

# SITE DEVELOPMENT PLANS FOR ATKINSON AVENUE EXTENSION

MAP 61 LOTS 60 & 61  
STOUGHTON, MASSACHUSETTS

OWNER :

ENDRIUNAS BROTHERS LLC  
466 SUMNER STREET  
STOUGHTON, MASSACHUSETTS 02072

APPLICANT:

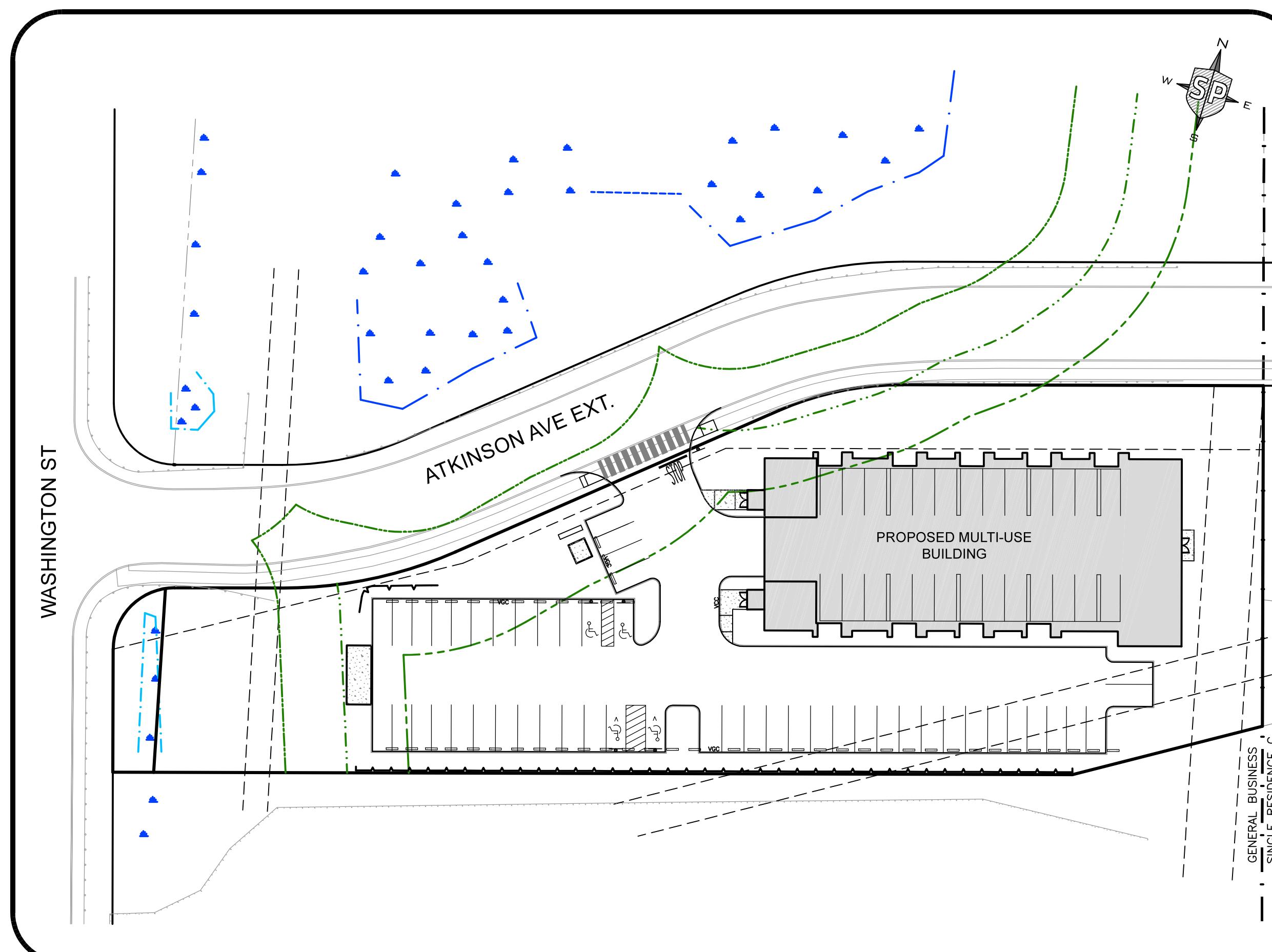
CORVO COMPANIES  
4 PORTER STREET  
STOUGHTON, MASSACHUSETTS 02072

CIVIL ENGINEER :



ARCHITECT :

mj+associates  
architects+planners  
70 Connie Lane  
Stoughton, MA 02072  
(617) 448-8974



