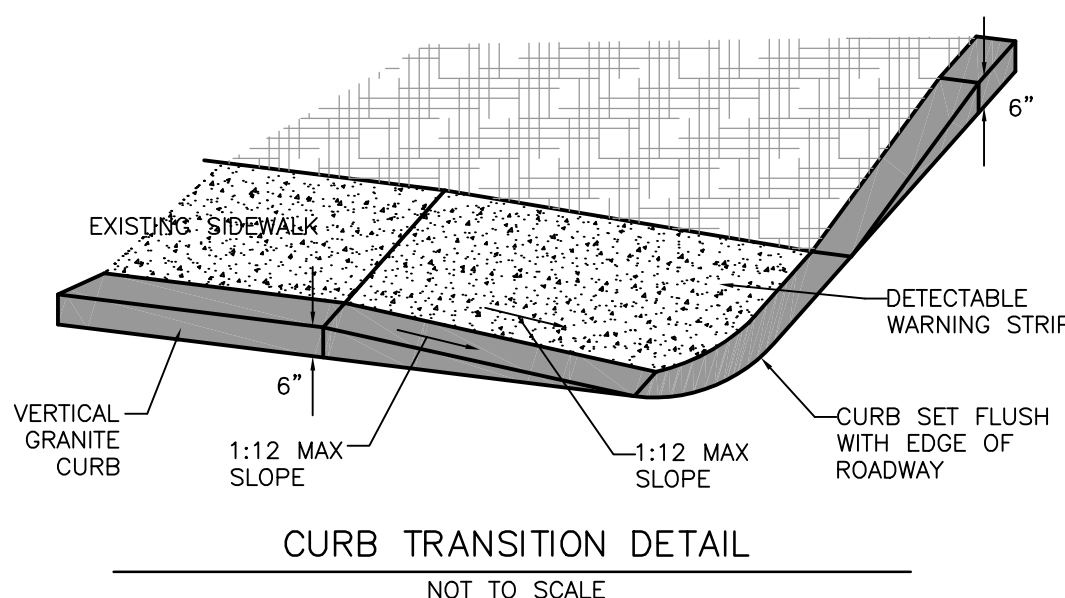
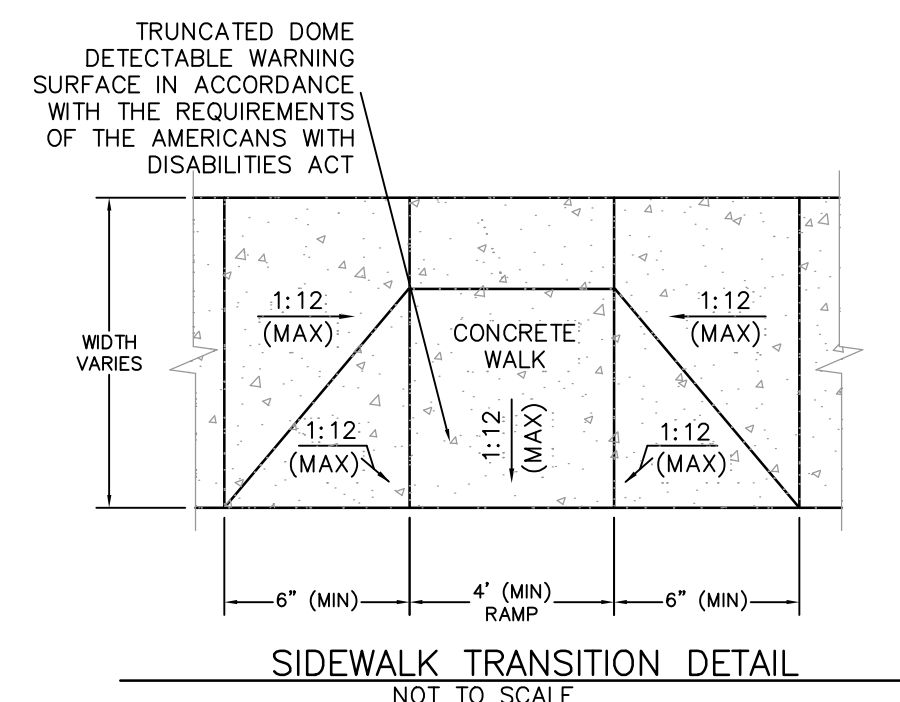
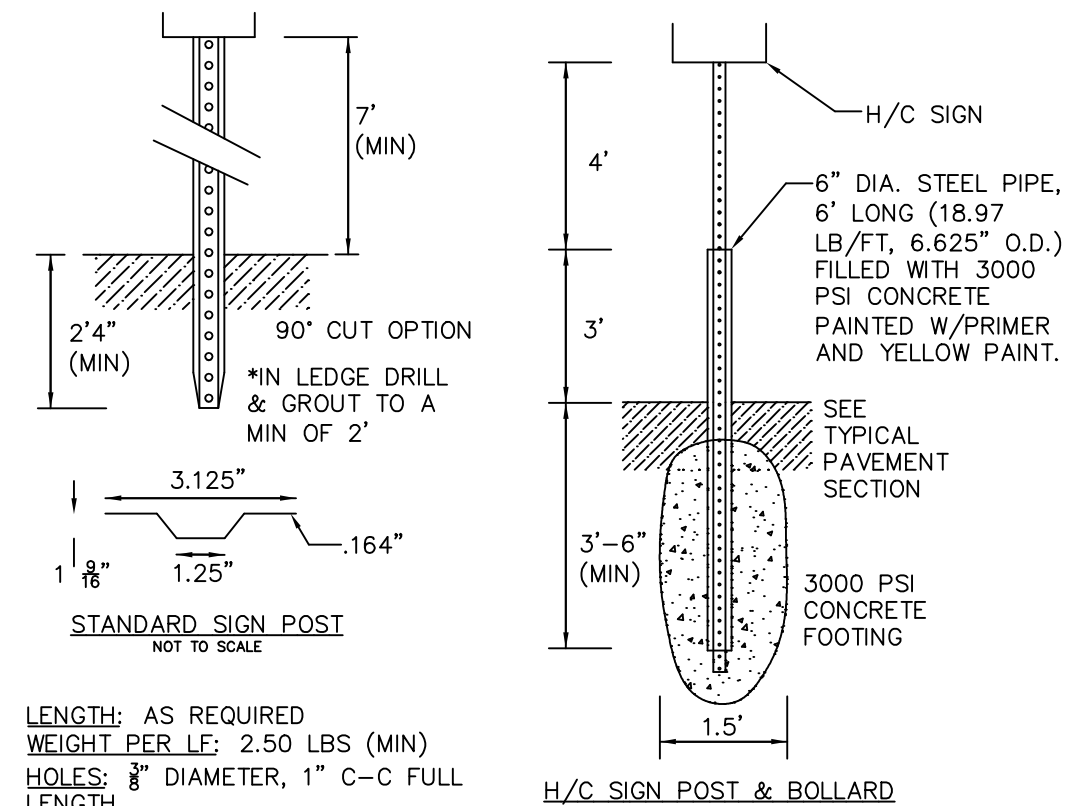
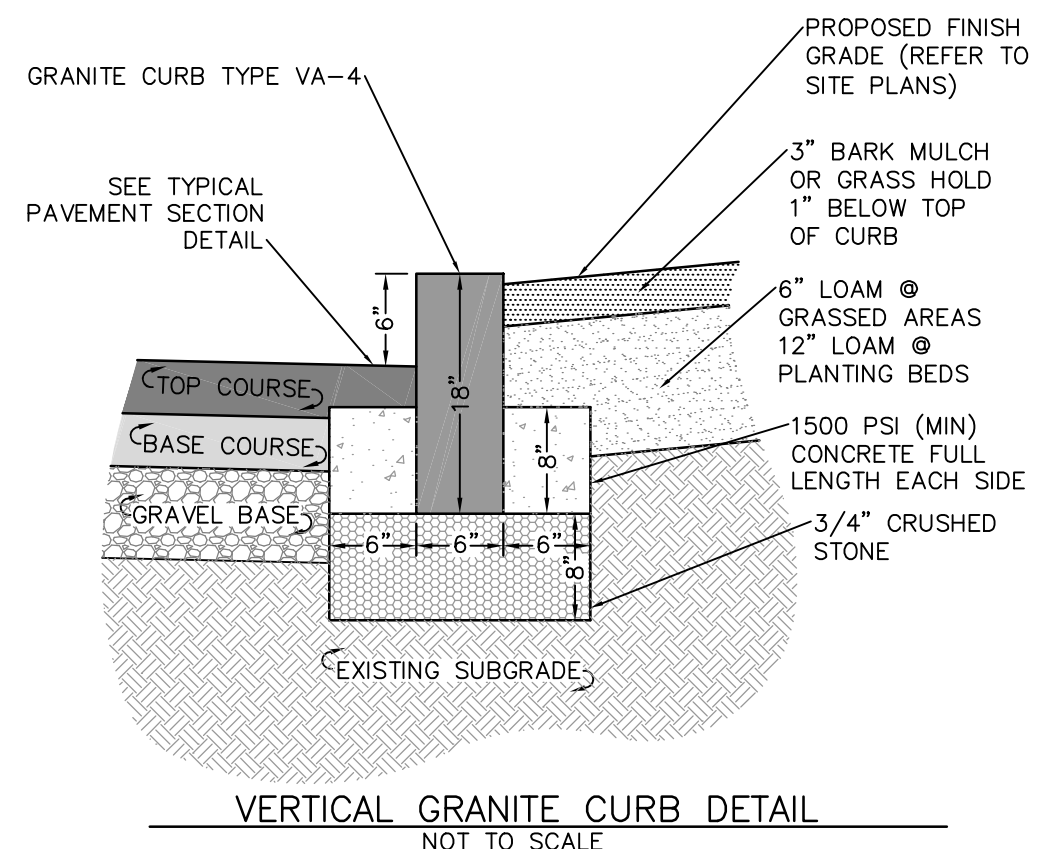
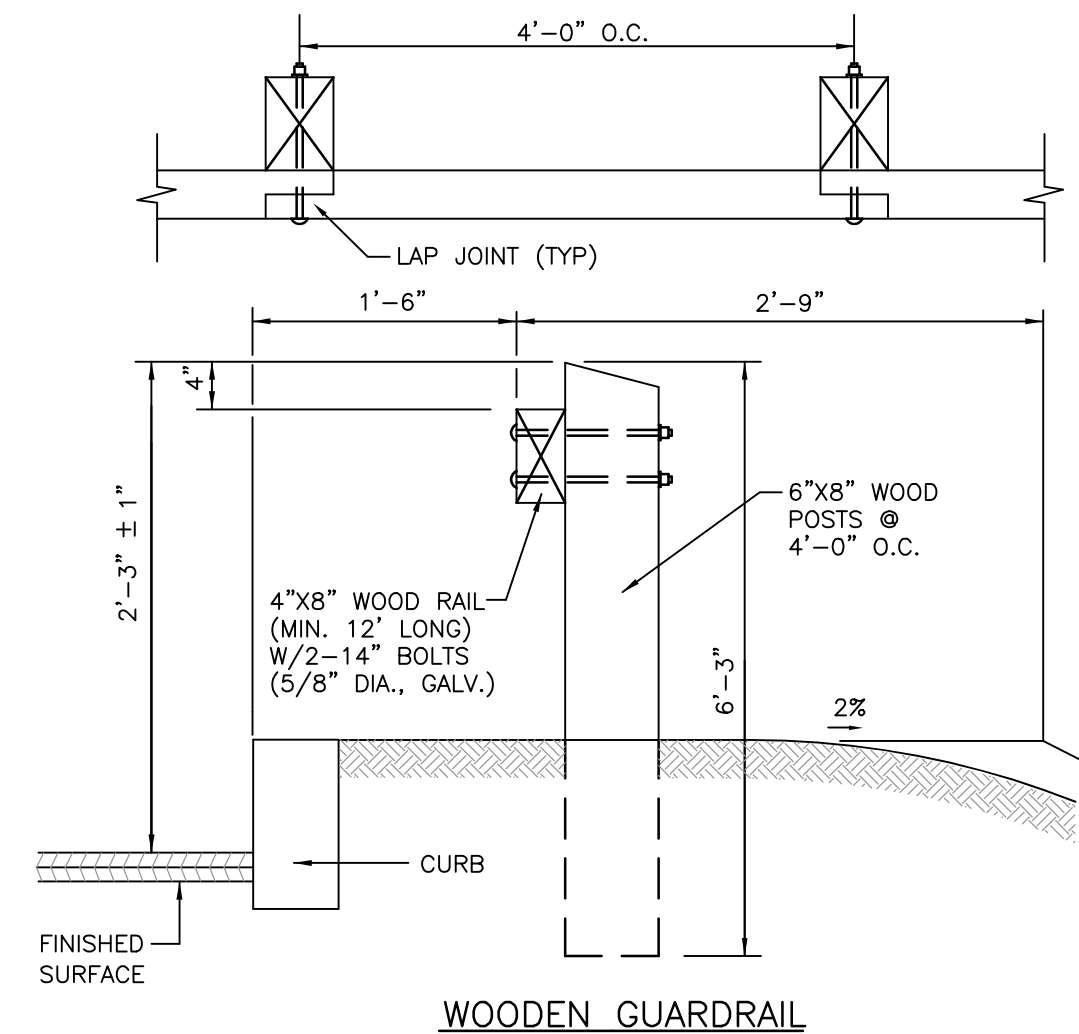
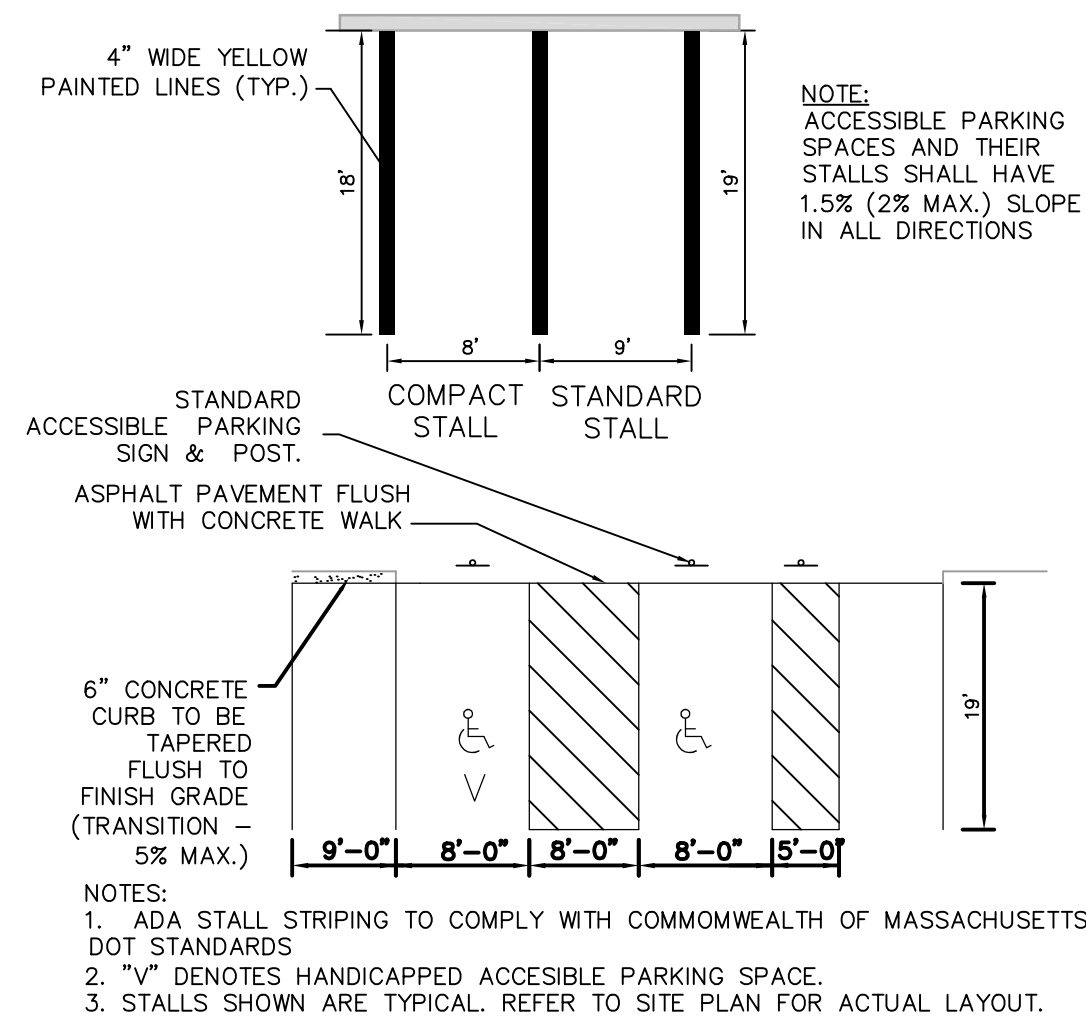