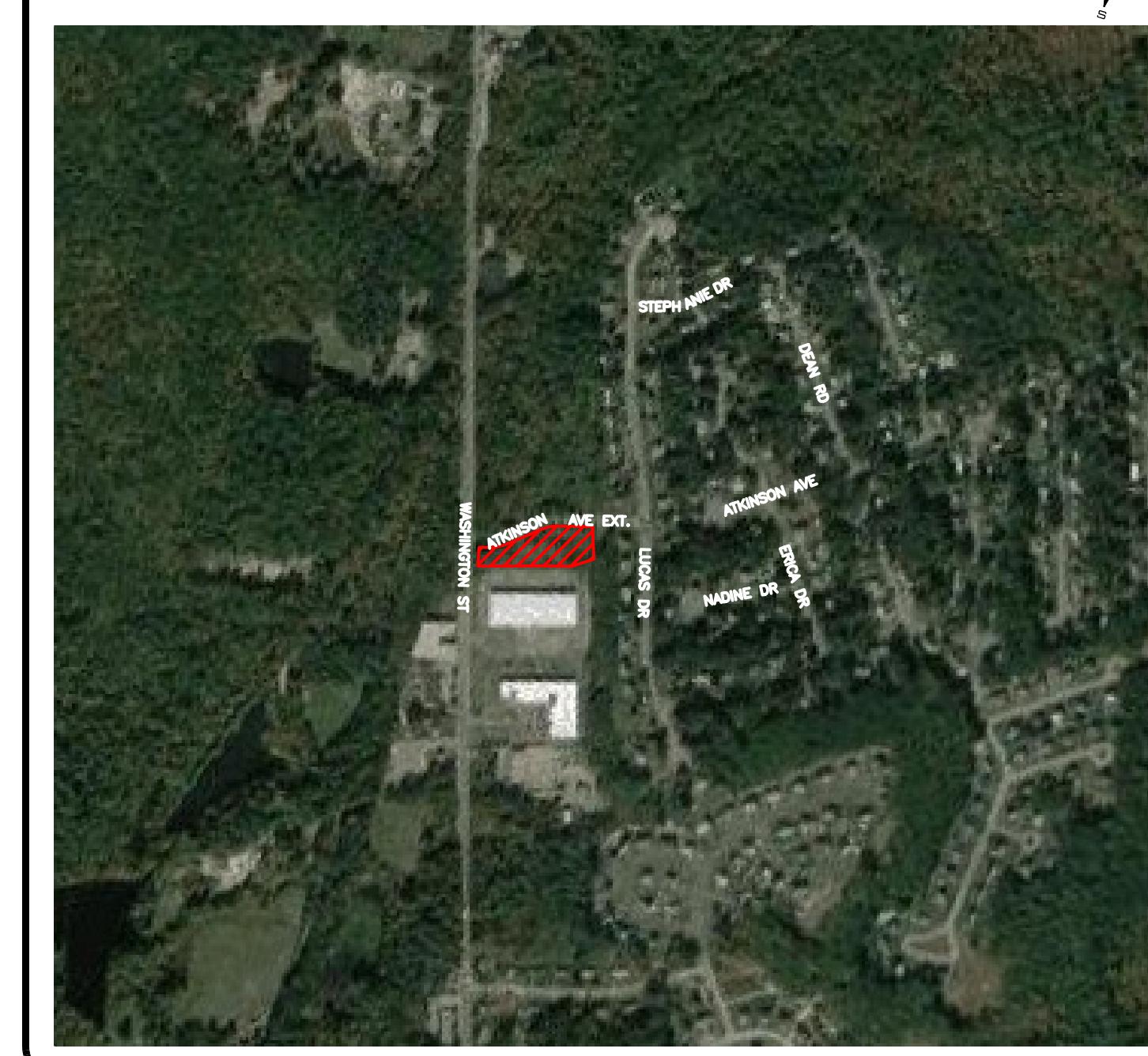
PROFESSIONAL ENGINEER FOR  
STRONG POINT ENGINEERING SOLUTIONS, INC

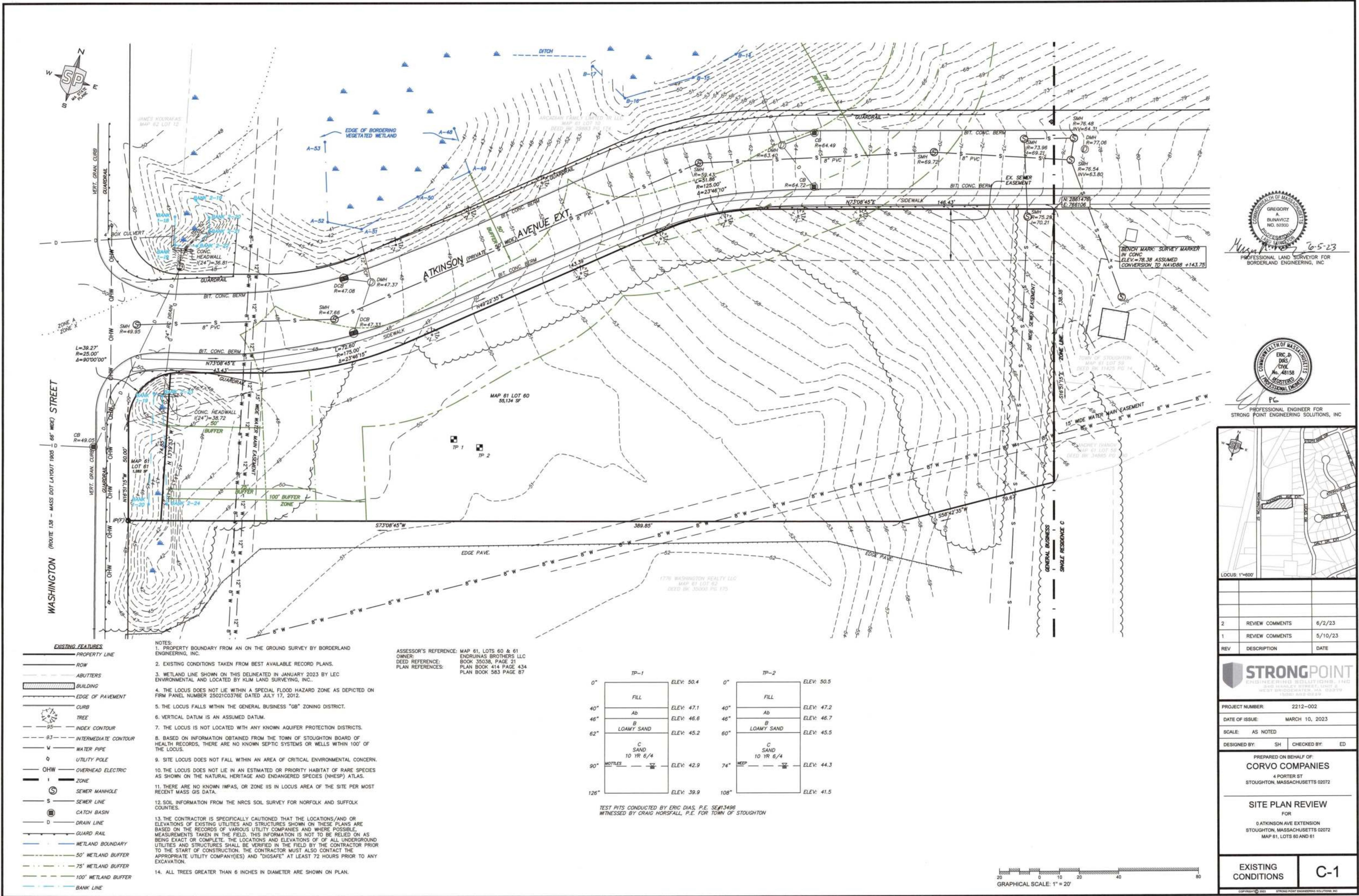
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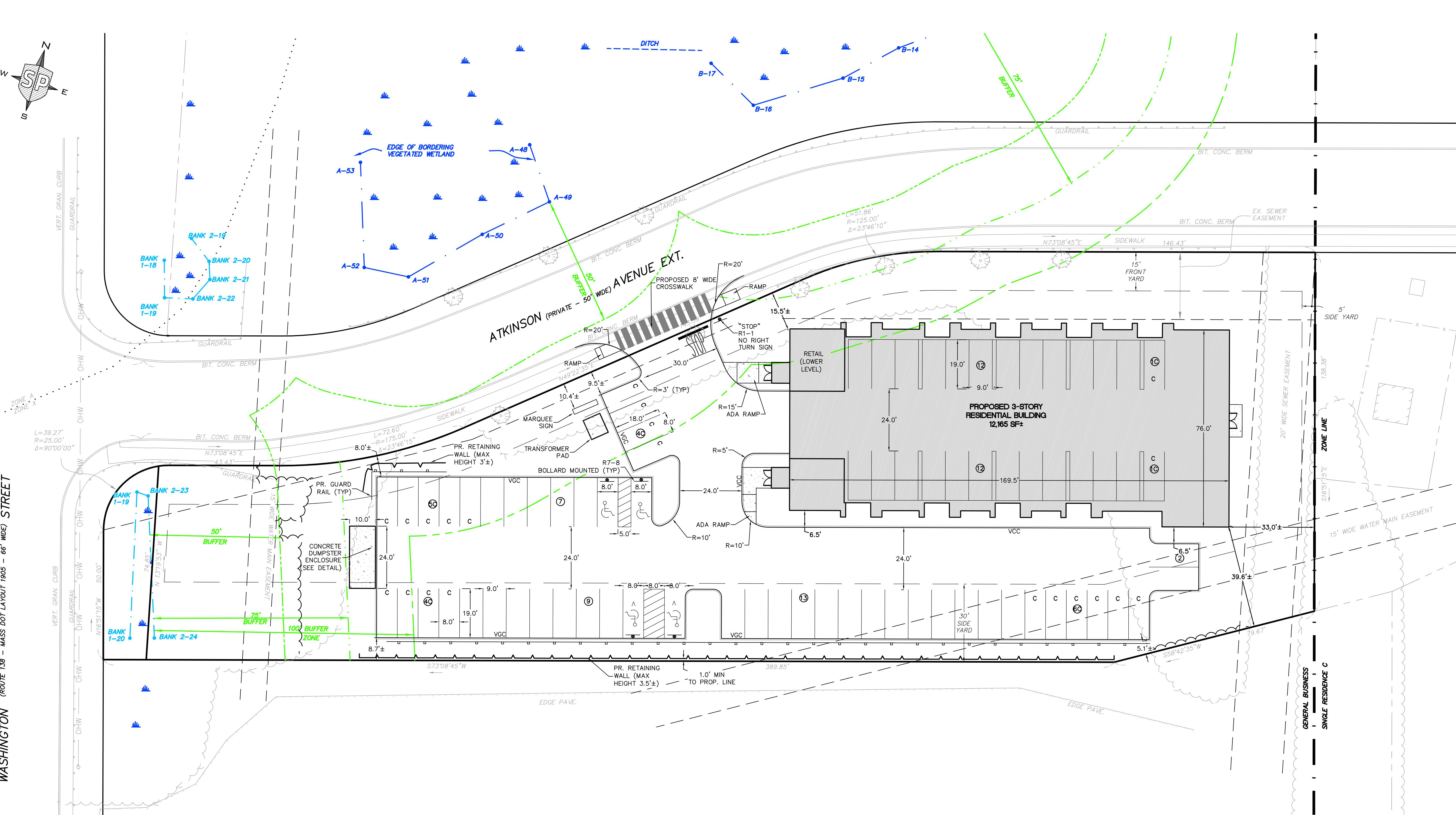
LOCUS

SCALE: 1" = 600'





WASHINGTON (ROUTE 138 - MASS DOT LAYOUT 1905 - 66' WIDE) STREET



NOTES:

- BUILDING FOOTPRINT SHOWN IS INDICATIVE OF FOUNDATION WALLS. SEE ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION REGARDING BUILDING DESIGN.
- ALL BUILDING DIMENSIONS TO BE CONFIRMED WITH THE PROJECT ARCHITECTURAL PLANS, INCLUDING THE ENTRANCE CANOPY AND ALL POINTS OF INGRESS & EGRESS.
- ALL DISTURBED AREAS NOT OTHERWISE DESIGNATED FOR SPECIFIC SURFACE TREATMENT SHALL RECEIVE SIX INCHES OF LOAM, AND BE SEDED, WATERED, FERTILIZED AND MAINTAINED UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE BETWEEN EXISTING AND PROPOSED SURFACES.
- ALL CURB DIMENSIONS AND RADII REFERENCE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL HAVE A MINIMUM CROSS SLOPE OF 1% AND A MAXIMUM CROSS SLOPE OF 2%.
- ALL RETAINING WALLS TO BE DESIGNED BY OTHERS AND LOCATED A MINIMUM OF 1-FOOT FROM PROPERTY LINES.
- MARQUEE SIGN TO MEET ALL APPLICABLE ZONING REGULATIONS.
- SNOW SHALL BE PUSHED TO THE EDGE OF PAVED SURFACES OUTSIDE OF THE 100' WETLAND BUFFER. WHEN STORAGE AREA IS FULL, SNOW SHALL BE REMOVED FROM SITE.
- PET WASTE STATIONS TO BE INSTALLED NEAR BUILDING ENTRANCES.

PARKING TABLE

STUDIO AND ONE BEDROOM DWELLING UNIT: 2 SPACES/UNIT  
TWO BEDROOM OR MORE DWELLING UNIT: 3 SPACES/UNIT  
RETAIL: 1 SPACE/300 SF

REQUIRED SPACES:  
3 STUDIO UNITS + 21 ONE BEDROOM UNITS = 24 UNITS = 48 SPACES  
8 TWO BEDROOM UNITS = 27 SPACES  
RETAIL = 440 SF = 1 SPACE

TOTAL REQUIRED: 76 SPACES  
TOTAL PROPOSED: 76 SPACES

COMPACT SPACES: NOT MORE THAN 30% OF THE TOTAL PARKING SPACES UTILIZED IN COMPUTING  
REQUIRED OFF STREET PARKING SPACES SHALL BE COMPACT SPACES

MINIMUM REQUIRED FULL SIZE PARKING SPACES: 53

PROVIDED SPACES:  
76 SPACES TOTAL  
22 COMPACT SPACES  
54 FULL SIZE SPACES

ADA COMPLIANT SPACES REQUIRED: 4  
ADA COMPLIANT SPACED PROVIDED: 4

ZONING TABLE  
GENERAL BUSINESS

	REQUIRED	PROVIDED
LOT AREA	10,000 SF	55,133 SF±
LOT FRONTPAGE	50 FT	477.35 FT
LOT DEPTH	75 FT	75.00 FT
LOT WIDTH	50 FT	465.50 FT
FRONT YARD SETBACK	15 FT	15.50 FT±
REAR YARD SETBACK	30 FT	39.6 FT±
SIDE YARD SETBACK	5 FT	33.0 FT±
MAX BUILDING COVERAGE	70%	22%
MIN. OPEN SPACE	10%	41%
MAX BUILDING HEIGHT	40 FT / 3 STORIES	38.4 FT AVERAGE
MIN. INTERIOR LANDSCAPING	15%	15%

SPECIAL PERMIT REQUIRED FOR MIXED-USE BUILDING

EXISTING FEATURES	PROPOSED FEATURES
PROPERTY LINE	BUILDING
ROW	BUILDING SETBACK LINE
ABUTTERS	VERTICAL GRANITE CURB
EASEMENT	
BUILDING	EDGE OF PAVEMENT
VGC	CURB
VGC	CONCRETE PAD
VGC	PARKING STALL COUNT
VGC	RETAINING WALL
VGC	UTILITY POLE
OHW	OVERHEAD ELECTRIC
ZONE	GUARD RAIL
WETLAND BOUNDARY	
50' WETLAND BUFFER	
75' WETLAND BUFFER	
100' WETLAND BUFFER	
BANK LINE	

CONSTITUTION OF MASSACHUSETTS  
ERIC D. DAS, CIVIL  
No. 45158  
REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR  
STRONG POINT ENGINEERING SOLUTIONS, INC.