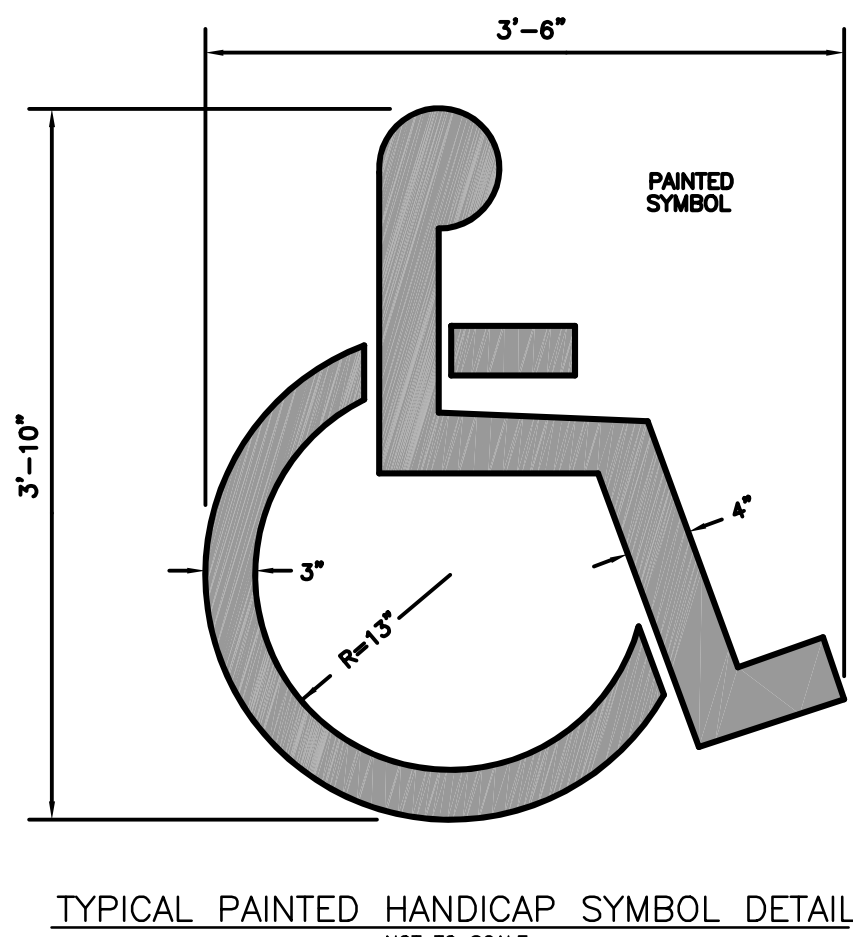
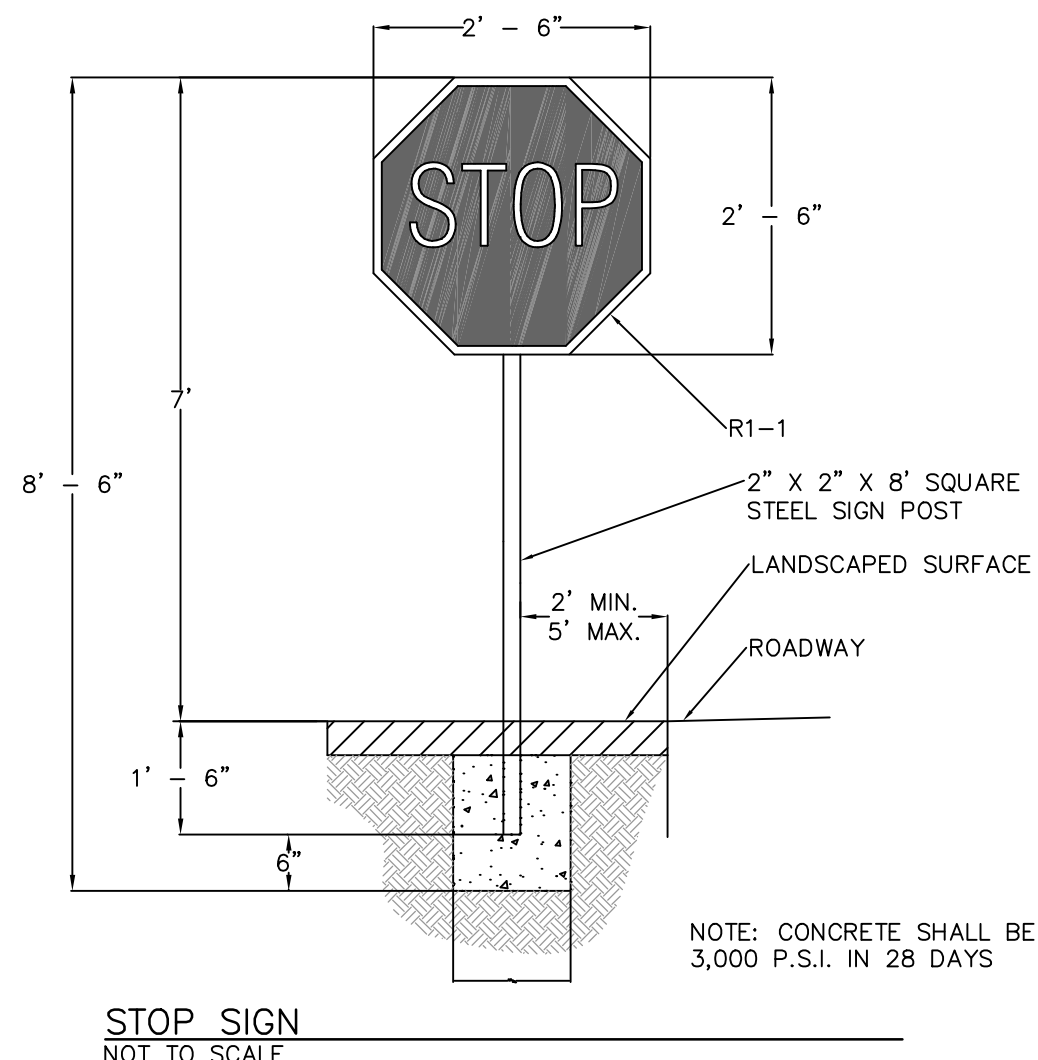
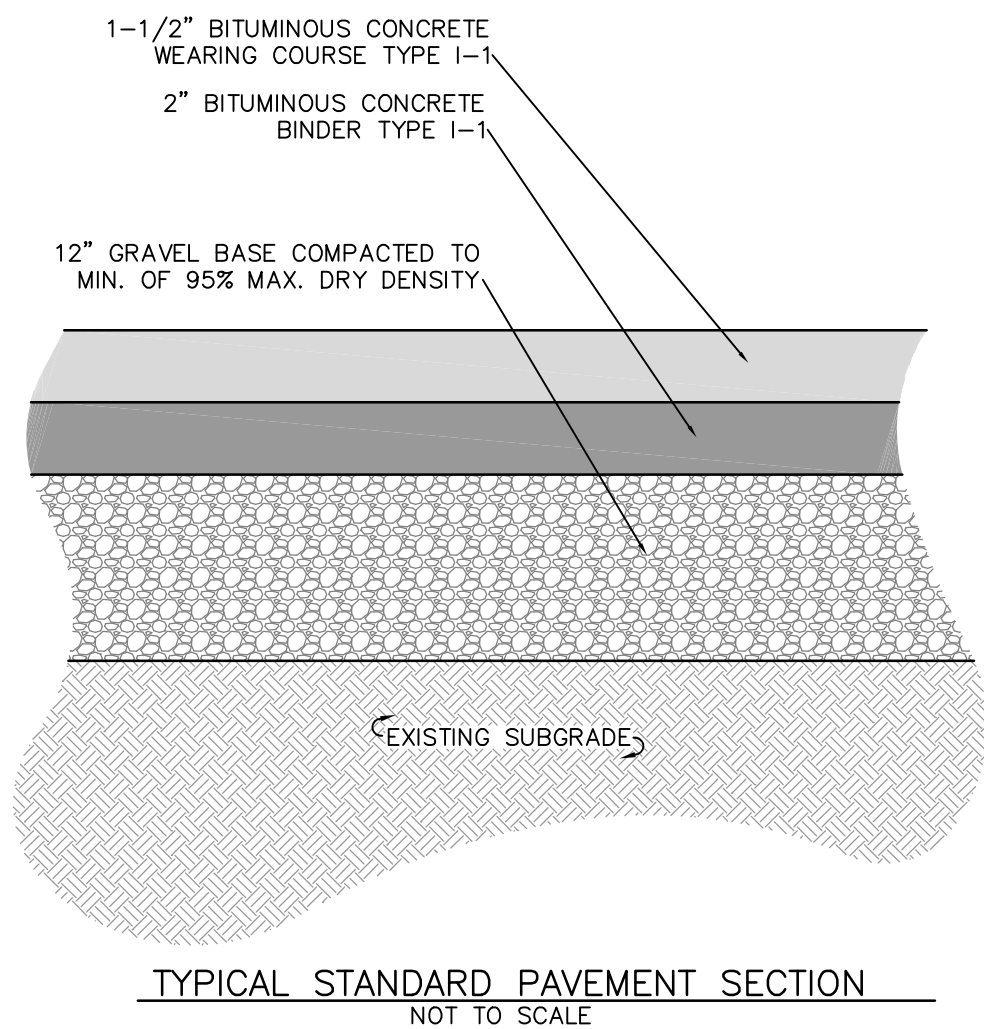
SITE PLAN REVIEW
FOR
0 ATKINSON AVE EXTENSION
STOUGHTON, MASSACHUSETTS 02072
MAP 61, LOTS 80 AND 61