2 REVIEW COMMENTS 6/2/23

1 REVIEW COMMENTS 5/10/23

REV DESCRIPTION DATE

**STRONGPOINT**  
ENGINEERING SOLUTIONS, INC.  
140 MANLEY STREET, UNIT 2  
WEST BRIDGEWATER, MA 02379  
(508) 682-0229

PROJECT NUMBER: 2212-002

DATE OF ISSUE: MARCH 10, 2023

SCALE: AS NOTED

DESIGNED BY: SH CHECKED BY: ED

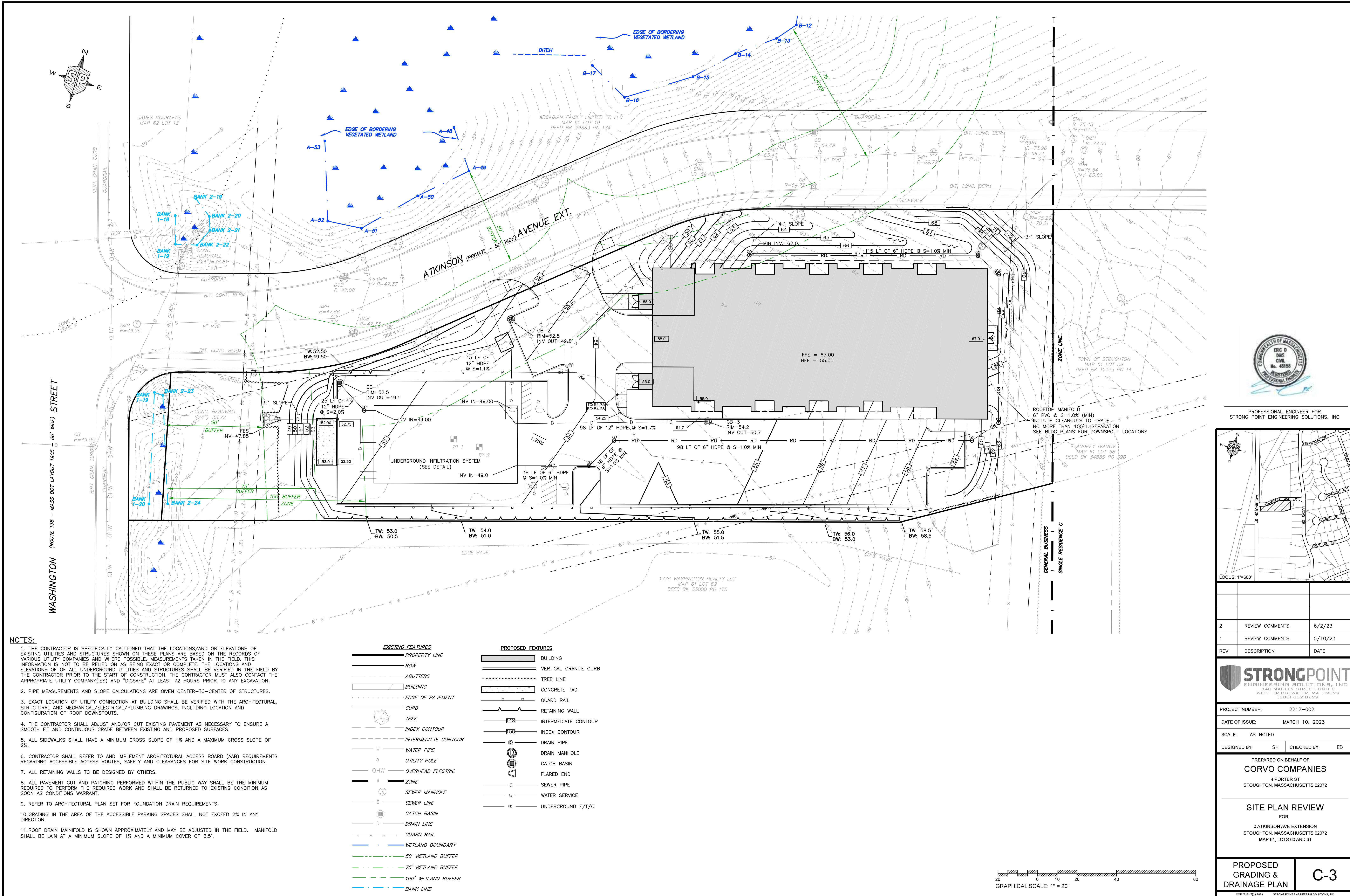
PREPARED ON BEHALF OF:  
**CORVO COMPANIES**  
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STOUGHTON, MASSACHUSETTS 02072

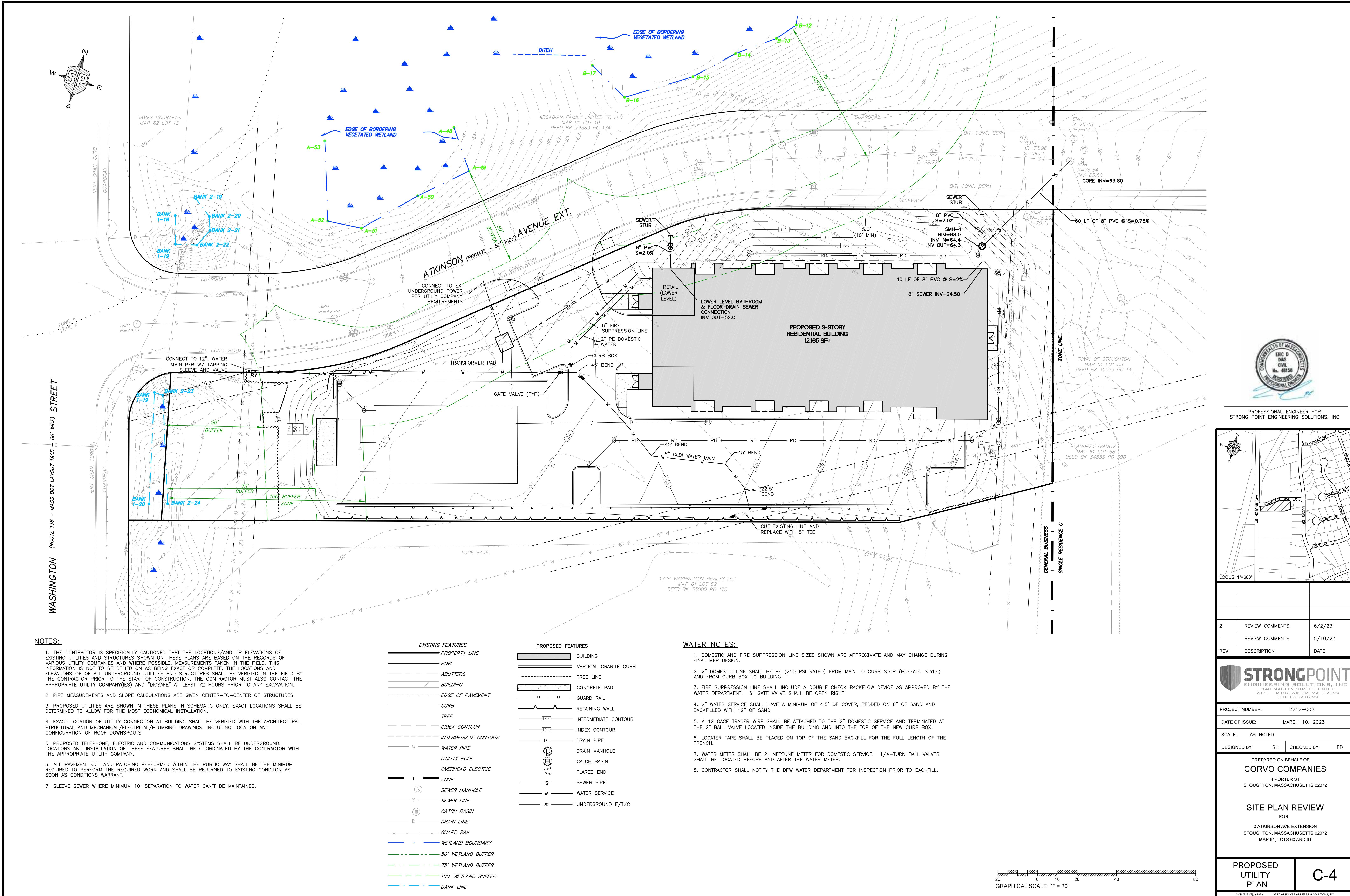
**SITE PLAN REVIEW**  
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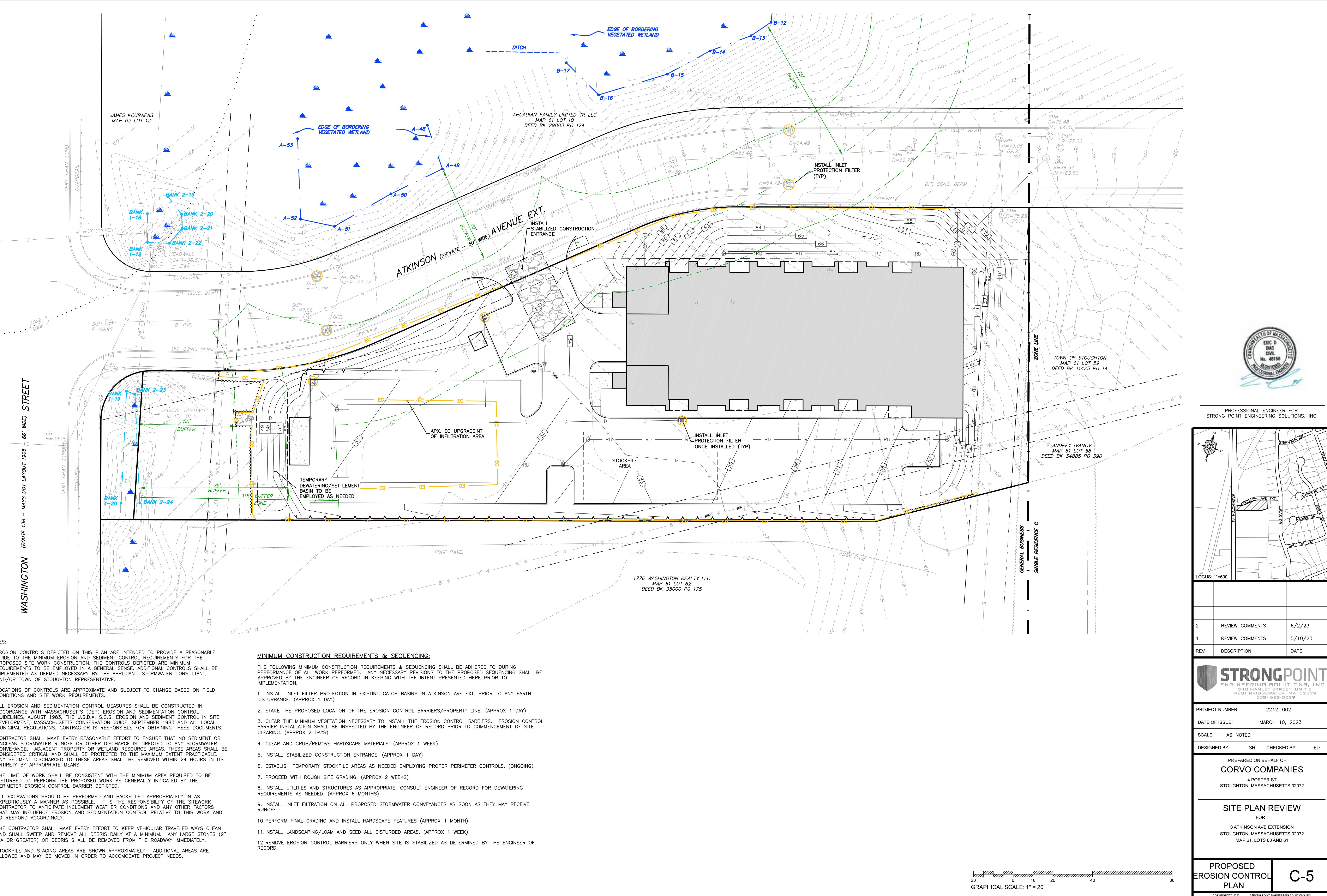
**PROPOSED  
LAYOUT  
PLAN** C-2