PROPOSED LANDSCAPE PLAN

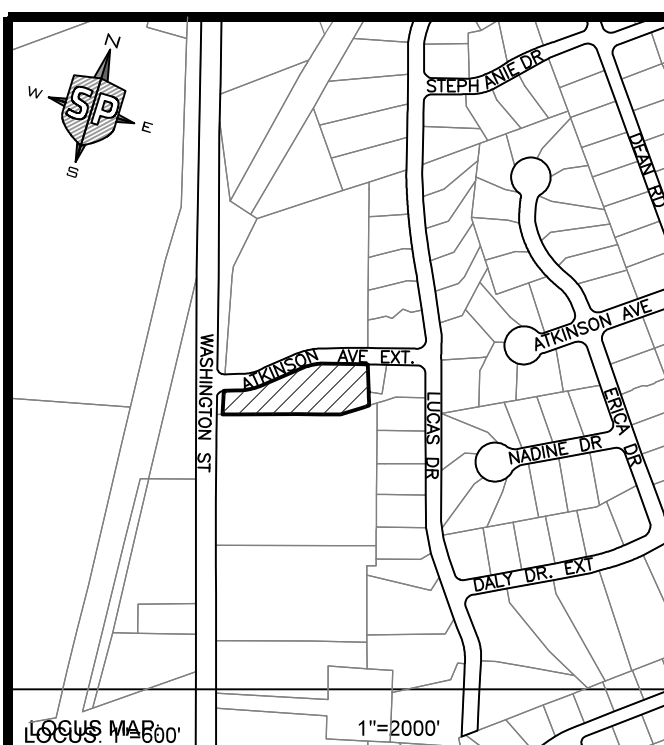
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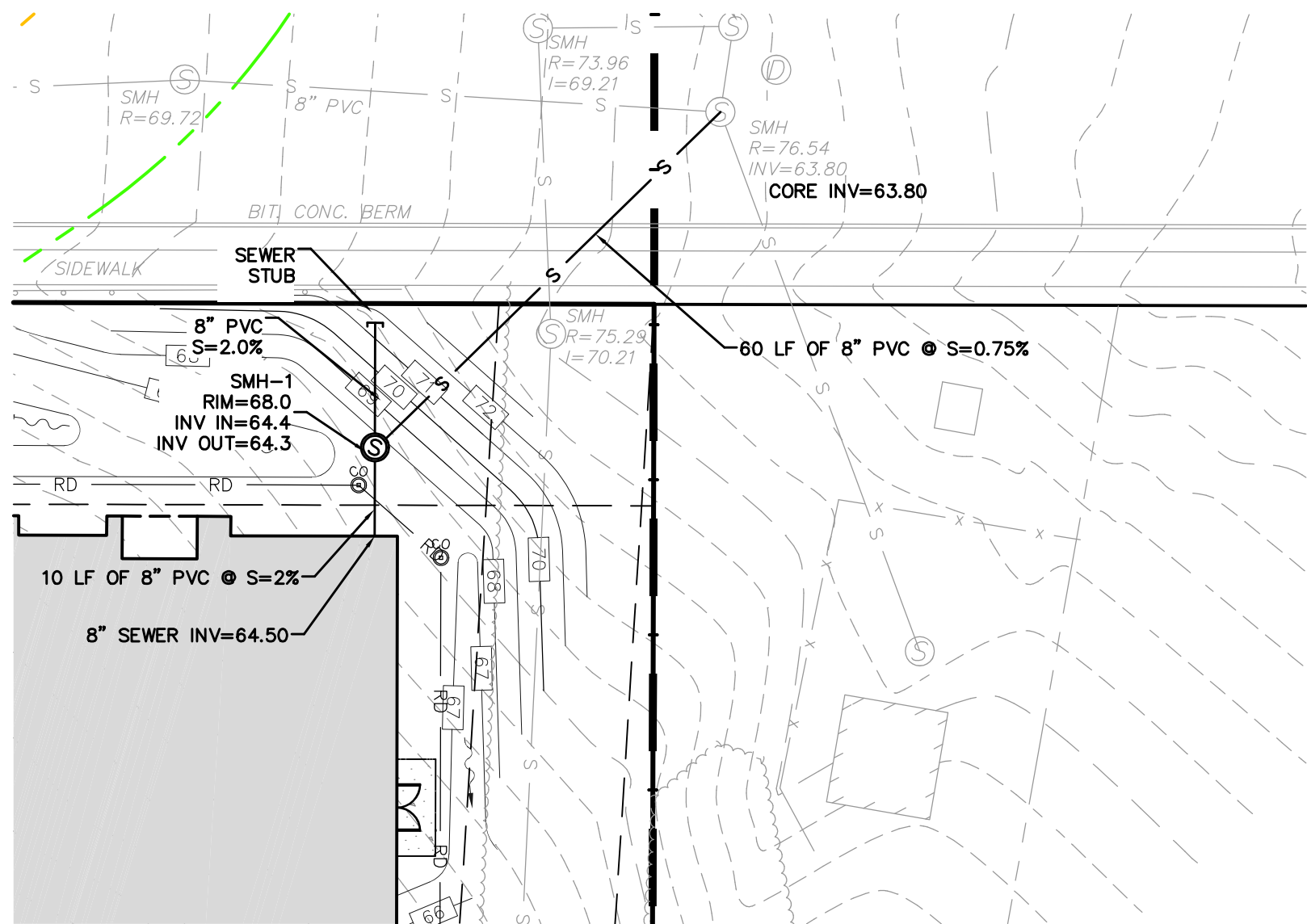
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1	REVIEW COMMENTS	5/10/23
REV	DESCRIPTION	DATE



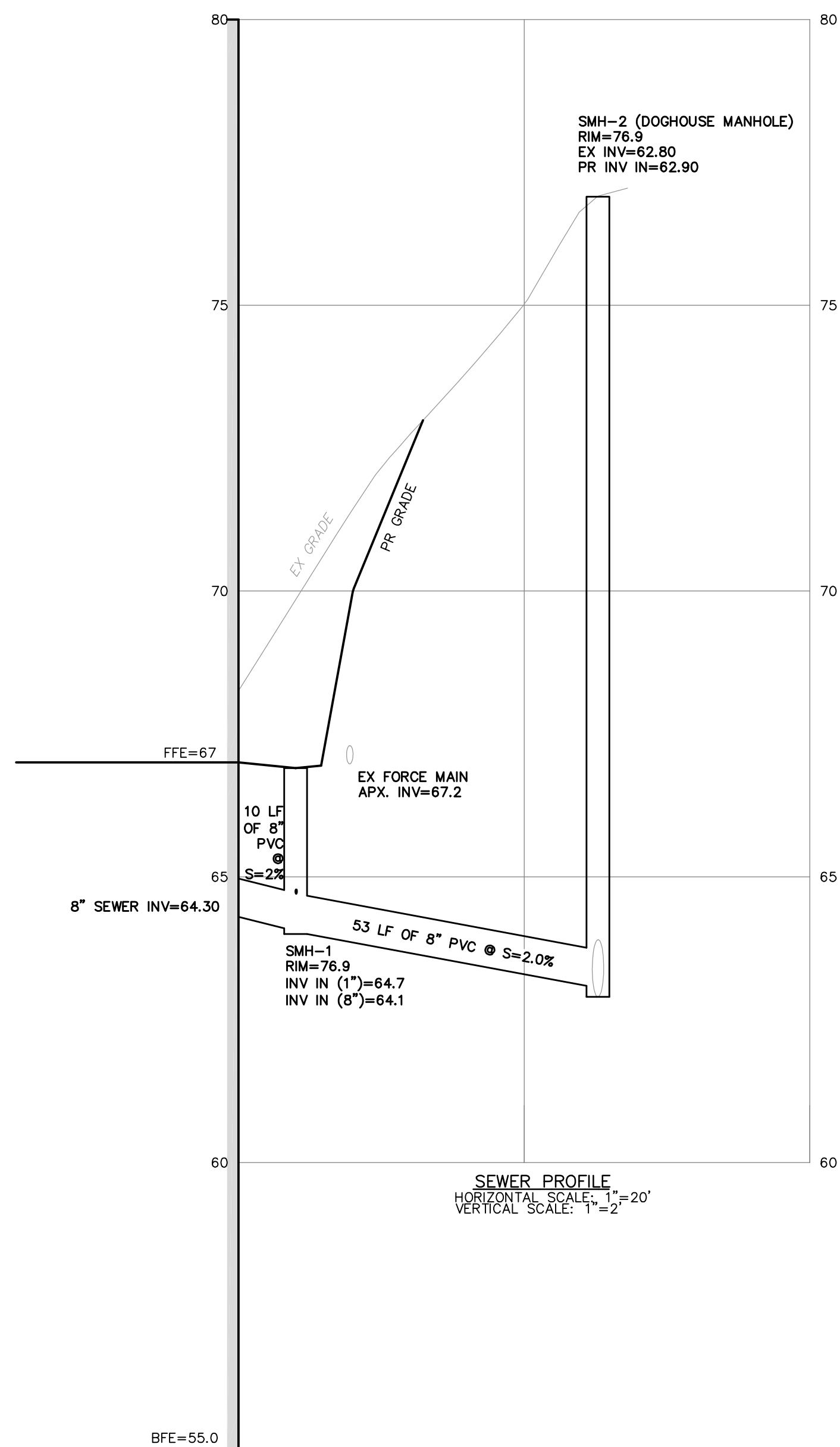
PROJECT NUMBER:	2212-002
DATE OF ISSUE:	MARCH 10, 2023
SCALE:	AS NOTED
DESIGNED BY:	SH
CHECKED BY:	ED

PREPARED ON BEHALF OF:
CORVO COMPANIES
4 PORTER ST
STOUGHTON, MASSACHUSETTS 02072

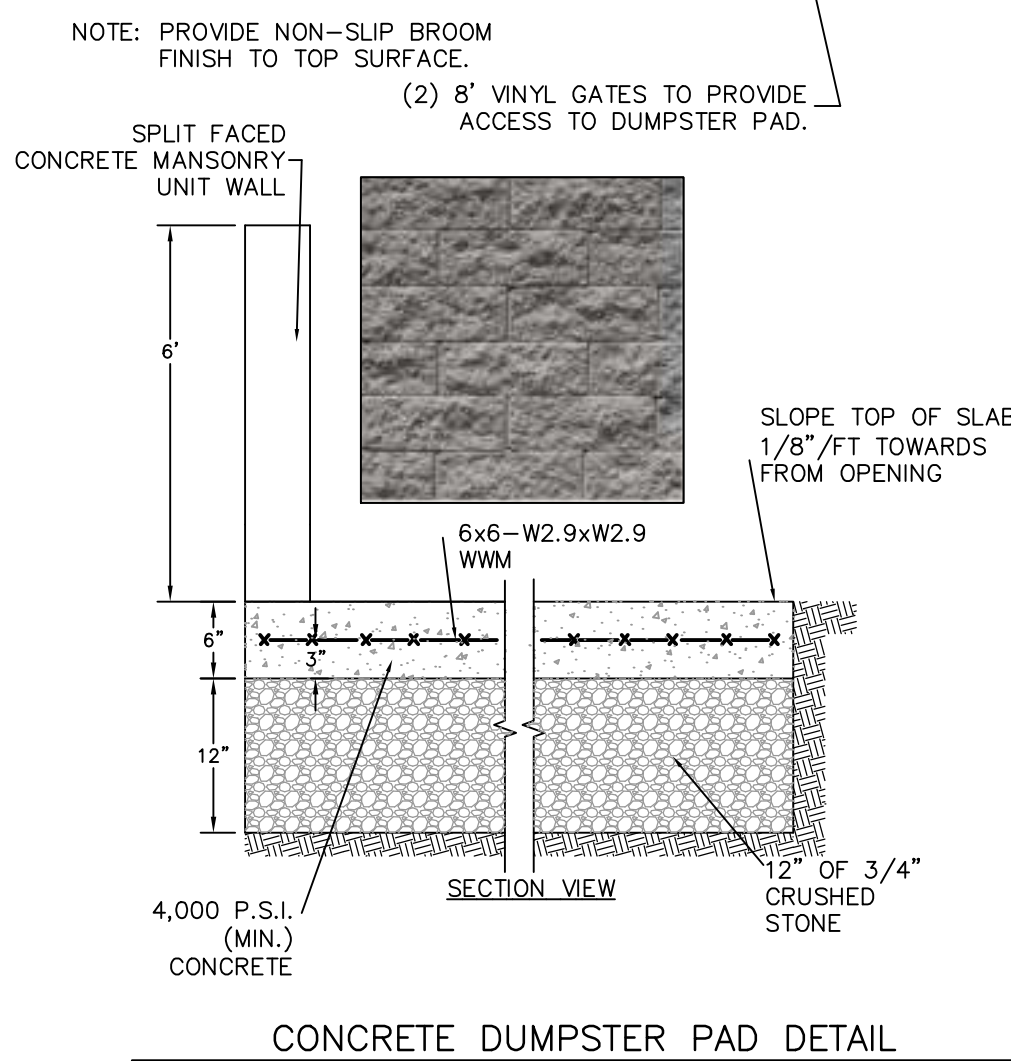
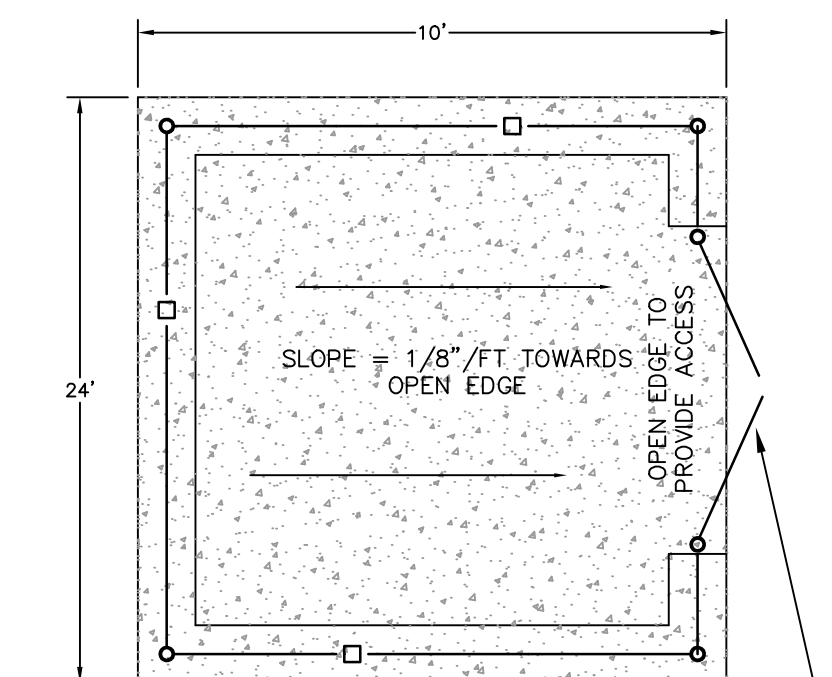
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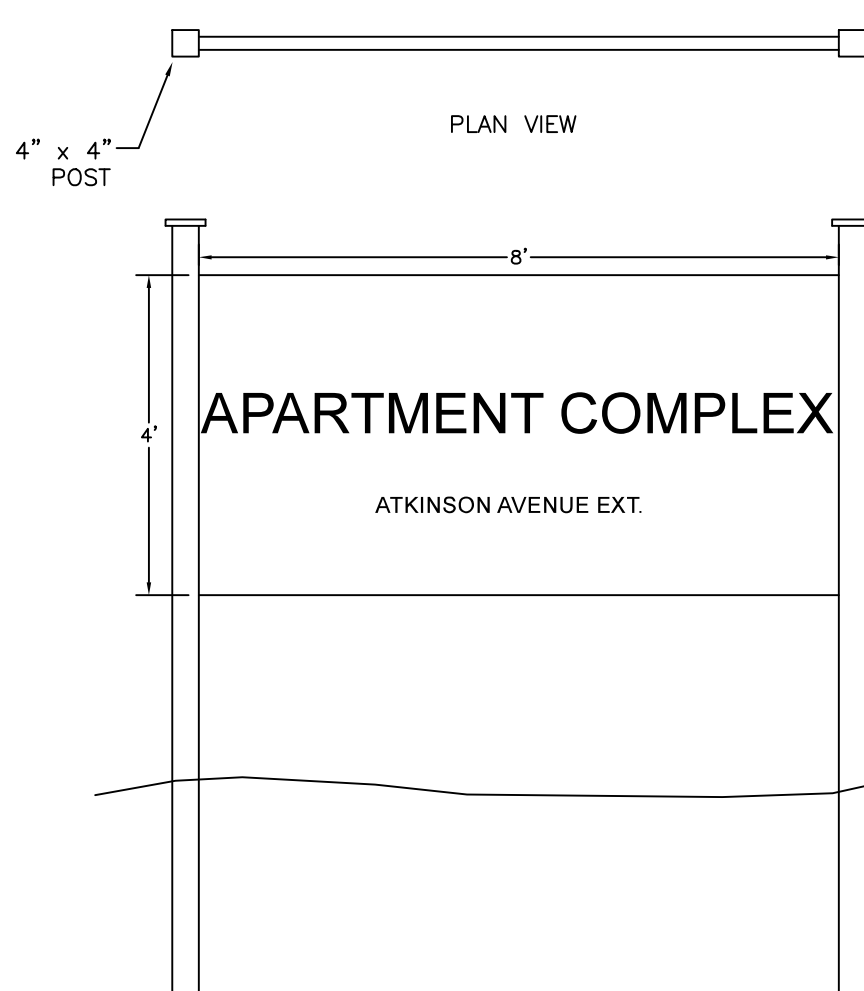
SEWER PLAN VIEW
HORIZONTAL SCALE: 1"=20'