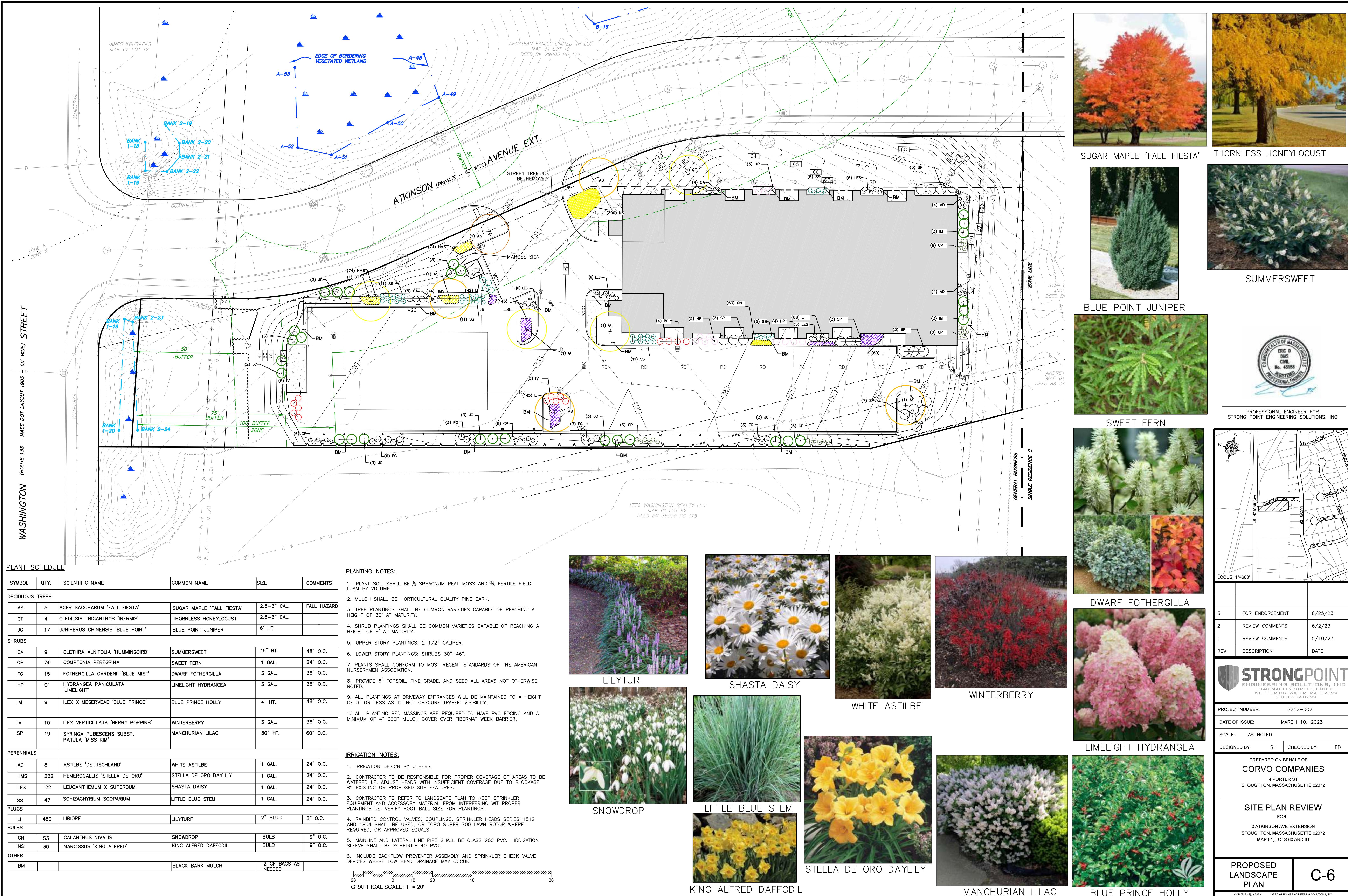
GRAPHICAL SCALE: 1" = 20'

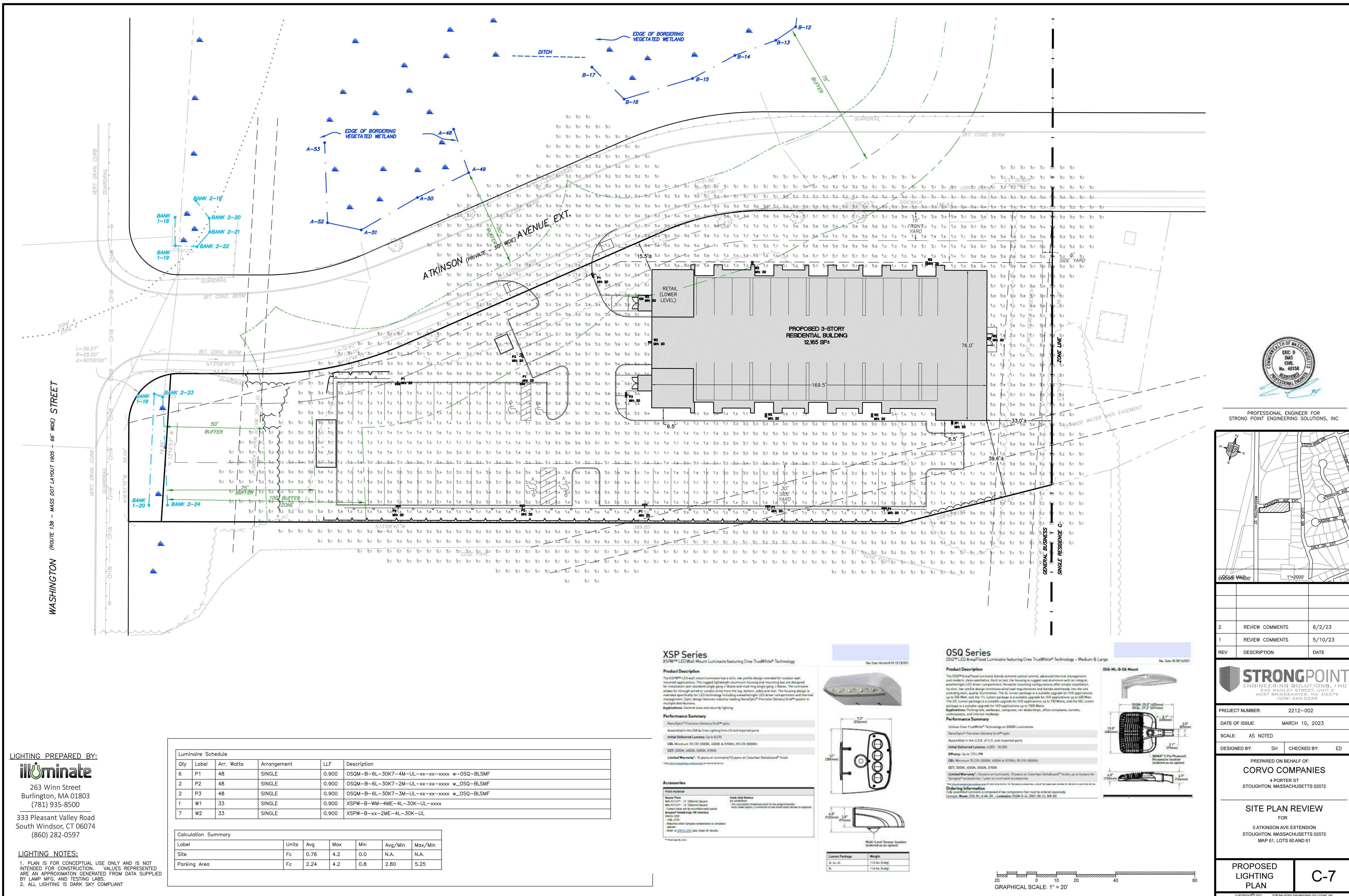
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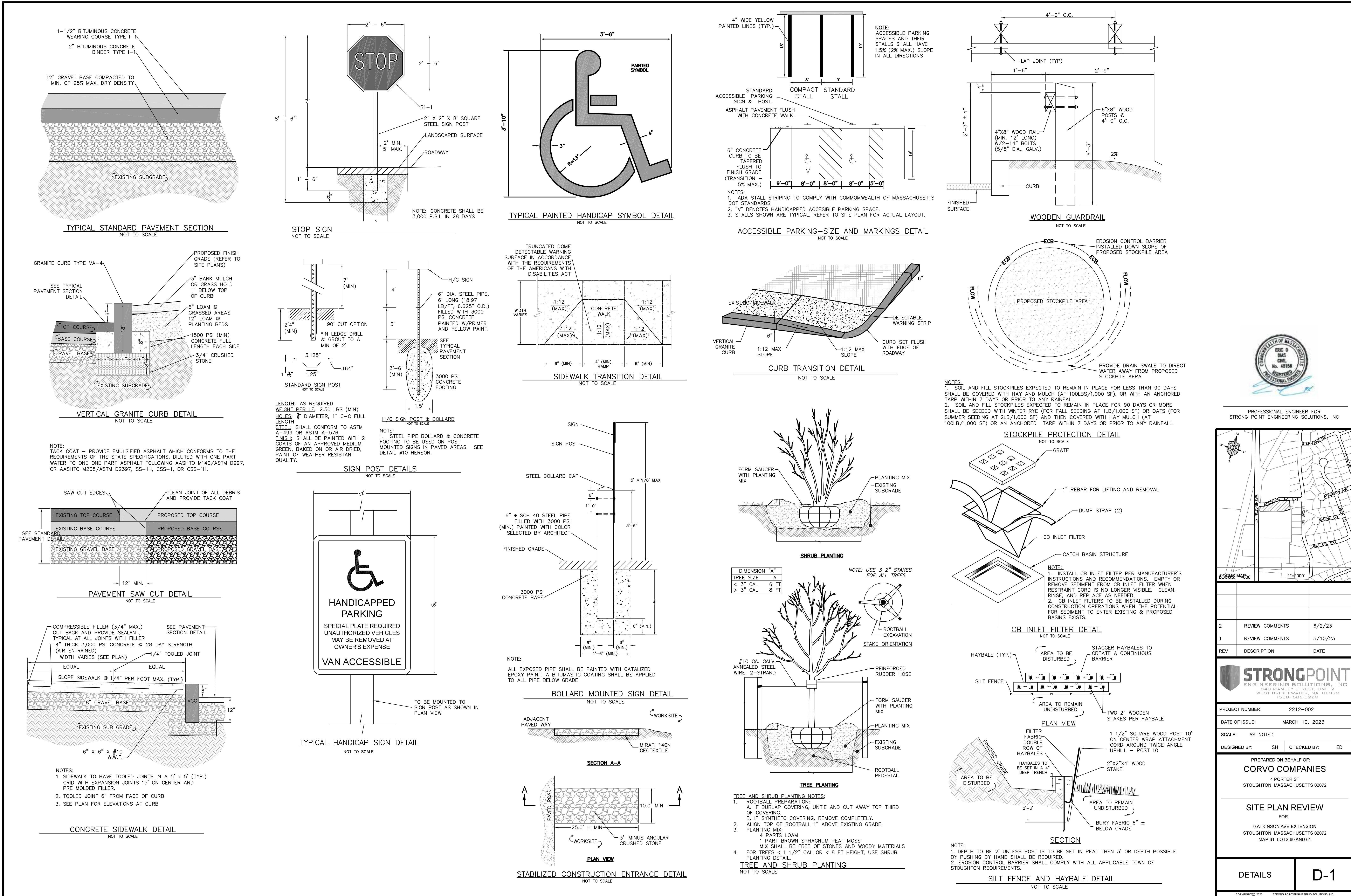


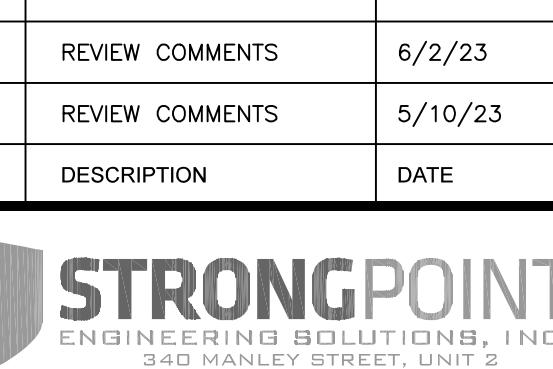
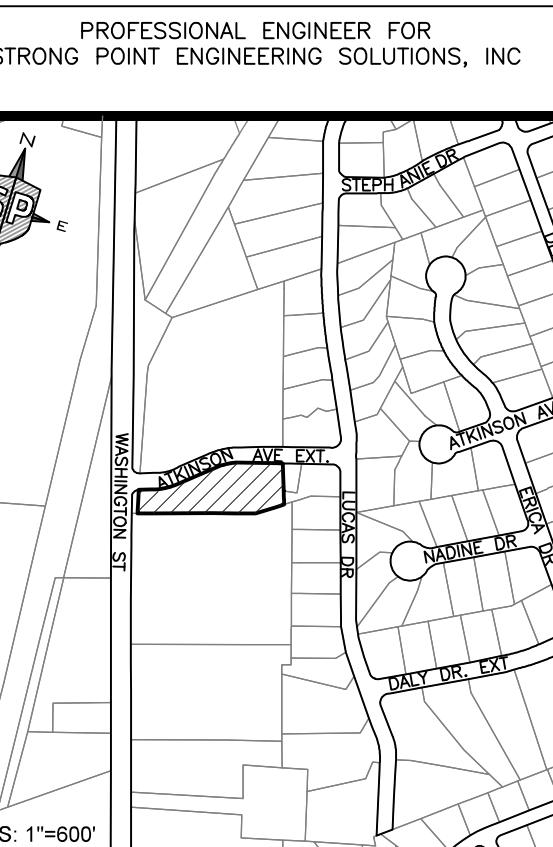
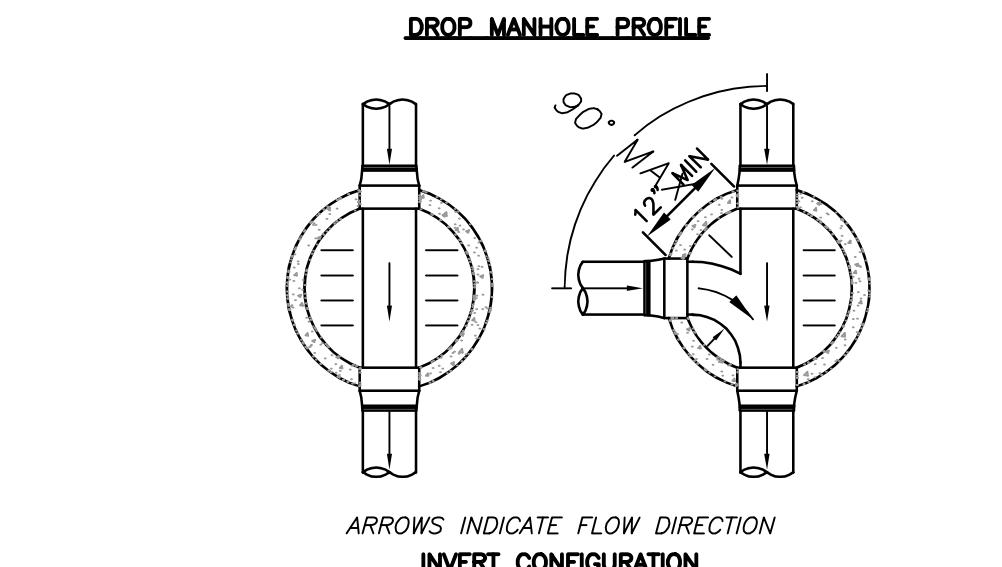
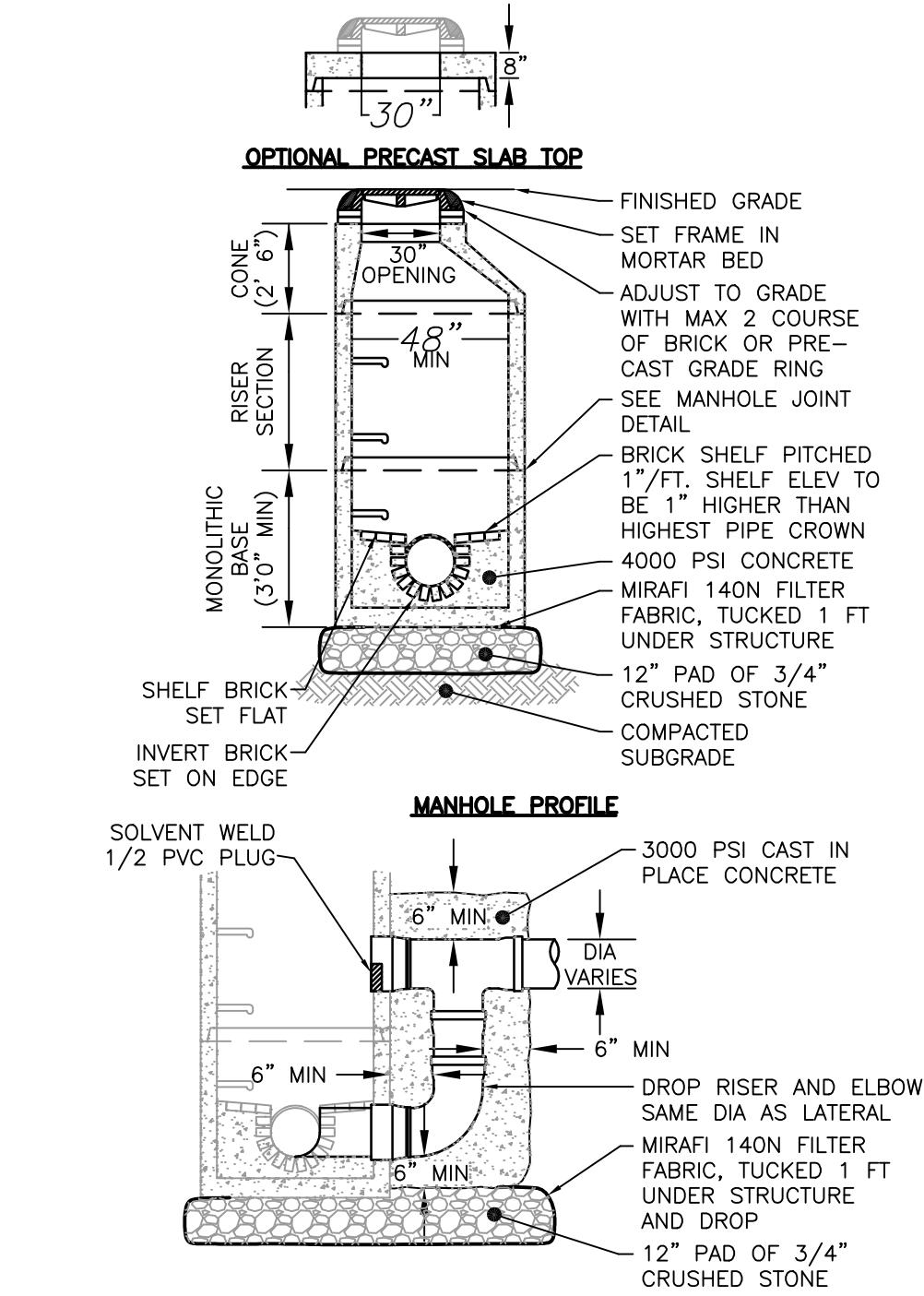
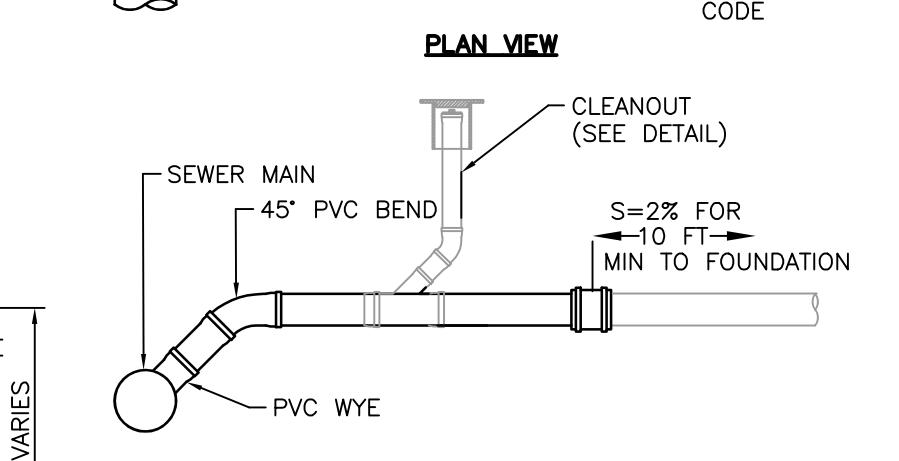