SEWER PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



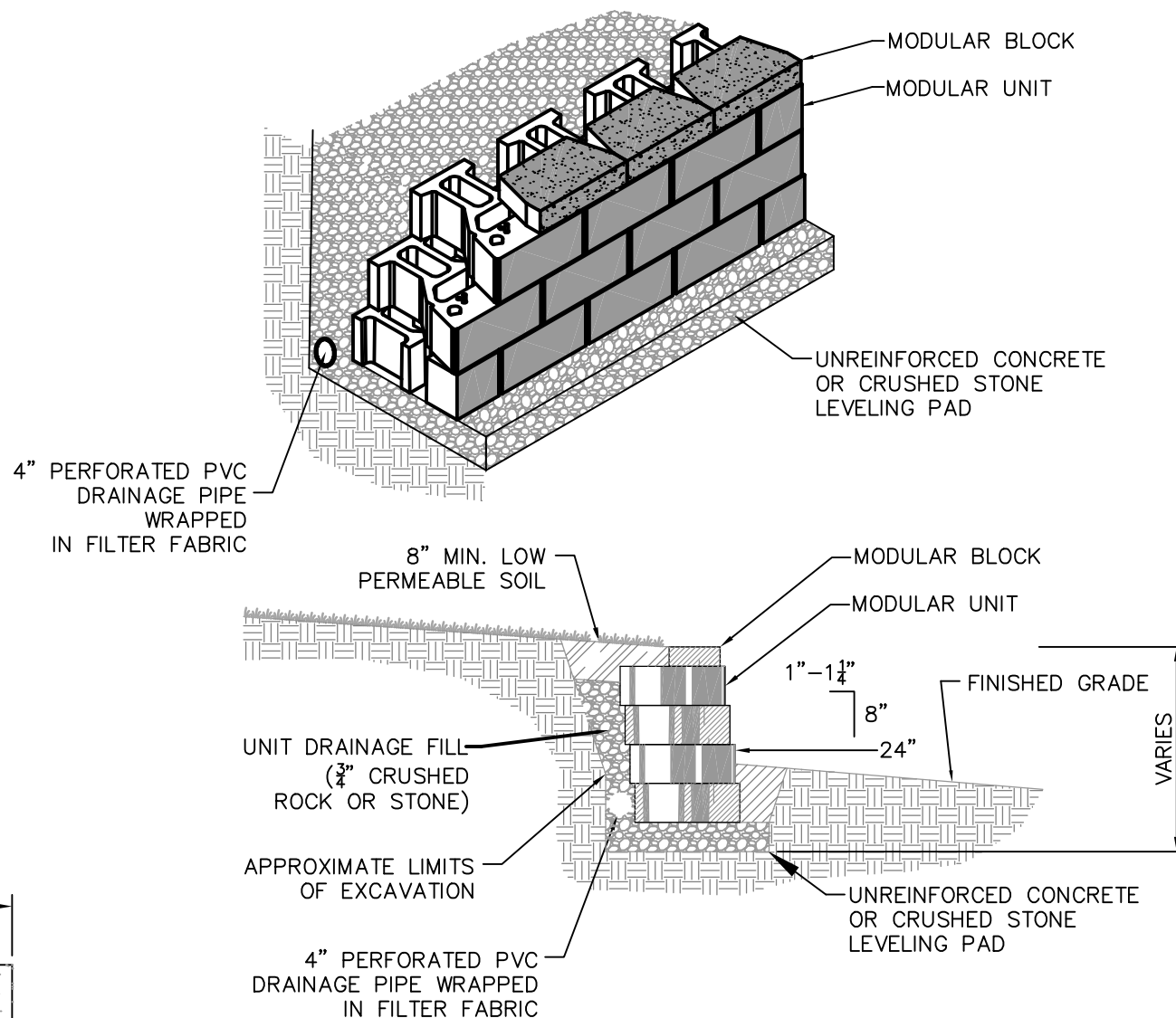
CONCRETE DUMPSTER PAD DETAIL



- NOTES:
1. SIGN TO LOCATED A MINIMUM OF 10' FROM LOT LINE.
 2. SIGN FACE TO BE NO GREATER THAN 40 SQUARE FEET.
 3. IF SIGN IS LIGHTED, IT SHALL BE BY AN INDIRECT WHITE LIGHTING.
 4. SIGN SHALL MEET ALL REQUIREMENTS OF THE ZONING BY-LAW.

MARQUEE SIGN

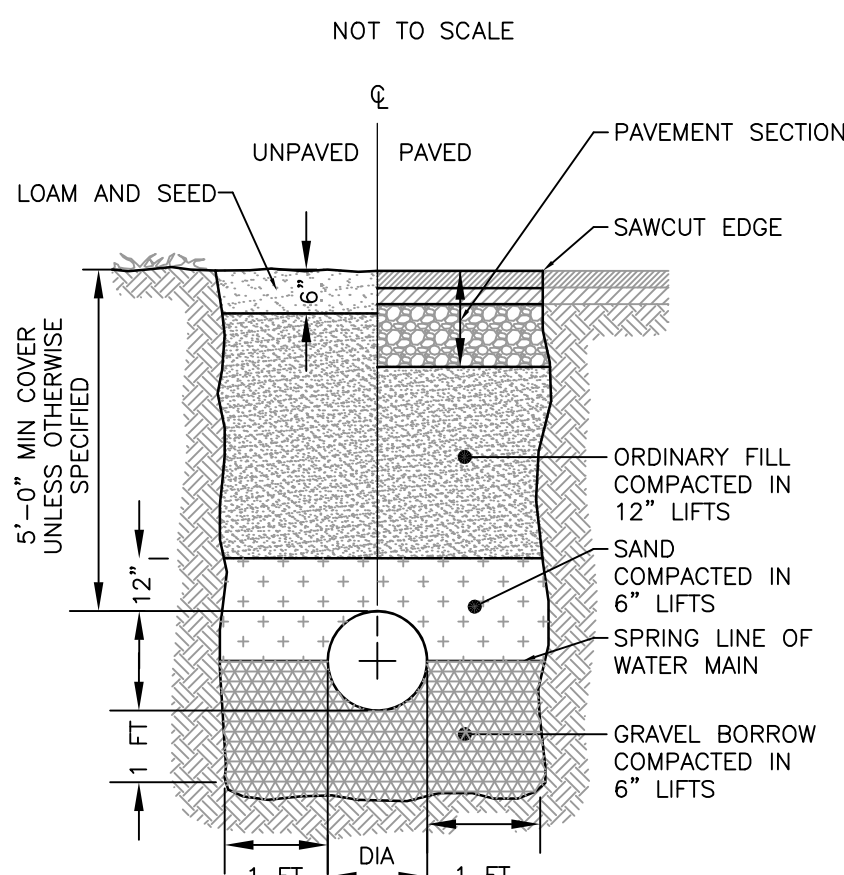
NOT TO SCALE



- NOTE: RETAINING WALLS REQUIRE A MINIMUM 1-FOOT OFFSET FROM PROPERTY LINES.
- BASE LEVELING PAD NOTES:
1. THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2000 PSI UNREINFORCED CONCRETE.
 2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.

MODULAR RETAINING WALL

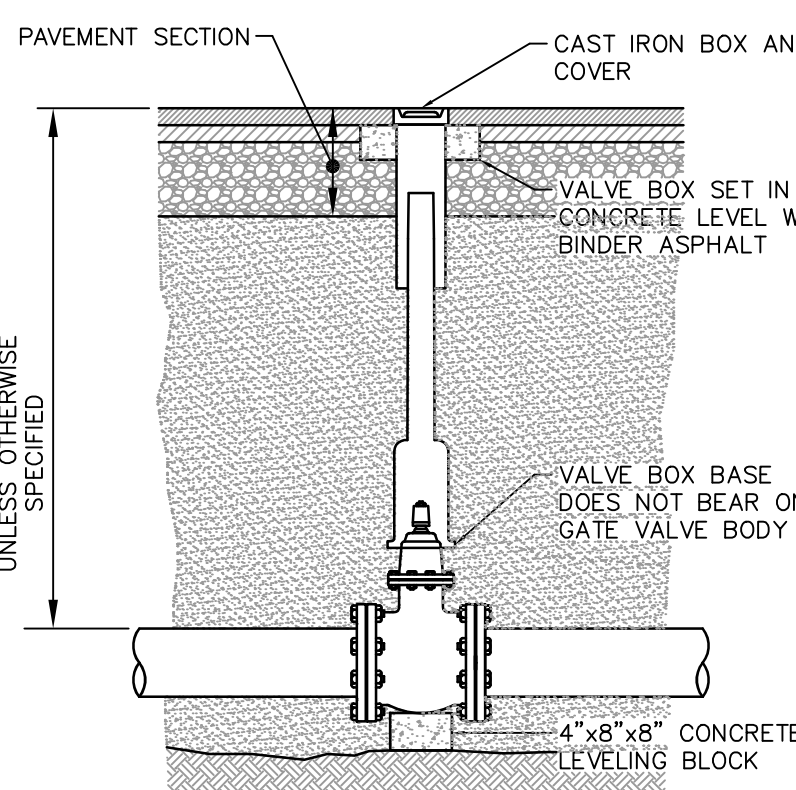
NOT TO SCALE



- NOTES:
1. GRAVEL BORROW SHALL BE 3-INCH MINUS, FREELY DRAINING, WELL-GRADED GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
 2. ORDINARY FILL SHALL 6-INCH MINUS GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
 3. ALL BACKFILL MATERIALS SHALL BE FREE OF STICKS, ROOTS, CLAY, AND SILT.