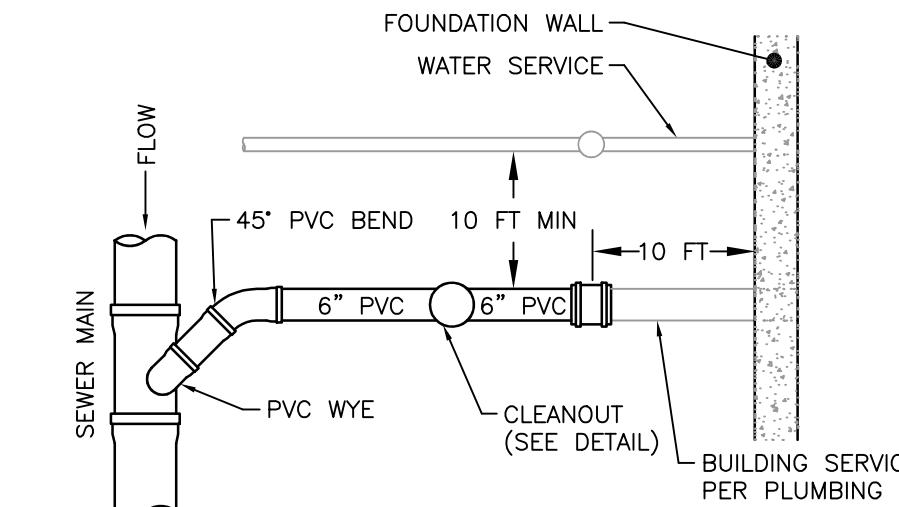
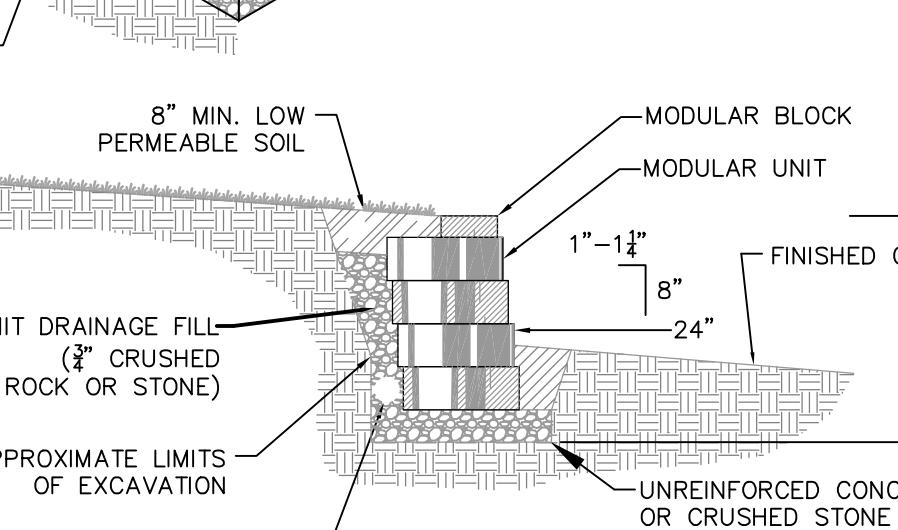
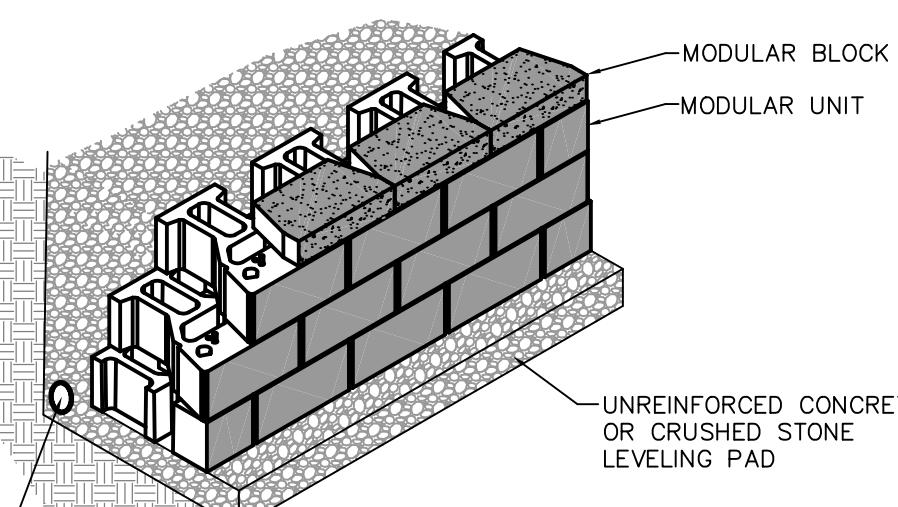
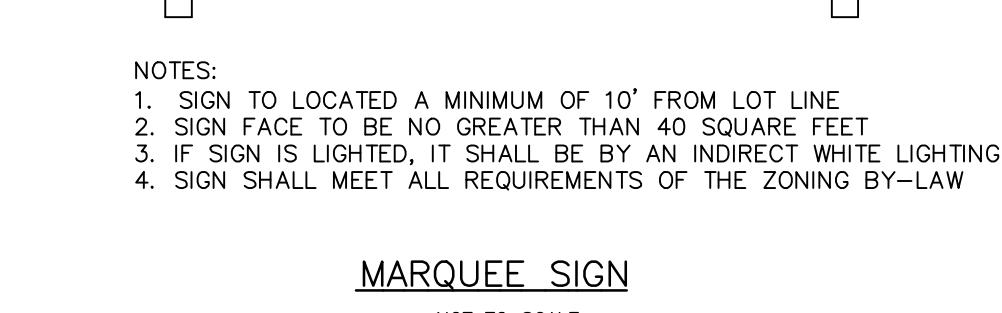
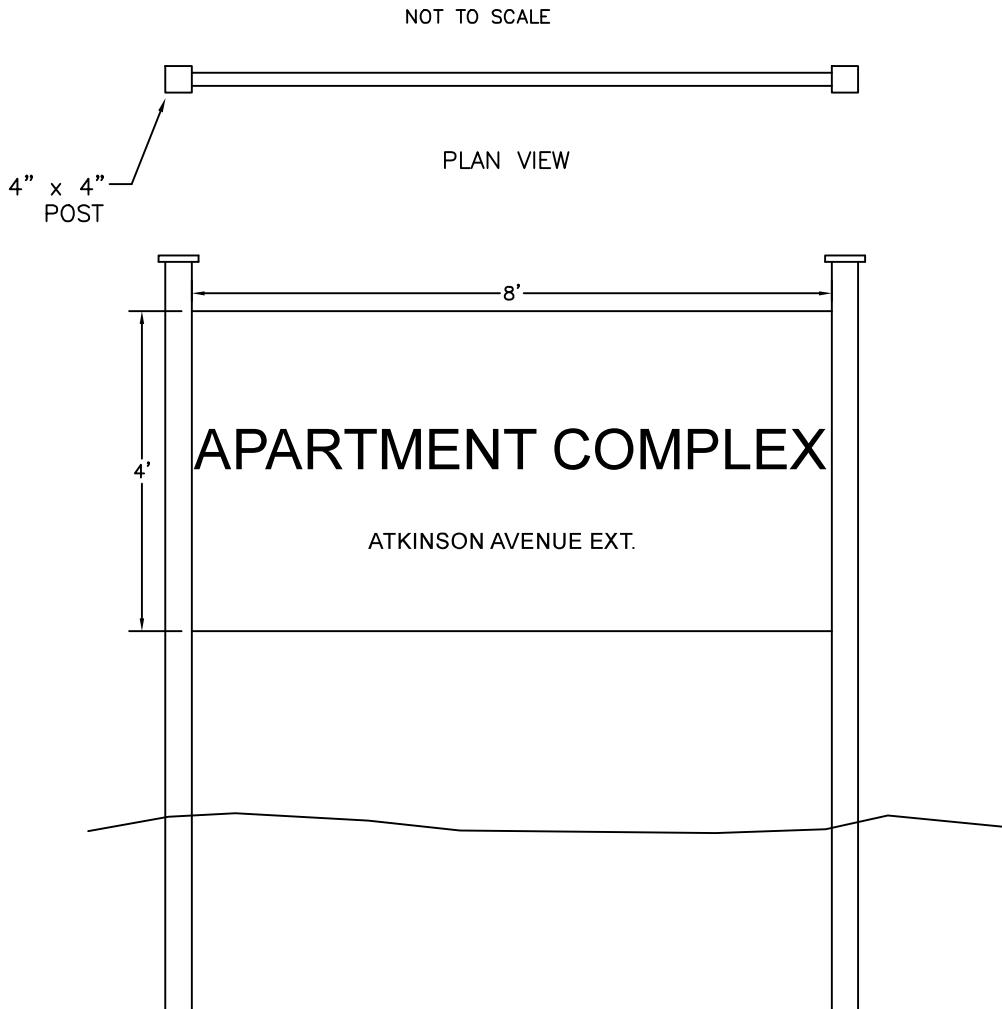