WATER TRENCH

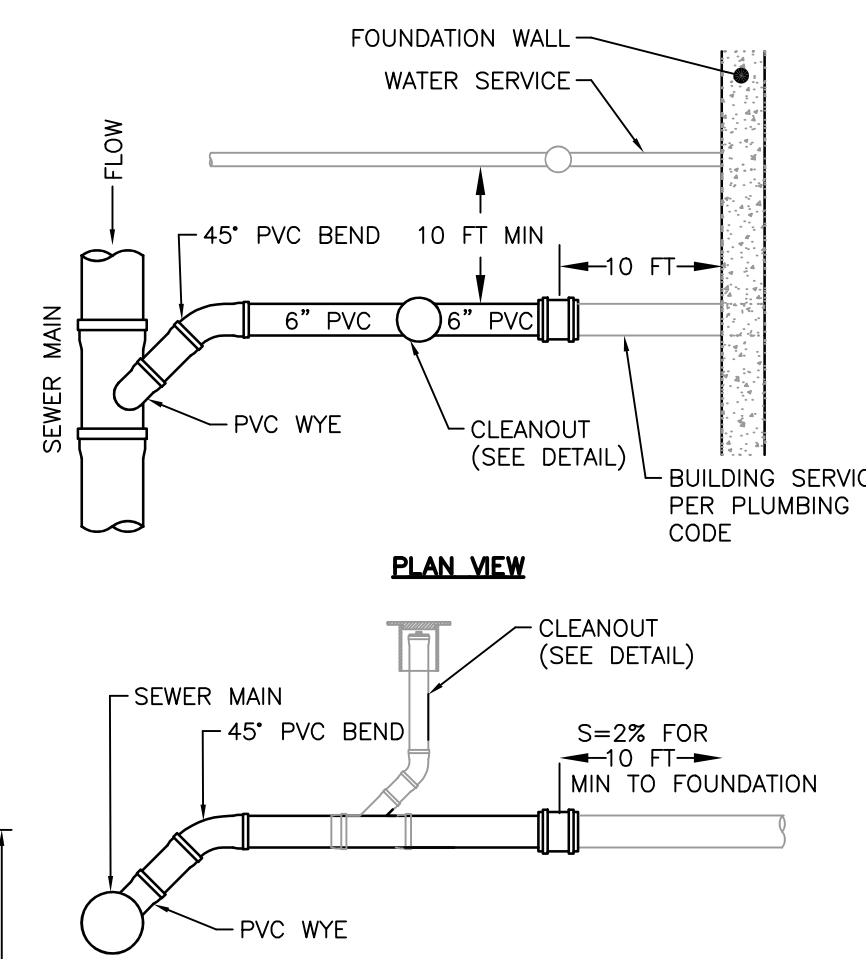
NOT TO SCALE



- NOTES:
1. VALVE BOX COVER SHALL HAVE THE WORD "WATER" CAST IN 1" LETTERS.
 2. VALVE BOX AND COVER SHALL BE RATED BY THE MANUFACTURER FOR H-20 LOADING CONDITIONS.
 3. VALVE MANUFACTURER, MODEL AND OPENING DIRECTION AS PER MUNICIPAL REQUIREMENTS.

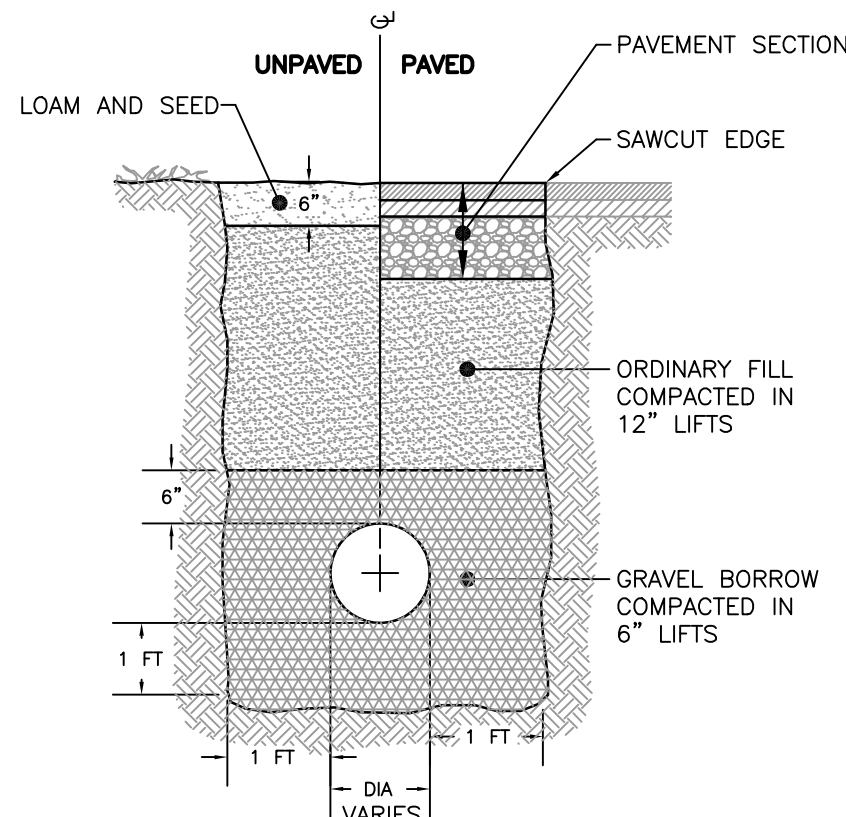
GATE VALVE

NOT TO SCALE



SEWER SERVICE

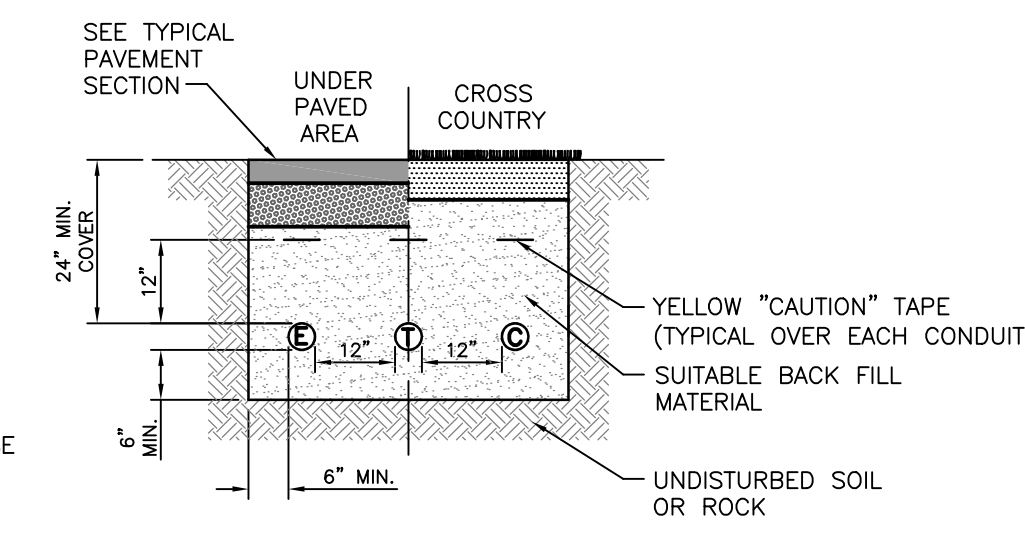
NOT TO SCALE



- NOTES:
1. GRAVEL BORROW SHALL BE 3-INCH MINUS, FREELY DRAINING, WELL-GRADED GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
 2. ORDINARY FILL SHALL 6-INCH MINUS GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
 3. ALL BACKFILL MATERIALS SHALL BE FREE OF STICKS, ROOTS, CLAY, AND SILT.

SEWER TRENCH

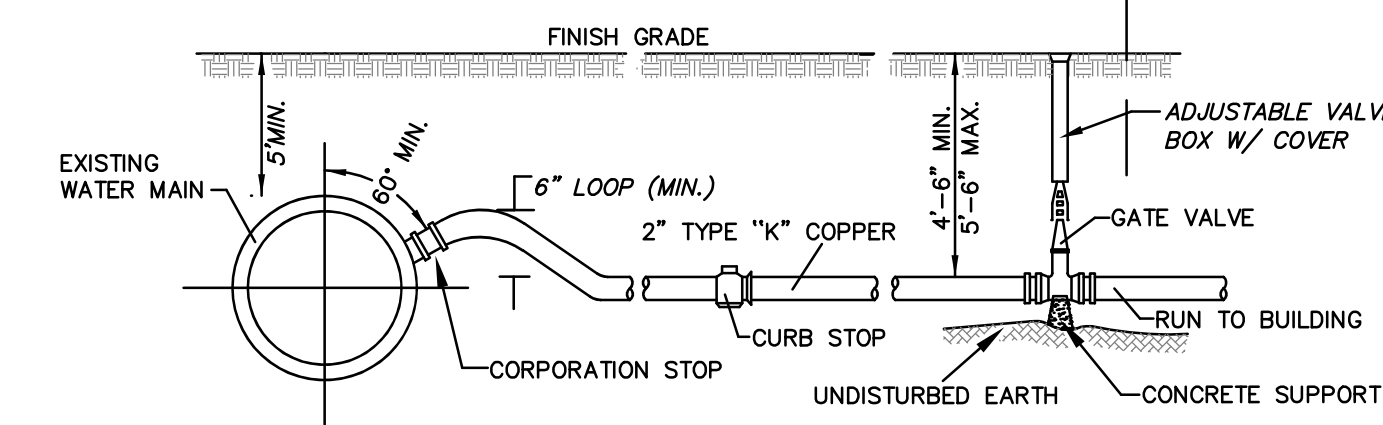
NOT TO SCALE



- NOTES:
1. SCHEDULE 80 PVC CONDUIT REQUIRED UNDER ROAD AND DRIVEWAY SURFACES.
 2. ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
 3. SEE SITE ELECTRICAL PLAN FOR SPECIFIC DETAILS.

BURIED CONDUIT DETAIL

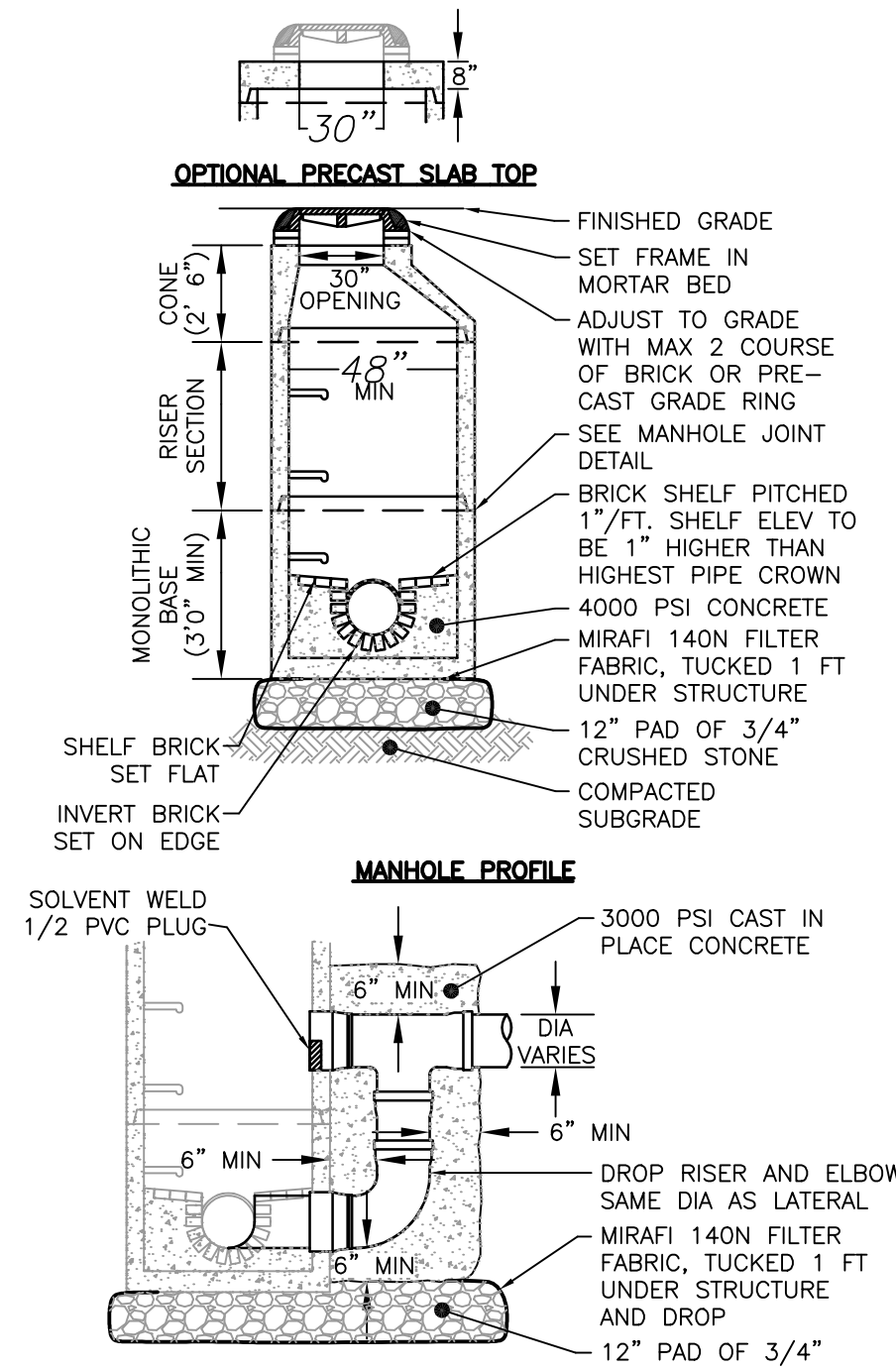
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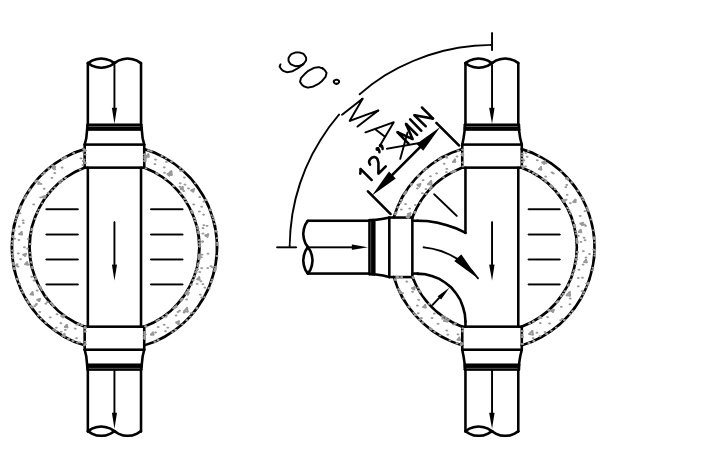
- NOTE: SADDLES ARE REQUIRED FOR TAPS LARGER THAN 1 INCH.
- NOTES:
1. WATER SERVICE SHALL MINIMUM OF 4.5 FEET OF COVER, BEDDED ON 6 INCHES OF SAND AND BACKFILLED WITH 12 INCHES OF SAND.
 2. CONTRACTOR TO PROVIDE AND ATTACH 12 GAGE TRACER WIRE TO THE WATER SERVICE PIPE AND TERMINATE THE WIRE AT THE BALL VALVE BEFORE THE METER AND UP INTO THE TOP OF THE CURB BOX. DO NOT GROUND ELECTRIC PANEL TO THE PLASTIC WATER PIPE.
 3. CONTRACTOR TO PROVIDE LOCATOR TAPE ON TOP OF THE SAND FOR THE FULL LENGTH OF THE TRENCH.
 4. PLUMBER SHALL PROVIDE 3/4-TURN BALL VALVES BEFORE AND AFTER THE WATER METER.
 5. WATER SHUT-OFF SHALL BE ERIE-STYLE WITH STAINLESS STEEL CENTERING ROD.
 6. CONTRACTOR SHALL NOTIFY THE DPW WATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILL.

WATER SERVICE CONNECTION

NOT TO SCALE

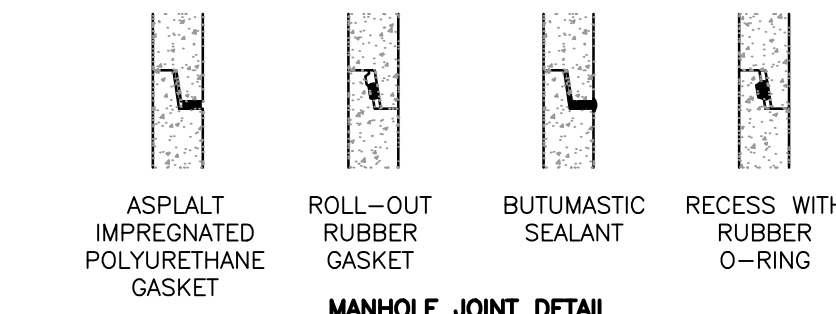


MANHOLE PROFILE

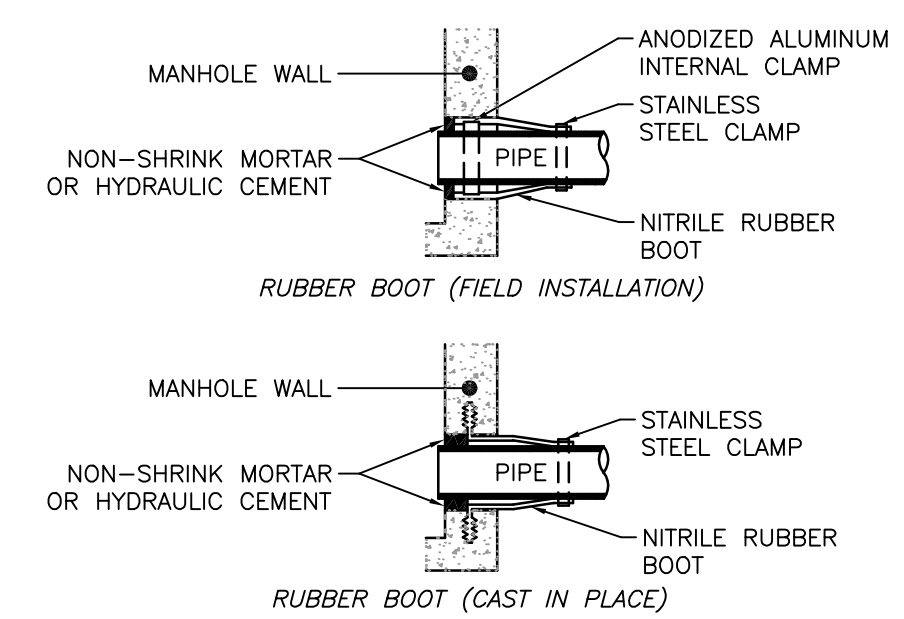


DROP MANHOLE PROFILE

NOT TO SCALE



MANHOLE JOINT DETAIL



PIPE-TO-MANHOLE JOINT DETAIL

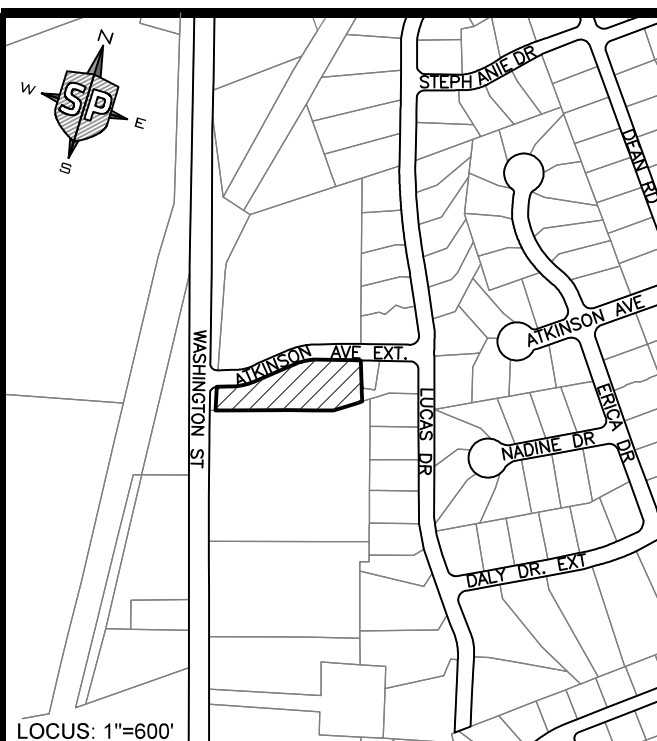
- NOTES:
1. MANHOLES AND CASTINGS SHALL BE DESIGNED TO WITHSTAND H-20 LOADING CONDITIONS.
 2. PRECAST H-20 SLAB TOP MAY BE USED IN PLACE OF CONE SECTION IF WARRANTED BY FIELD CONDITIONS.
 3. FRAME AND COVER SHALL BE LEBARON LK-110 OR APPROVED EQUAL AND SHALL HAVE THE WORD "SEWER" CAST IN 3" HIGH LETTERS.
 4. MINIMUM DISTANCE FROM OUTSIDE WALL OF PIPE TO NEAREST MANHOLE JOINT IS 6".
 5. MINIMUM DISTANCE FROM OUTSIDE WALL OF PIPE TO TOP OF MANHOLE BASE SLAB IS 6".

PRECAST CONCRETE SEWER MANHOLE

NOT TO SCALE



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



REV	DESCRIPTION	DATE
2	REVIEW COMMENTS	6/2/23
1	REVIEW COMMENTS	5/10/23



PROJECT NUMBER:	2212-002
DATE OF ISSUE:	MARCH 10, 2023
SCALE:	AS NOTED
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PREPARED ON BEHALF OF:
CORVO COMPANIES
4 PORTER ST
STOUGHTON, MASSACHUSETTS 02072

SITE PLAN REVIEW
FOR
0 ATKINSON AVE EXTENSION
STOUGHTON, MASSACHUSETTS 02072
MAP 61, LOTS 80 AND 61

DETAILS	D-2
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TOWN OF STOUGHTON
Massachusetts
MA 02072
PLANNING BOARD

Site Plan and Special Permit Approval
Mixed-Use Development
Atkinson Avenue Extension
for
Case # SP23-002

Date: July 13, 2023
Applicant: Corvo Properties
4 Porter Street
Stoughton, MA 02072
Owner: Endriunas Bros. LLC
466 Summer Street
Stoughton, MA 02072
Representative: Strong Point Engineering Solutions, Inc.
340 Monkey Street, Unit 2
West Bridgewater, MA 02379
Property: Atkinson Avenue Extension
Stoughton, MA 02072
Assessors Map 061, Lots 60 and 61
Book: 35038, Page: 21

I) Introduction

On March 15, 2023, applicant, Corvo Properties (the "Applicant"), filed an application for Site Plan Approval under Section 10.6 and a Special Permit under Section 3.1.4 A.10 Table of Use Regulations of the Town of Stoughton's Zoning Bylaws (the "Zoning Bylaws"). The application concerns the proposed construction of a three story, 38,000+- SF mixed use building with a 440 SF retail space and 33 residential units with associated improvements and site modifications (the "Project"), at and upon land on Atkinson Avenue Extension (Assessors Map 061 Lots 60 and 61 the "Property").