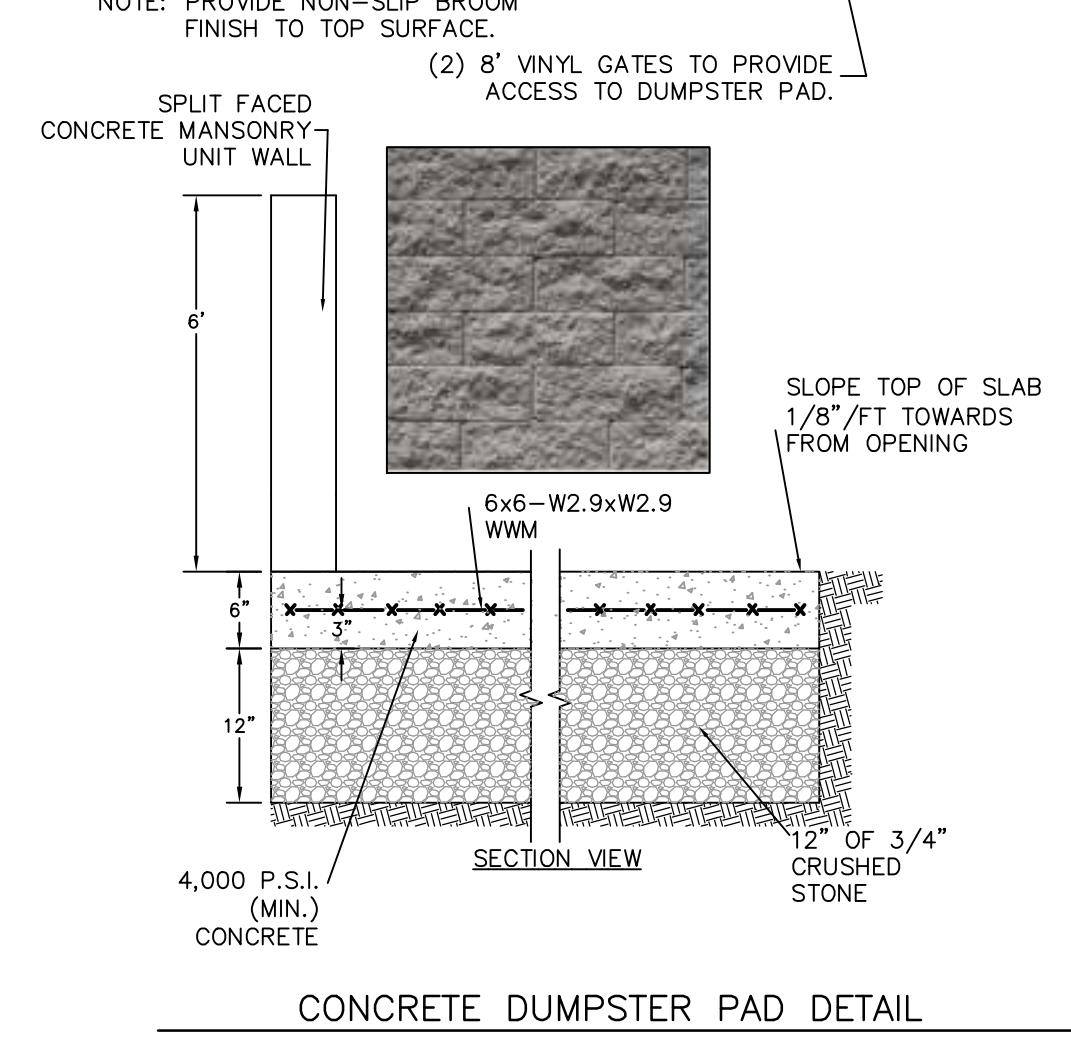
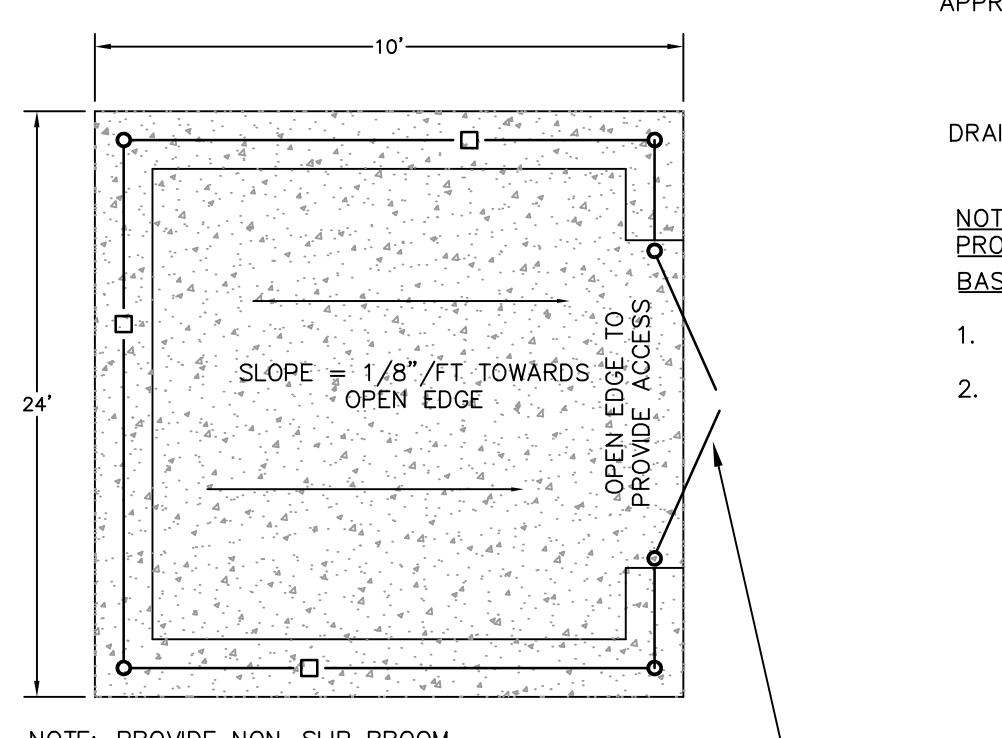
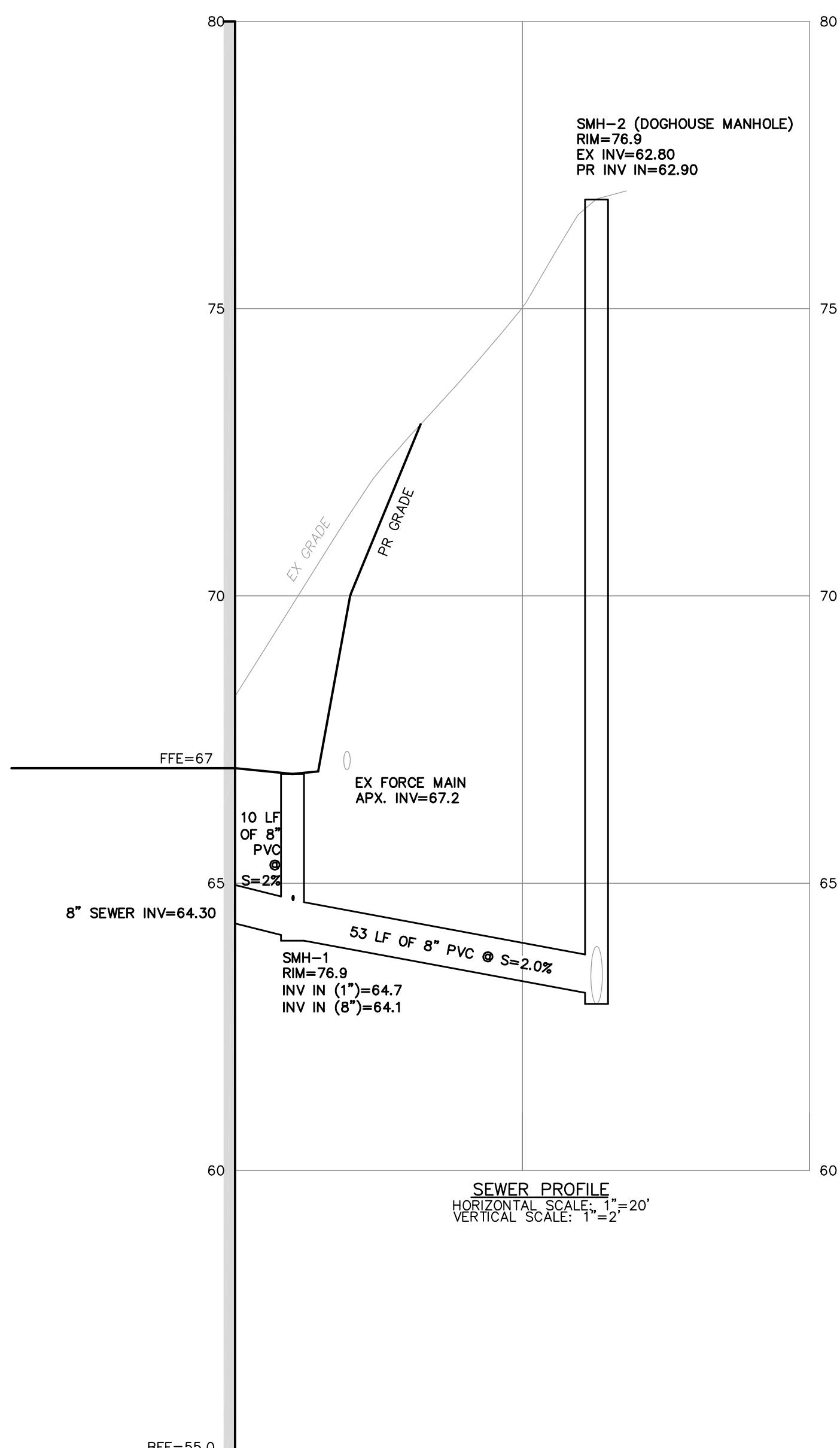
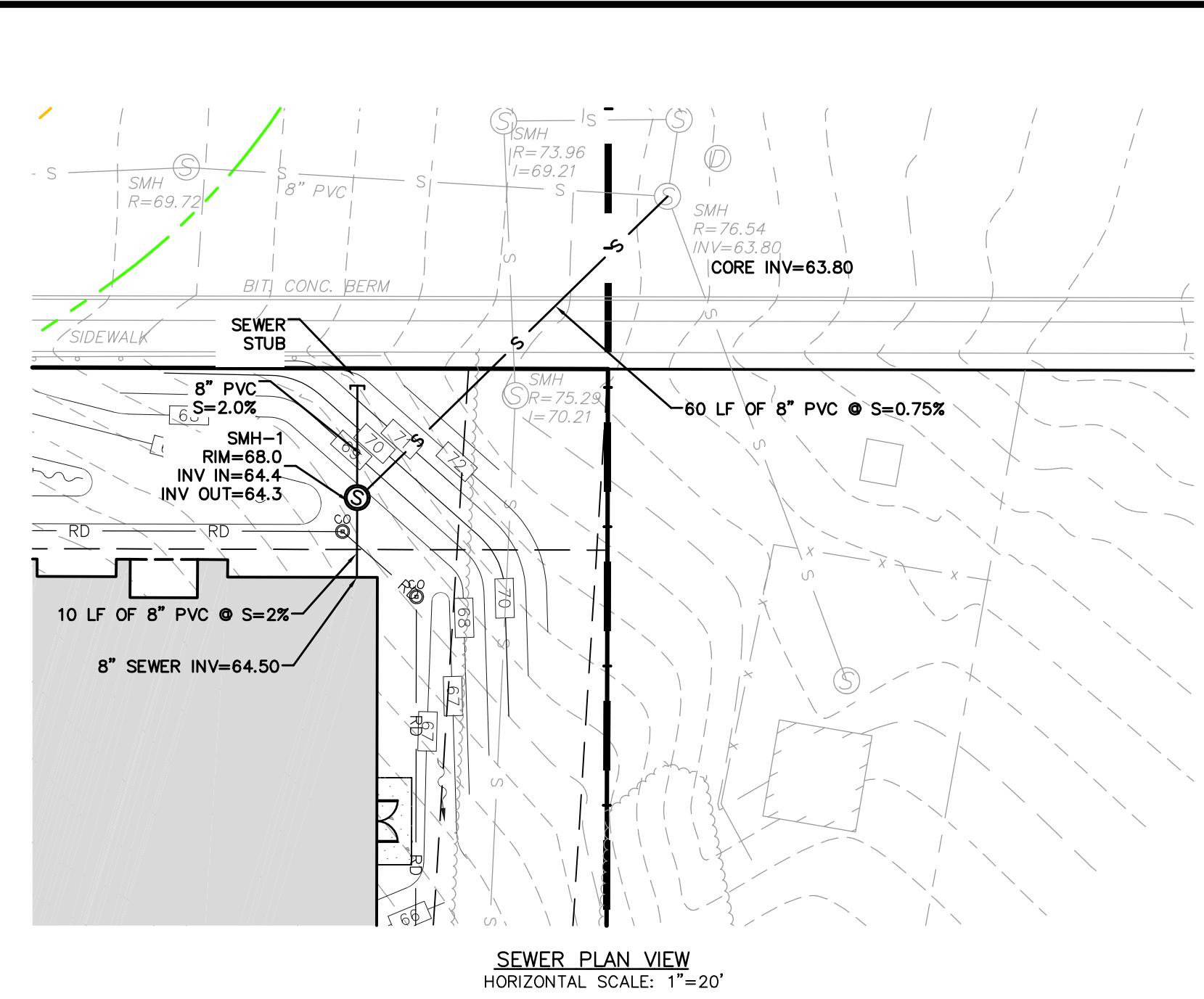