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002

II) Project Summary

As described in the application materials and the below referenced Site Plan, the Property is a +/- 35,413-square foot site that is currently vacant and undeveloped. The Project comprises the proposed construction of a 3 story, 38,000+- SF mixed use building including a 440 SF retail space and 33 residential units with 78 parking spaces and associated landscaping.

The Property is located within an GB (General Business) Zoning District. The proposed Mixed-Use Project is a Special Permit from the Planning Board within the GB Zoning District and requires Site Plan Review.

III) Procedural History

- A) A pre application meeting was held on November 10, 2022 with Town Staff.
B) Application for Site Plan Approval and Special Permit was made by the above referenced applicant and owner and filed with the Planning Board on March 15, 2023.
C) The land shown on the Site Plan is located at Atkinson Avenue Extension and shown on Assessors Map 061 Lots 60 and 61 in an GB (General Business) Zoning District.
D) Public hearings on the Site Plan Application and Special Permit were held on April 13, 2023, May 20, 2023 and July 13, 2023. The hearing was advertised on March 29, 2023 and April 5, 2023 in the Patriot-Ledger.
E) On July 13, 2023, the public hearing was closed and on July 13, 2023, the Planning Board voted to approve the Site Plan and Special Permit requests, plans dated March 2, 2023 revised through June 2, 2023.

IV) Application Submittals

1. Application for Site Plan Approval and Special Permit was made by the above referenced applicant/owner and filed with the Planning Board on March 15, 2023. Application submittals included plans dated March 2, 2023.
2. Site Plan entitled "Site Development Plans for Atkinson Avenue Extension, Assessors Map 061 Lots 60 & 61, Stoughton, Massachusetts" prepared by Strong Point Engineering Solutions, Inc. dated March 2, 2023 and revised through June 2, 2023.
3. Site Plan and Special Permit Applications and Letter prepared by Strong Point Engineering Solutions, Inc. dated March 10, 2023.
4. Stormwater Management Report prepared by Strong Point Engineering Solutions, Inc. dated March 10, 2023 and revised through May 10, 2023.
5. Certified list of abutters dated December 21, 2022.
6. Development Impact Report and Traffic Assessment prepared by Strong Point Engineering Solutions, Inc. and McMahon Engineering dated May 10, 2023 and May 12, 2023.

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002

V) Related Documents

1. Copy of the Legal Public Hearing notice from the edition of the Patriot-Ledger dated March 29, 2023 and April 5, 2023.
2. Technical Engineering Review Letters dated April 10, 2023 and May 19, 2023 submitted by Craig Horsfall, Assistant Town Engineer and William Rulhi, Town Planner.
3. Applicant responsive letters to technical review memos prepared by Strong Point Engineering Solutions Inc. dated May 10, 2023 and June 1, 2023.

VI) Findings and Determinations

1. After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and the Board's consultants, the Board finds that the Project meets Section "10.6." as well as 10.6.9 through 10.6.12. Specifically, the Board has examined each of the criteria set forth in Section 10.6.1 and finds as follows:
2. The location of the building, uses and other site development(s) are properly and legally located on the Property as proscribed by the Zoning Bylaw.
3. Adjacent properties are sufficiently protected from nuisance(s) caused by noise, traffic, odors, noxious or harmful fumes, stormwater runoff and glare of lights.
4. Adequate facilities for off street parking and loading, drainage, snow storage and/or removal, fire protection and methods of solid waste disposals are provided. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
5. Pedestrian ways, access/egress driveways, internal circulation, loading areas and parking facilities are properly designed and operated for public convenience, universal accessibility and public safety. As demonstrated by the Site Plan and accompanying submissions, the Project amply satisfies these interests.
6. Economic development is promoted by "smart" land use decisions. The proposed project is within an area of Town that is developed and water and sewer serve the site. The property is a vacant site surrounded by developed properties; therefore, utilizing land which is prime for development and not burdening services since the area is already developed.
7. Additionally, the Board finds that the Applicant has submitted the required information for determination of approval of the Site Plan.
8. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Department of Public Works, Engineering Department and the Planning Department, the Planning Board analyzed all the comments and reports received. There were meetings with the Applicant in conjunction with extensive professional technical reviews

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002

completed by the Engineering Department and Planning Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.

9. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Approval" and found that the Project will not result in any substantial detriment to the district for all of the reasons stated above.

VI) Special Permit

The proposed Mixed-Use is a Special Permit under Section 3.1.4 A.10 Table of Use Regulations. Criteria - Special permits shall be granted by the SPGA, unless otherwise specified in the zoning bylaw, only upon its written determination that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site. In addition to any specific factors that may be set forth in this By-Law, the determination shall include consideration of each of the following:

- (1) Social, economic, or community needs which are served by the proposal;
(2) Traffic flow and safety, including parking and loading;
(3) Adequacy of utilities and other public services;
(4) Neighborhood character and social structures;
(5) Impacts on the natural environment; and
(6) Potential fiscal impact, including impact on town services, tax base, and employment taking into account any proposed mitigation.

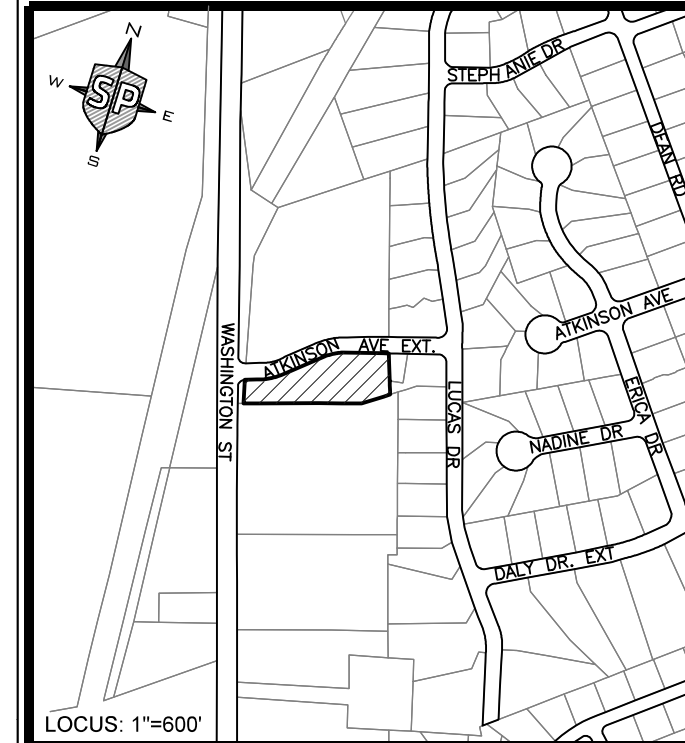
After carefully weighing the testimony and evidence at the public hearing and upon careful consideration of the public comments and professional opinions given by the Applicant's representative(s) and the Board's consultants, the Board finds that the Project meets the above criteria and finds as follows:

- (1) The project is being developed in an area of town that is currently developed with minimal developable area. The proposed mixed-use building will provide 33 residential units and a retail space. Residential development is needed within the Town and the State and providing this will assist in meeting the need.
(2) A Traffic Assessment was prepared for this project and it reviewed the site access and site layout including parking and loading. The report found that the site was designed to accommodate the use and that the surrounding roads were sufficient for the added traffic that the project with potentially generate. The report found that the Project is not anticipated to have a significant impact on the surrounding roadway network.

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on July 21, 2023.

FOR THE PLANNING BOARD

Daniel Kelly, Chairman
Daniel Kelly, Chairman

VIII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan and Special Permit based on the above stated facts, findings and conclusions. The Board further voted to allow the Chair to endorse the decision on their behalf.

On this day of July 13, 2023.

Daniel Kelly, Chairman
Daniel Kelly, Chairman
Paul Demusz, Vice Chairman
Paul Demusz, Vice Chairman
Paul Bellevue
Paul Bellevue
Richard Terry
Richard Terry

Cc: Town Clerk
Applicant
Interested Parties

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002

- (3) The Project will have minimal impact on utilities and public services because it is being developed in an area of town that is currently developed with minimal developable area. The property is currently serviced with water and sewer, and as noted above the roadway network is sufficient to service the development.
(4) The project will provide a Mixed-Use development of 33 residential units and a 440 sf retail space in an area that is developed with residential to the east, commercial development to the south, Washington Street to the west and non-developable wetlands to the north across Atkinson Ave. Ext.; therefore, blending into the neighborhood character and social structure.
(5) The site is a vacant urban site that has been disturbed. There is an area of stock piled soil and scrub vegetation growth. Adjacent to Washington Street is a drainage area that is under the authority of the conservation commission. A portion of the project is within two 100-foot wet and buffer area. The project was submitted to the Conservation Commission and has received an order of conditions. In addition, the site development proposes to meet MassDEP and the Town's stormwater regulations. Therefore, mitigating any impacts to the natural environment.
(6) As noted above the project will connect to water and sewer, which are adjacent to the site. There is capacity in the system for the project; therefore, this will add additional customers to the system, which is a positive fiscal impact. The site is currently vacant and the development will add significant value to the property; therefore, adding to the tax base. The project is mostly residential, therefore, not an employment generator.

VII) Conditions

A) General Conditions

1. This decision for Site Plan Approval and Special Permit shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
2. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, subject to 10.6 Site Plan review regulations.
3. The Applicant is responsible for the filing of this decision with the Registry of Deeds and shall provide proof of recording to the Planning Board.
4. The Applicant shall hold a pre construction meeting with the Engineering Department to coordinate the necessary inspections.
5. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002

6. The project shall be constructed in accordance with any approvals issued relative to the project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
7. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.
8. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
9. All required inspector fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
10. The cost of any necessary outside testing, inspection or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
11. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
12. Electronic copies of the approved site plans in PDF and AutoCAD format shall be submitted to the Engineering Department prior to the issuance of a Building Permit.
13. A blank sheet shall be incorporated into the plan set for future inclusion of the Planning Board Decision. The Planning Board Decision shall be scanned onto that sheet prior to issuance of a Building Permit.
14. All construction shall be in strict conformance with the approved Site Plans dated March 2, 2023 and revised through June 2, 2023.

B) Special Conditions

1. The applicant shall record the Operation & Maintenance Plans. Proof of recording shall be submitted to the Planning Board and the Engineering Department prior to the issuance of a Building Permit.
2. A Sewer Connection Permit for the project is required to be issued by the Engineering Department prior to the issuance of a Building Permit.
3. The applicant shall clean the entire drainage system at the end of construction.
4. The applicant shall submit two sets of the construction plans and a PDF to the Engineering Department prior to the issuance of a Building Permit.

Atkinson Ave. Ext. - Mixed-Use Building - Site Plan & Special Permit Approval - Case #SP23-002

PLANNING BOARD
DECISION

PB-1