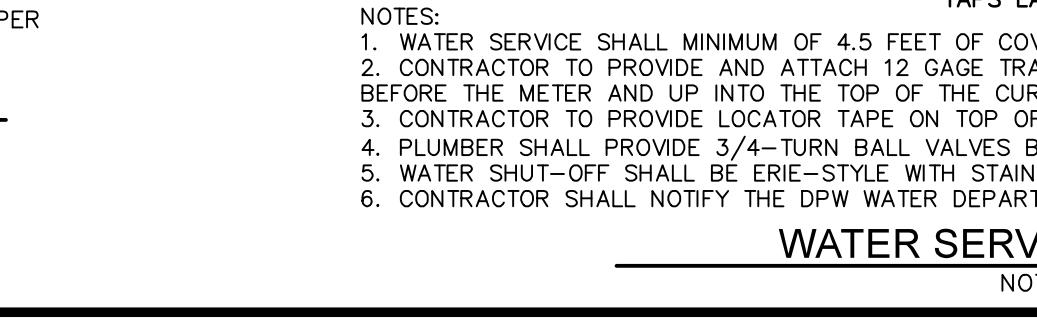
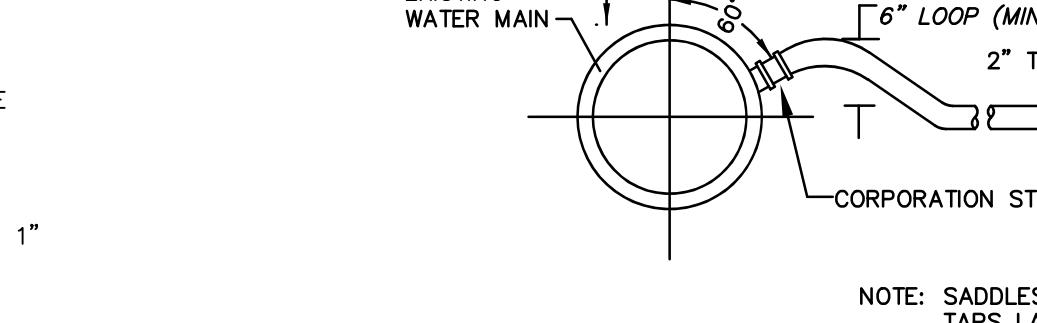
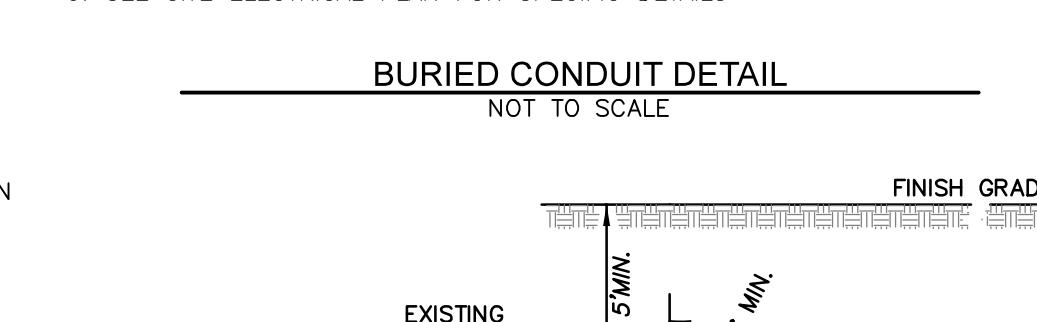
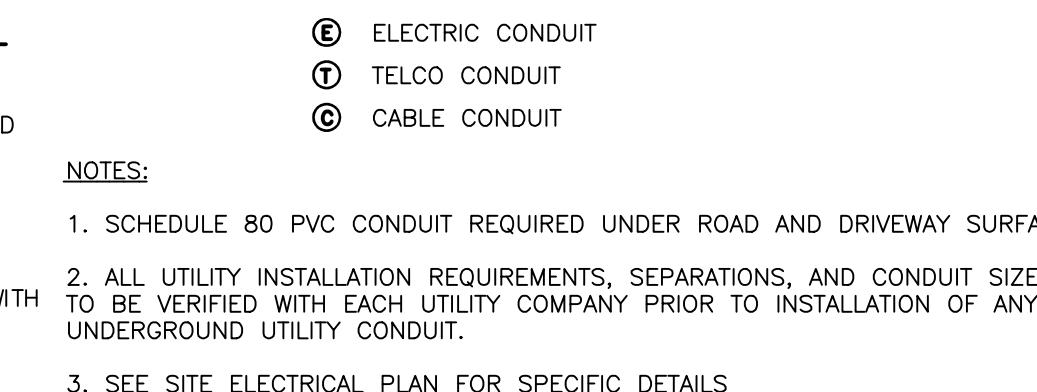
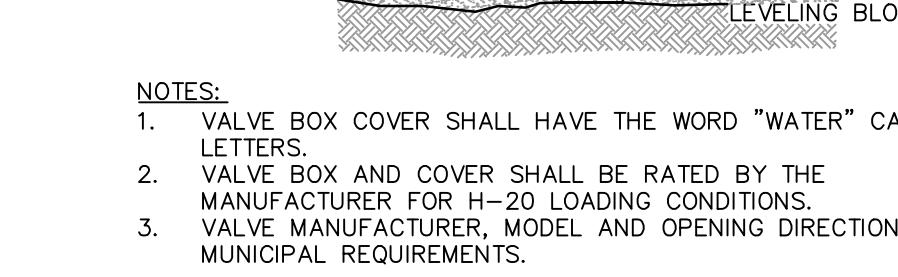
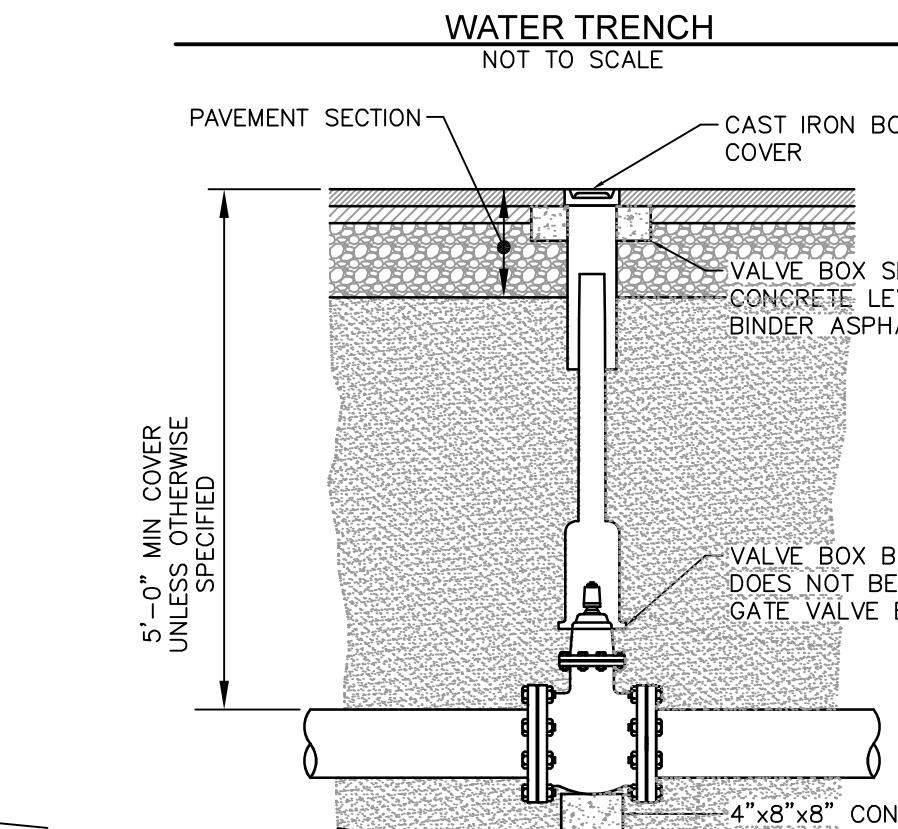
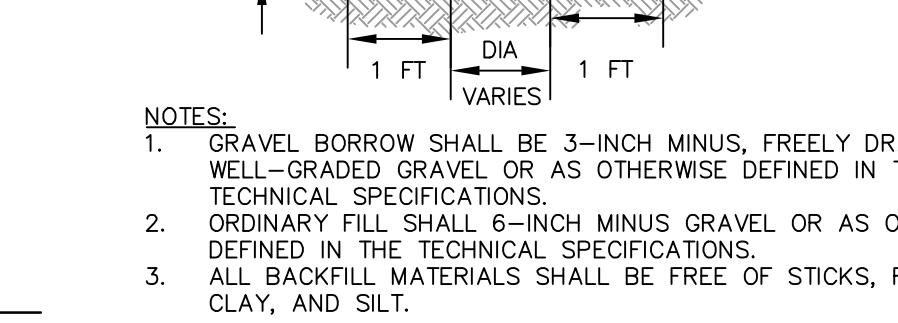
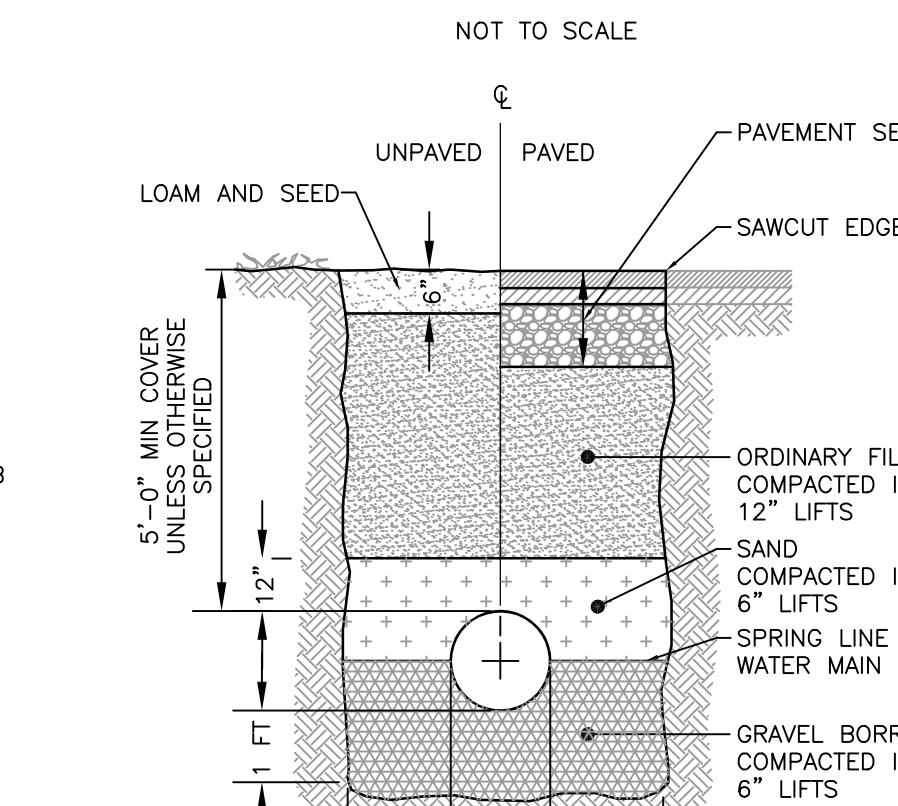
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MAP 61, LOTS 60 AND 61

DETAILS D-2



WATER SERVICE CONNECTION  
NOT TO SCALE

NOTES:

1. WATER SERVICE SHALL MINIMUM OF 4.5 FEET OF COVER, BEDDED ON 6 INCHES OF SAND AND BACKFILLED WITH 12 INCHES OF SAND.
2. CONTRACTOR TO PROVIDE AND ATTACH GAGE TRACER TO THE EXISTING SERVICE PIPE AND TERMINATE THE WIRE AT THE BALL VALVE BEFORE THE METER AND UP INTO THE TOP OF THE CONCRETE BOX. DO NOT GROUND ELECTRIC PANEL TO THE PLASTIC WATER PIPE.
3. CONTRACTOR TO PROVIDE LOCATOR TAPE ON TOP OF THE SAND FOR THE FULL LENGTH OF THE TRENCH.
4. PLUMBER SHALL PROVIDE 3/4" TURN BALL VALVES BEFORE AND AFTER THE WATER METER.
5. WATER SHUT-OFF SHALL BE ERIE-STYLE WITH STAINLESS STEEL CENTERING ROD.
6. CONTRACTOR SHALL NOTIFY THE DPW WATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILL.

NOTES:



