

DATE:

APPROVED _____, SUBJECT TO COVENANT
EXECUTED BY _____, DATE _____,
AND TO BE RECORDED HEREWITHE.

APPROVED _____, SUBJECT TO CONDITIONS
SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH
THE TOWN CLERK ON _____.

I, _____, TOWN CLERK OF THE TOWN
OF STOUGHTON, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD WAS RECEIVED AND
RECORDED AT THIS OFFICE ON _____.
NO NOTICE OF APPEAL WAS RECEIVED DURING
THE TWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE

OWNER:

MR. ALAN CLINE
15369 WEST LEA LANE
SURPRISE, AZ 85374

APPLICANT:

AMP DEVELOPMENT LLC
1667 CENTRAL STREET
STOUGHTON, MA 02072

CIVIL ENGINEER:



SURVEYOR



REQUESTED WAIVERS

THE FOLLOWING WAIVERS FROM CERTAIN SECTIONS OF THE TOWN OF STOUGHTON
LAND SUBDIVISION REGULATIONS ARE REQUESTED:

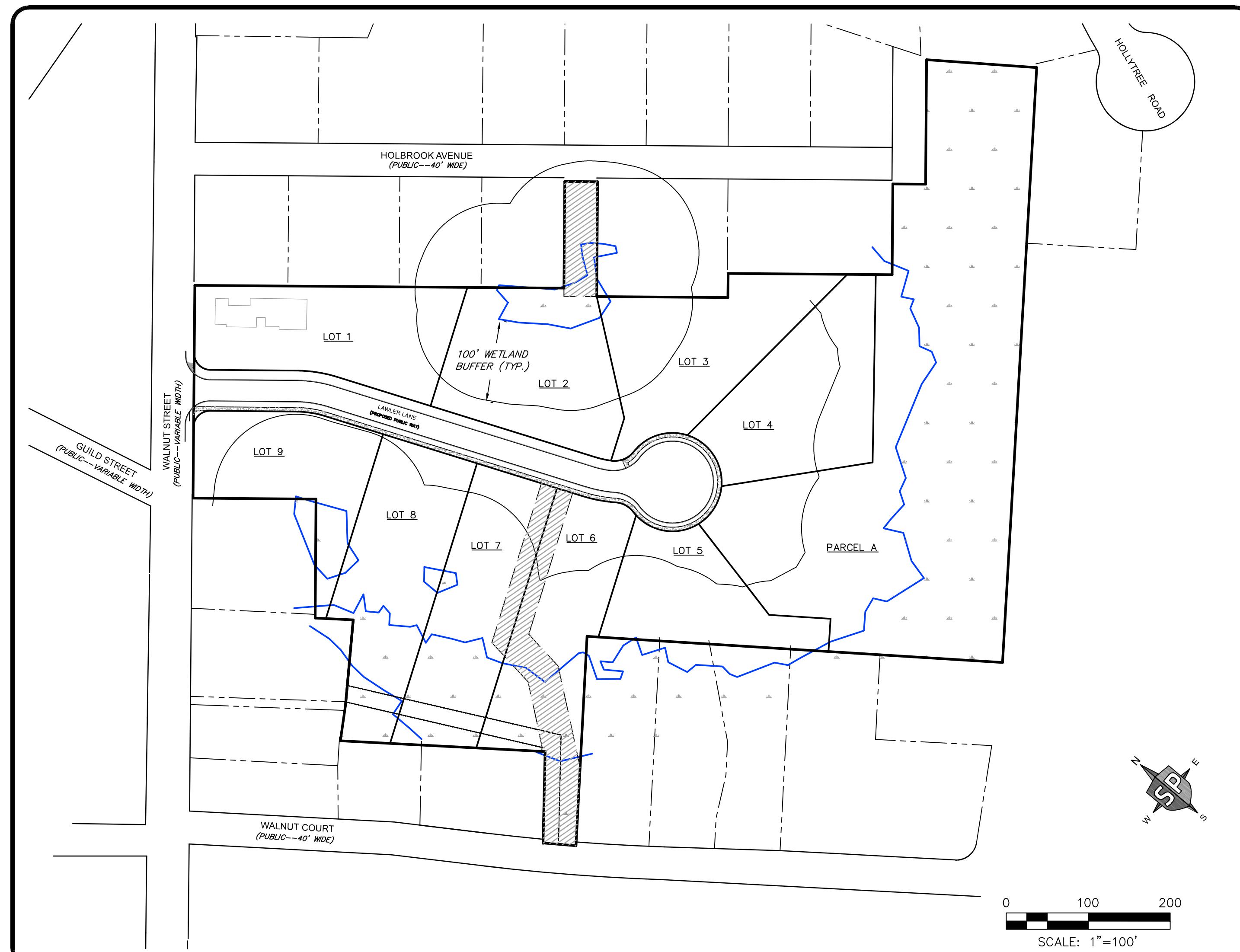
SECTION
IV.C.2b.7
VI.A.3
VI.A.2a
N/A

RELIEF REQUESTED
LARGE TREES NOT SHOWN ON PLAN
MAXIMUM LENGTH DEAD END STREET TO 600'
PAVEMENT WIDTH REDUCTION FROM 30' TO 26'
TO ALLOW TWO PROPOSED CURB CUTS ON PR. LOT 1 (EX. #379. WALNUT ST.)

DEFINITIVE SUBDIVISION PLANS FOR LAWLER LANE (FORMERLY JOHNSON AVENUE)

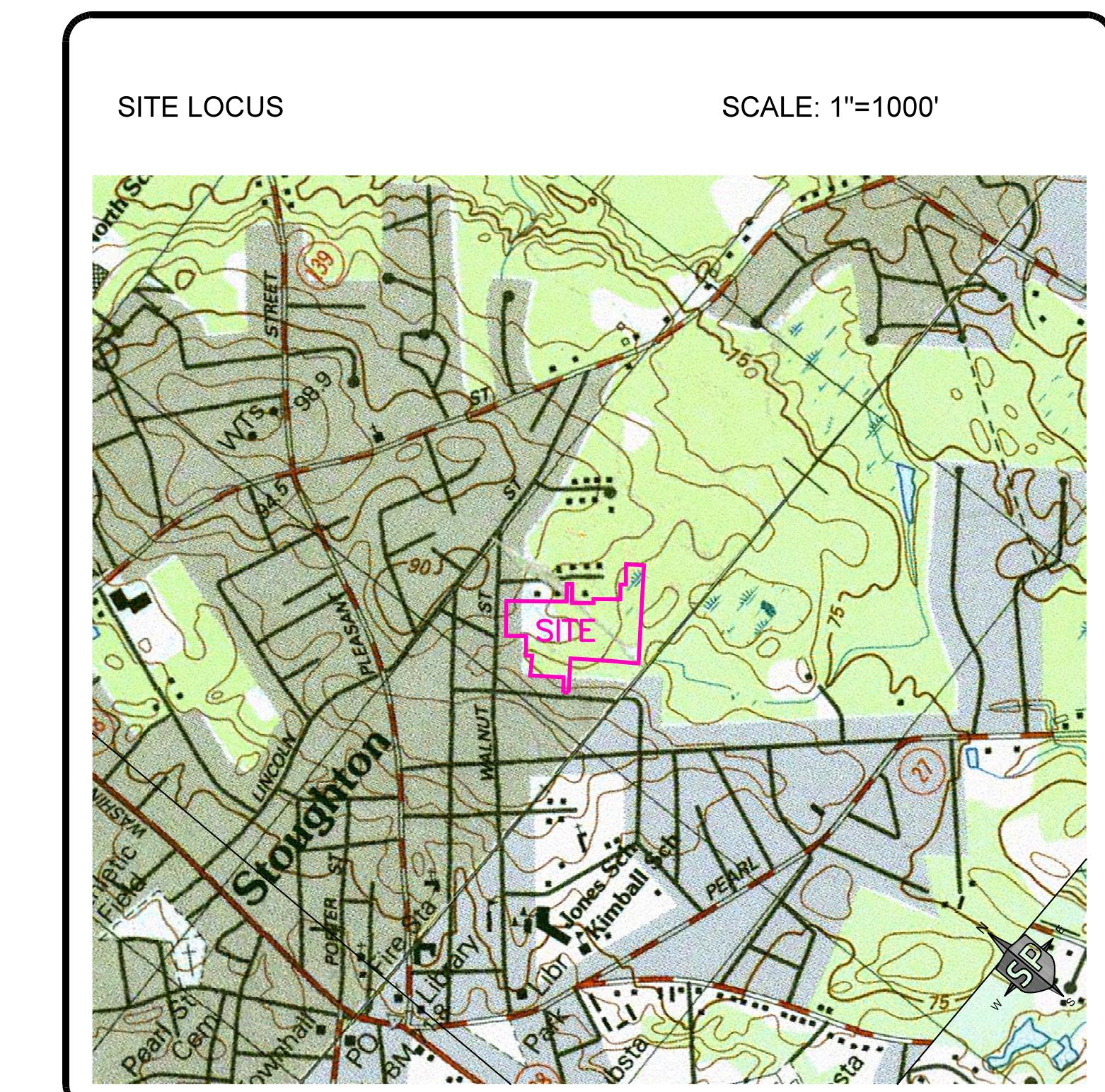
MAP 66 LOTS 185, 187, 188, 189,
190, AND MAP 67 LOTS 248, 253, 254 & 255

STOUGHTON, MA



SHEET INDEX

SHEET:	NAME:	ISSUED:	REVISED:
C-1	LOCUS PLAN	09/18/19	03/09/20
C-2	EXISTING CONDITIONS PLAN	09/18/19	03/09/20
C-3	LOT LAYOUT PLAN	09/18/19	03/09/20
C-4	PROPOSED LAYOUT PLAN	09/18/19	05/26/20
C-5	PROPOSED GRADING & UTILITY PLAN	09/18/19	05/14/20
C-6	PROPOSED PLAN & PROFILE	09/18/19	05/14/20
C-7	PROPOSED EROSION CONTROL PLAN	09/18/19	05/14/20
C-8	CONCEPTUAL LOT DESIGN PLAN	09/18/19	05/26/20
D-1 - D-3	DETAIL SHEETS	09/18/19	05/14/20
PB-1	PLANNING BOARD DECISION	07/20/20	-



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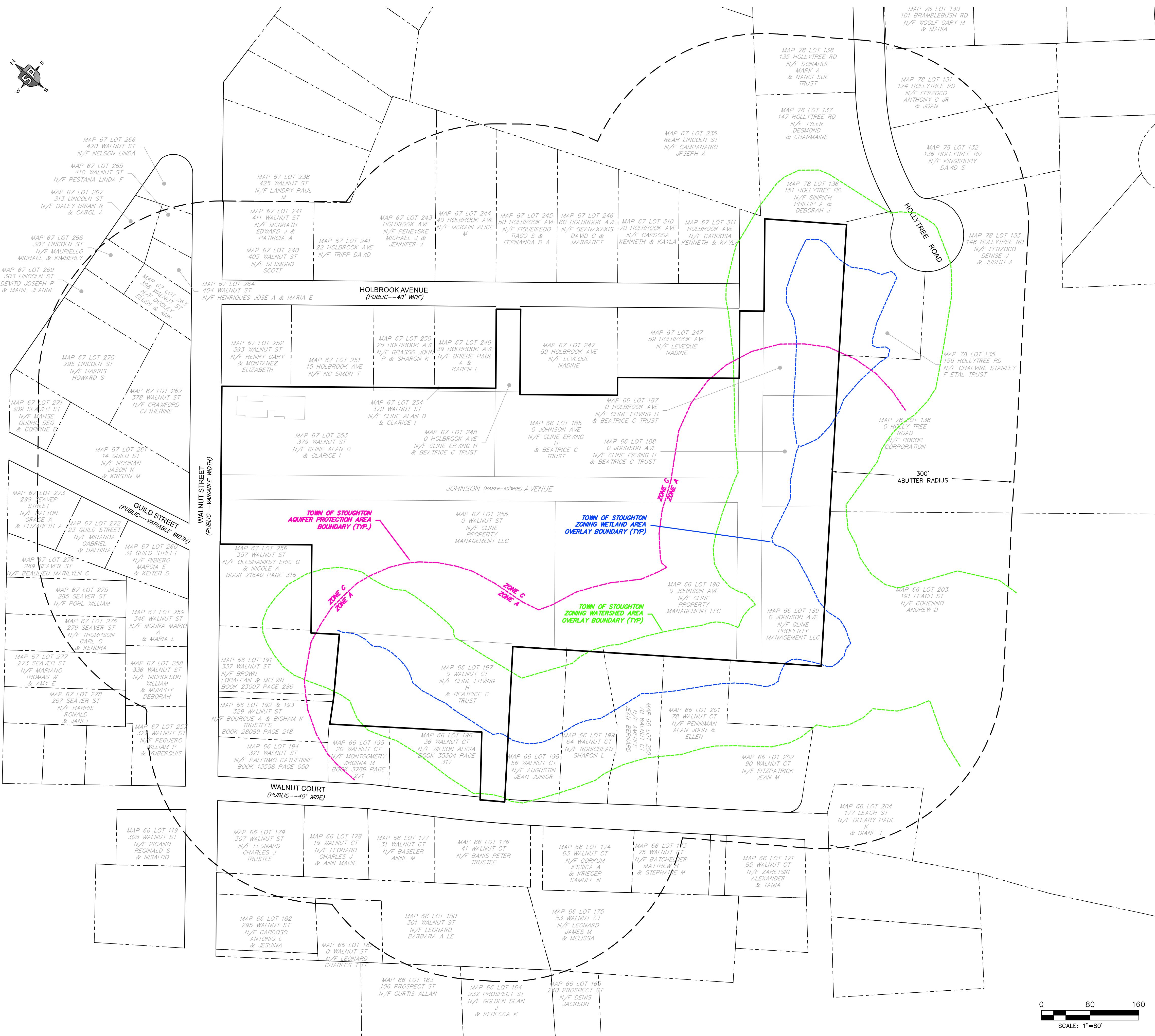
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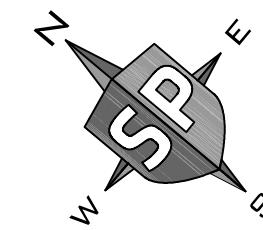
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NOTES:

1. PROPERTY BOUNDARY SHOWN HERE PROVIDED BY KLM LAND SURVEYING, INC. VIA AN ON THE GROUND SURVEY ON MARCH 17, 2018.
2. SITE LOCUS FALLS WITHIN A RESIDENTIAL-URBAN ZONING DISTRICT.
3. ABUTTER INFORMATION PRESENTED HERE TAKEN FROM MOST RECENT TOWN OF STOUGHTON TAX RECORDS.
4. OVERLAY BOUNDARIES TAKEN FROM TOWN OF STOUGHTON GIS DATA.





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EXISTING FEATURES

- PROPERTY BOUNDARY
- ABUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- SEWER LINE
- SEWER MANHOLE
- STONE WALL
- DRAIN LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SOIL TYPE BOUNDARY
- TEST PIT

NOTES:

1. PROPERTY BOUNDARY AND EXISTING CONDITIONS
SHOWN HERE PROVIDED BY KLM LAND SURVEYING, INC.
VIA AN ON THE GROUND SURVEY ON VARIOUS DATES
BETWEEN MARCH 2017 AND JUNE 2018.

2. WETLAND INFORMATION AND EXISTING FEATURES
SHOWN HERE TAKEN FROM PLAN ENTITLED ABBREVIATED
NOTICE OF RESOURCE AREA DELINEATION FOR JOHNSON
AVE. (PAPER-40' WIDE) PREPARED BY SP ENGINEERS
AND LAST REVISED JUNE 25, 2018 AND CONFIRMED VIA AN
ORDER OF RESOURCE AREA DELINEATION ISSUED ON
JUNE 7, 2018. REFER TO ABOVE REFERENCED PLAN
FOR ADDITIONAL FLAG NUMBERING.

3. SITE LOCUS FALLS WITHIN A RESIDENTIAL A
RESIDENTIAL-URBAN ZONING DISTRICT.

4. SITE LOCUS DOES NOT FALL WITHIN AN AREA OF
CRITICAL ENVIRONMENTAL CONCERN (ACEC).

5. SITE LOCUS DOES NOT CONTAIN ANY PRIORITY OR
ESTIMATED RARE SPECIES HABITS AS SHOWN ON THE
NATIONAL HERITAGE AND ENDANGERED SPECIES (NHESP)
ATLAS.

6. A FEMA FLOOD ZONE "A" EXISTS ON SITE AS SHOWN
ON THE FLOOD INSURANCE RATE MAP (FIRM) PANEL
NUMBER 250210214, DATED JULY 17, 2012.

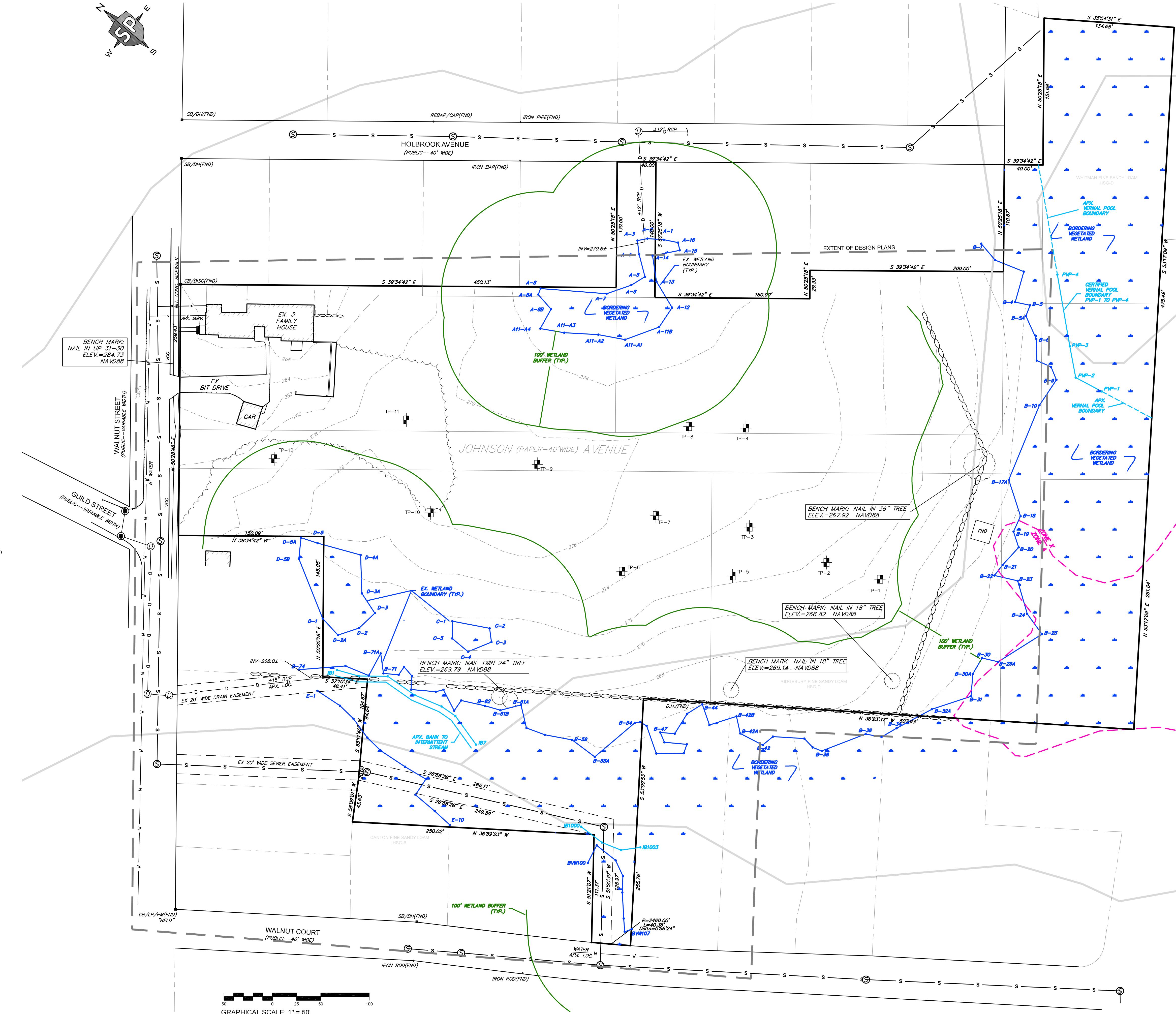
7. SITE LOCUS FALLS WITHIN ZONE A & C SURFACE
WATER PROTECTION ZONES AS SHOWN ON TOWN OF
STOUGHTON GIS.

8. THE CERTIFIED VERNAL POOL IS CLASSIFIED AS CVP
8042 BY NHESP.

9. ALL ELEVATIONS SHOWN HERE REFERENCE NGVD 88.

10. THE SITE IS LOCATED APPX. 3,150 FEET WEST OF THE
PRATTS COURT WATER SUPPLY WELL.

11. SOIL INFORMATION TAKEN FROM NRCS SOIL GIS DATA
LAYER.



PROFESSIONAL LAND SURVEYOR FOR
KLM LAND SURVEYING, INC.

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC



LOCUS SCALE: 1" = 1,000'

3 TOWN ENG & CON COM COMMENTS 03/09/20
2 TOWN ENG & CON COM COMMENTS 02/05/20
1 TOWN ENG COMMENTS 12/09/19
REV DESCRIPTION DATE

STRONGPOINT
ENGINEERING SOLUTIONS, INC.
340 MANLEY STREET, UNIT 2
WEST BOSTON, MASSACHUSETTS 02379
(508) 682-0229

PROJECT NUMBER: 1704-003

DATE OF ISSUE: SEPTEMBER 18, 2019

SCALE: AS NOTED

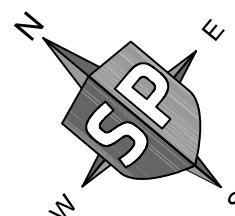
DESIGNED BY: SH CHECKED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

EXISTING
CONDITIONS
PLAN C-2



DATE:

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EXISTING FEATURES

- PROPERTY BOUNDARY
- ABUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- 50' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY

PROPOSED FEATURES

- LOT LINE
- CENTERLINE
- SETBACK LINE
- VERTICAL GRANITE CURB
- SIDEWALK
- EASEMENT
- SPLIT RAIL FENCE
- TREE
- STREET LIGHT
- SIGN
- STONE WALL

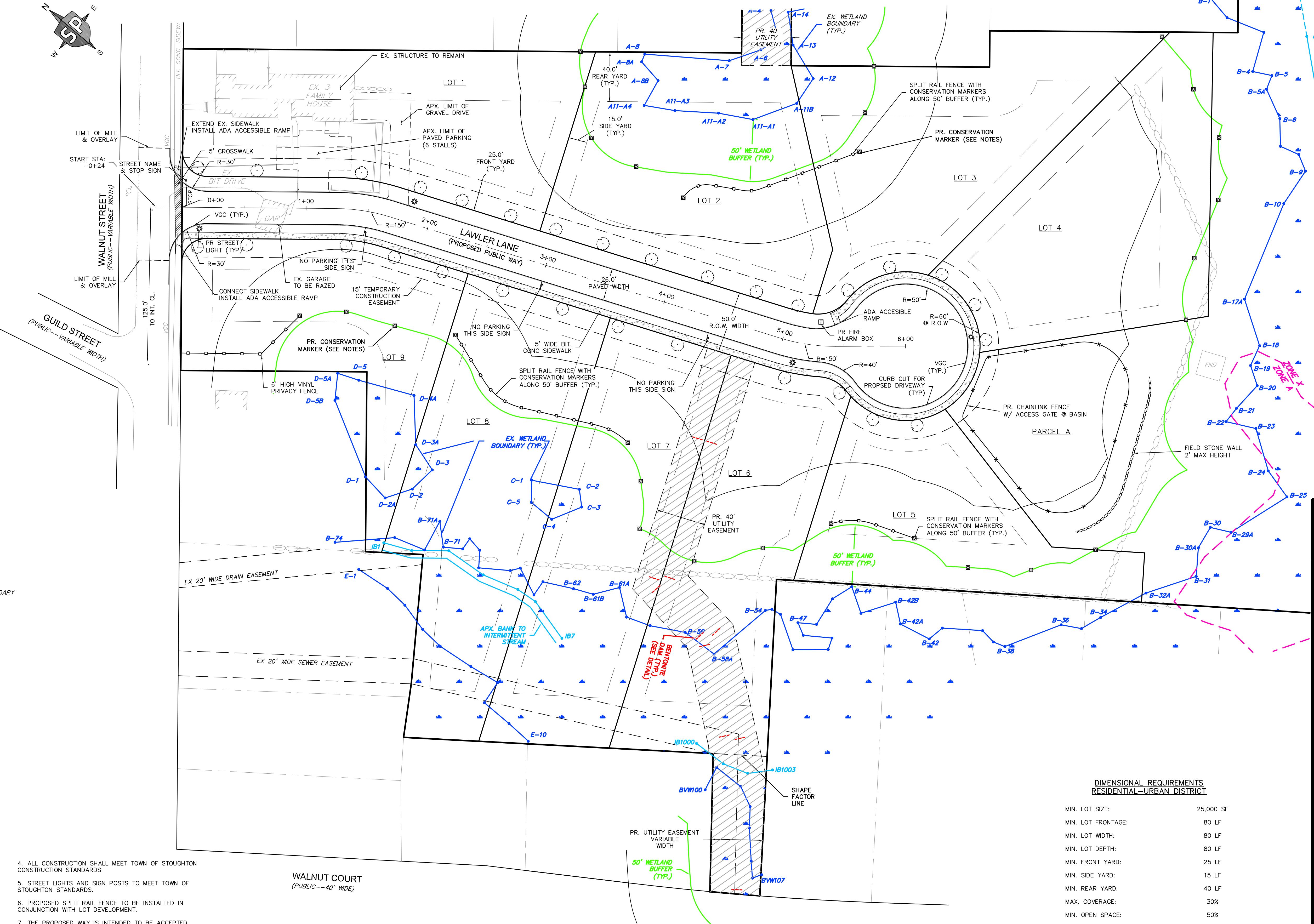
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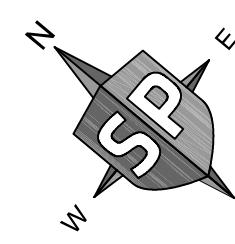
2. METLAND INFORMATION AND EXISTING FEATURES
SHOWN HERE TAKEN FROM PLAN ENTITLED ABBREViated
NOTICE OF RESOURCE AREA DELINEATION FOR JOHNSON
AVE, STOUGHTON MA" PREPARED BY THIS OFFICE AND
LAST REVISED JUNE 25, 2018 AND CONFIRMED VIA AN
ORDER OF RESOURCE AREA DELINEATION ISSUED ON
JUNE 7, 2018.

3. STREET TREES SHALL BE AT LEAST 12' IN HEIGHT,
TWO AND A HALF (2.5') IN CALIPER AS MEASURED 4'
ABOVE GRADE AND SHALL BE PLANTED IN AT LEAST
ONE HALF CUBIC FEET OF TOP SOIL. STREET TREES
SHALL BE PLANTED APPROXIMATELY 40 FEET ON
CENTER OR AS CLOSE THERETO AS SITE CONDITIONS
ALLOW.

STREET TREES SHALL BE FROM THIS APPROVED LIST:

SUGAR MAPLE
GREEN LEAF
SCARLET OAK
BLACK OAK
CHESTNUT OAK
RED OAK
AMERICAN BASSWOOD
AMERICAN HORNBEE





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EXISTING FEATURES

- PROPERTY BOUNDARY
- ABUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- SEWER LINE
- SEWER MANHOLE
- STONE WALL
- INDEX CONTOUR
- INTERMEDIATE CONTOUR

PROPOSED FEATURES

- LOT LINE
- EDGE OF PAVEMENT
- SIDEWALK
- DRAINAGE DEPRESSION
- DRAIN PIPE
- CATCHBASIN
- DRAINAGE MANHOLE
- SEWER LINE
- SEWER MANHOLE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- EROSION CONTROL BARRIER/
LIMIT OF WORK (ROADWAY)
- SA
- STOCKPILE AREA

GENERAL SEQUENCING OF EROSION CONTROLS

THE FOLLOWING PROVIDES A GENERAL PROTOCOL FOR MINIMUM EROSION CONTROL SEQUENCING AND REQUIREMENTS RELATIVE TO THE PROPOSED ROADWAY CONSTRUCTION. THE DETAILS PROVIDED ARE A MINIMUM GUIDE ONLY. ADDITIONAL CONTROLS MAY BE IMPLEMENTED OR SEQUENCING ADJUSTED AS APPROPRIATE IN KEEPING WITH THE INTENT OF THE PROTOCOL GIVEN.

1. STAKE LIMITS OF CLEARING AND REFRESH/REHANG ALL MISSING OR UNREADABLE WETLAND FLAGS IN THE VICINITY OF THE PROPOSED WORK.
2. PERFORM CLEARING AND CURB CUT NECESSARY TO INSTALL STONE CONSTRUCTION ENTRANCES.
3. INSTALL STONE CONSTRUCTION ENTRANCES.
4. PERFORM TREE CUT WITHIN LIMITS OF WORK.
5. INSTALL EROSION CONTROL BARRIERS AT LIMIT OF WORK AS DEPICTED AND PREPARE DESIGNATED STOCKPILE AREAS IN LOCATIONS SHOWN.
6. PERFORM CLEARING AND GRUBBING NECESSARY FOR ROADWAY CONSTRUCTION.
7. STRIP AND STOCKPILE LOAM.
8. PERFORM EARTHWORK CUTS AND FILLS FOR ROUGH GRADE.
9. STOCKPILE AND SCREEN CUT MATERIAL AS APPROPRIATE.
10. ROUGH GRADE STORMWATER BASIN AND ADD BARRIER CONTROLS TO LIMIT SEDIMENT ACCUMULATION.
11. INSTALL INLET FILTERS AT BASIN TO REMAIN UNTIL CONTRIBUTING AREAS ARE STABILIZED.
12. INSTALL DRAINAGE STRUCTURES AND PIPEWORK STARTING DOWN GRADIENT AND WORKING UP AS APPROPRIATE.
13. INSTALL INLET CONTROLS AT ANY PROPOSED STRUCTURAL STORMWATER CONVEYANCE WITH THE POTENTIAL TO ACCEPT RUNOFF.
14. INSTALL REMAINDER OF UNDERGROUND UTILITIES, WATER AND SEWER MAINS WITHIN WETLAND RESOURCE AREAS TO BE INSTALLED DURING NO OR EXTREMELY LOW FLOW CONDITIONS (TYPICALLY JULY/AUG). COORDINATION WITH ENGINEER OF RECORD AND TOWN OF STOUGHTON CONSERVATION AND ENGINEERING DEPARTMENT IS MANDATORY PRIOR TO BEGINNING ANY WORK WITHIN WETLAND RESOURCE AREAS.
15. REMOVE ANY FOREIGN DEBRIS FROM ISOLATED WETLAND RESOURCE AREAS NOTED. COORDINATION WITH ENGINEER OF RECORD AND TOWN OF STOUGHTON CONSERVATION AND ENGINEERING DEPARTMENT IS MANDATORY PRIOR TO BEGINNING ANY WORK WITHIN WETLAND RESOURCE AREAS.
16. PERFORM TEMPORARY PLANTINGS AND SLOPE STABILIZATIONS AS NECESSARY.
17. FINISH GRADE ROADWAY FOR PAVEMENT PREP.
18. PLACE SUB-BASE AND BINDER COURSE PAVEMENT.
19. COMPLETE ROADWAY CONSTRUCTION.
20. PERFORM LOT CONSTRUCTION IMPLEMENTING ADDITIONAL CONTROLS ON A CASE-BY-CASE BASIS AS NECESSARY.
21. PLACE TOP COURSE PAVEMENT.
22. LOAD AND SEED DISTURBED AREAS.
23. REMOVE REMAINING EROSION CONTROL DEVICES UPON COMPLETE STABILIZATION.

STREAM CROSSING INSTALLATION NOTE

THE EXISTING STREAM BANK IS LOCATED SOUTH OF THE EXISTING SEWER MANHOLE PROPOSED FOR CONNECTION AND HAS A FULL BANK WIDTH OF APPROXIMATELY FEET.

GIVEN THE NARROWNESS OF THE BANK JACKING IS THE PREFERRED METHOD OF UTILITY MAIN INSTALLATION UNDER THE EXISTING BANK TO LIMIT DISTURBANCES AND NEGATE THE NEED FOR DIVERSION TO THE MAXIMUM EXTENT POSSIBLE.

FINAL MEANS AND METHOD OF INSTALLATION SHALL BE DETERMINED BASED ON FIELD CONDITIONS AT THE TIME OF INSTALLATION AND SHALL BE COORDINATED WITH THE ENGINEER OF RECORD, CONSERVATION AGENT, AND TOWN ENGINEER PRIOR TO GROUNDBREAK.

GENERAL NOTES:

1. EROSION CONTROLS DEPICTED ON THIS PLAN ARE INTENDED TO PROVIDE A REASONABLE GUIDE TO THE MINIMUM EROSION AND SEDIMENT CONTROL REQUIREMENTS FOR THE PROPOSED SITE WORK CONSTRUCTION. THE CONTROLS DEPICTED ARE MINIMUM REQUIREMENTS AND MAY NOT BE THE ONLY EROSION AND SEDIMENT CONTROL MEASURES THAT MAY BE DEEMED NECESSARY BY THE APPLICANT, STORMWATER CONSULTANT, AND/OR TOWN OF STOUGHTON REPRESENTATIVE.

2. LOCATIONS OF CONTROLS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FIELD CONDITIONS AND SITE WORK REQUIREMENTS.

3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSACHUSETTS (DEP) EROSION AND SEDIMENTATION CONTROL ORDINANCES, AND, WHERE APPROPRIATE, THE U.S.A. S.C.S. EROSION AND SEDIMENTATION CONTROL INSTRUCTIONS. THE TOWN OF STOUGHTON CONSERVATION COMMISSIONER, 1983 AND ALL LOCAL MUNICIPAL REGULATIONS, CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE DOCUMENTS.

4. CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO ENSURE THAT NO SEDIMENT OR STORMWATER RUNOFF OR OTHER DISCHARGE IS DIRECTED TO ANY EXISTING CONSTRUCTION, ADJACENT PROPERTY, OR PUBLIC AREAS. THESE AREAS SHALL BE CONSIDERED CRITICAL AND SHALL BE PROTECTED TO THE MAXIMUM EXTENT PRACTICABLE. ANY SEDIMENT DISCHARGED TO THESE AREAS SHALL BE REMOVED WITHIN 24 HOURS IN ITS ENTIRETY BY APPROPRIATE MEANS.

5. THE LIMITS OF WORK SHALL BE CONSISTENT WITH THE MINIMUM AREA REQUIRED TO BE DETERMINED AND SHOWN AS THE PERIMETER OF THE EROSION CONTROL BARRIER DEPICTED.

6. ALL EXCAVATIONS SHOULD BE PERFORMED AND BACKFILLED APPROPRIATELY IN AS EXPEDITIOUS A MANNER AS POSSIBLE. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO ANTICIPATE INCLEMENT WEATHER CONDITIONS AND ANY OTHER FACTORS THAT MAY INFLUENCE EROSION AND SEDIMENTATION CONTROL RELATIVE TO THIS WORK AND TO TAKE APPROPRIATE MEASURES.

7. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO KEEP VEHICULAR TRAVELED WAYS CLEAN AND SHALL SWEEP AND REMOVE ALL DEBRIS DAILY AT A MINIMUM. ANY LARGE STONES (2" DIA OR GREATER) OR DEBRIS SHALL BE REMOVED FROM THE ROADWAY IMMEDIATELY.

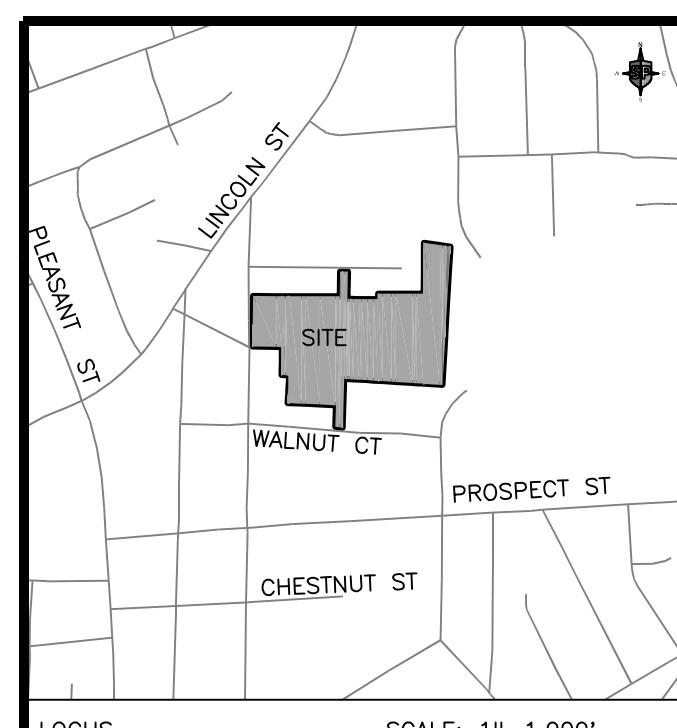
8. REFER TO PROJECT STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.

9. STOCKPILE AREAS TO BE REINFORCED WITH EROSION CONTROLS ON DOWN GRADIENT SIDE AS NECESSARY. STOCKPILE LOCATIONS SHOWN APPROXIMATELY AND MAY BE RELOCATED IN KEEPING WITH THE INTENT OF THE PLAN AS NEEDED. IN NO CASE WILL A STOCKPILE AREA BE LOCATED WITHIN THE 100' WETLAND BUFFER ZONE.

10. THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE EPA'S NPDES CCR.

11. PROPOSED DETENTION BASIN MAY BE USED FOR TEMPORARY STORMWATER CONTROL DURING CONSTRUCTION BUT SHALL BE PROTECTED FROM SEDIMENT ACCUMULATION AT ALL TIMES AND SHALL BE DRAINED AND RELOCATED AS NECESSARY. THE BASIN SHALL BE REMOVED BY APPROPRIATE MEANS IMMEDIATELY. CONTRACTOR SHALL TAKE THE UTMOST CARE TO ENSURE THE INFILTRATIVE CAPABILITY OF THE PROPOSED BASIN IS NOT COMPROMISED DURING THE CONSTRUCTION PROCESS, INCLUDING BUT NOT LIMITED TO INTRODUCTION OF EXCESSIVE SEDIMENT AND OR COMPACTION.

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC



LOCUS SCALE: 1"=1,000'

4 hydrant location 05/14/20
3 town eng & con com comments 03/09/20
2 town eng & con com comments 02/05/20
1 town eng comments 12/09/19

REV DESCRIPTION DATE

STRONGPOINT
ENGINEERING SOLUTIONS, INC.
340 MANLEY STREET, UNIT 2
WEST BOSTON, MASS. 02139
(508) 632-0229

PROJECT NUMBER: 1704-003

DATE OF ISSUE: SEPTEMBER 18, 2019

SCALE: AS NOTED

DESIGNED BY: SH CHECKED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

**DEFINITIVE
SUBDIVISION PLAN**
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

PROPOSED
EROSION CONTROL
PLAN

C-7

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- ABUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- SEWER LINE
- SEWER MANHOLE
- STONE WALL
- INDEX CONTOUR
- INTERMEDIATE CONTOUR

PROPOSED FEATURES

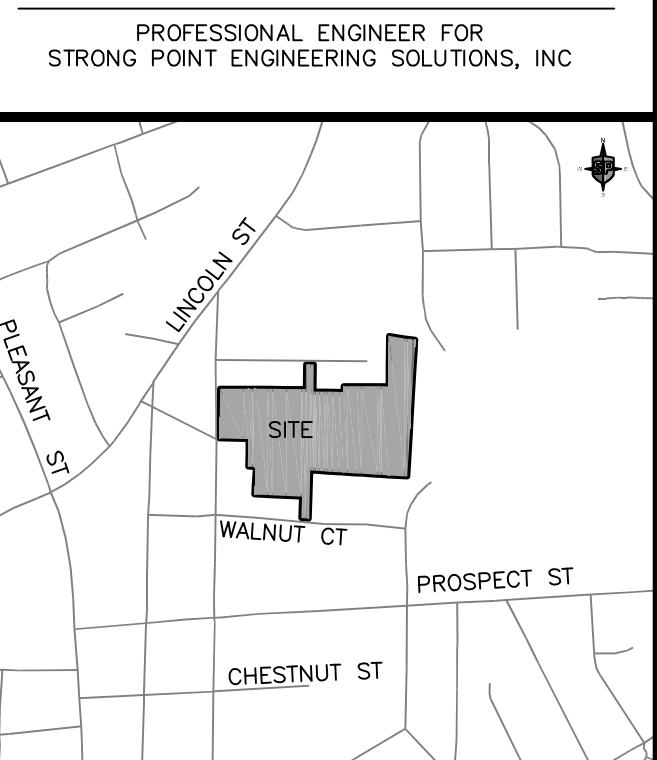
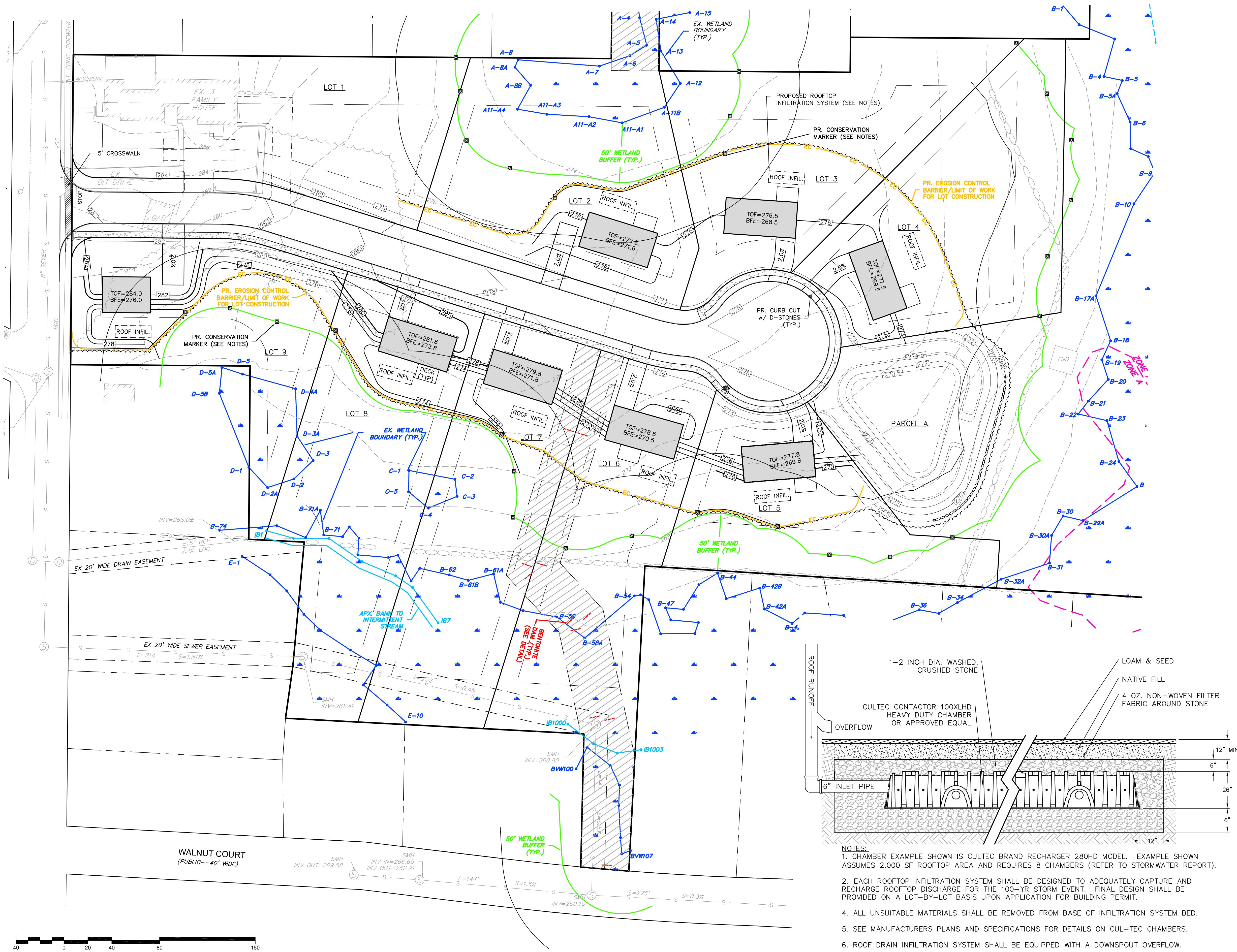
- LOT LINE
- EDGE OF PAVEMENT
- SIDEWALK
- INDEX CONTOUR (ROADWAY)
- INDEX CONTOUR (LOTS)
- INTERMEDIATE CONTOUR (LOTS)
- TREELINE/LIMIT OF WORK (LOT)
- SPLIT RAIL FENCE (LOTS)
- FIELD STONE RETAINING WALL

NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW CONCEPTUAL
LOT DESIGN IN ORDER TO DESIGN THE OVERALL
DRAINAGE OF THE SITE. ALL FOOTNOTES AND
DRAWINGS ARE CONCEPTUAL ONLY AND SHOULD NOT BE
CONSIDERED FINAL. FINAL LOT DESIGN WILL BE SUBJECT
TO BUILDING PERMITS AND NOTICES OF INTENT WHERE
APPLICABLE.

2. EACH PROPOSED ROOFTOP SHALL BE EQUIPPED WITH
A SUBSURFACE INFILTRATION SYSTEM CAPABLE OF
PROPERLY MITIGATING THE 100-YR STORM EVENT. FINAL
DESIGN FOR EACH LOT SHALL BE DETERMINED UPON
APPLICATION FOR BUILDING PERMIT.

3. CONSERVATION MARKERS SHALL BE PLACED ALONG
THE 50' WETLAND BUFFER LINE GENERALLY LOCATED AS
SHOWN. SPACING SHALL NOT EXCEED 50'. MARKERS
SHALL BE CONCRETE WITH MEDALLIONS DEMARCATING
THE 50' BUFFER LINE AND SHALL EXIST 4" ABOVE
THE GROUND SURFACE. FINAL LOCATION OF
CONSERVATION MARKERS SHALL BE COORDINATED WITH
THE CONSERVATION COMMISSION UPON FILING OF A
NOTICE OF INTENT FOR EACH INDIVIDUAL LOT REQUIRED.



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC

LOCUS		SCALE: 1'=1,000'
5	CONSERVATION MARKERS	05/26/20
4	HYDRANT LOCATION	05/14/20
3	TOWN ENG & CON COM COMMENTS	03/09/20
2	TOWN ENG & CON COM COMMENTS	02/05/20
1	TOWN ENG COMMENTS	12/09/19
REV	DESCRIPTION	DATE

STRONGPOINT
ENGINEERING SOLUTIONS, INC.
349 MANLEY STREET, UNIT 2
WEST BRIDGEWATER, MA. 02378
(508) 862-0229

PROJECT NUMBER: 1704-003

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PREPARED ON BEHALF OF:
AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

**DEFINITIVE
SUBDIVISION PLAN**
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

PROPOSED
CONCEPTUAL LOT
GRADING PLAN
C-8

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

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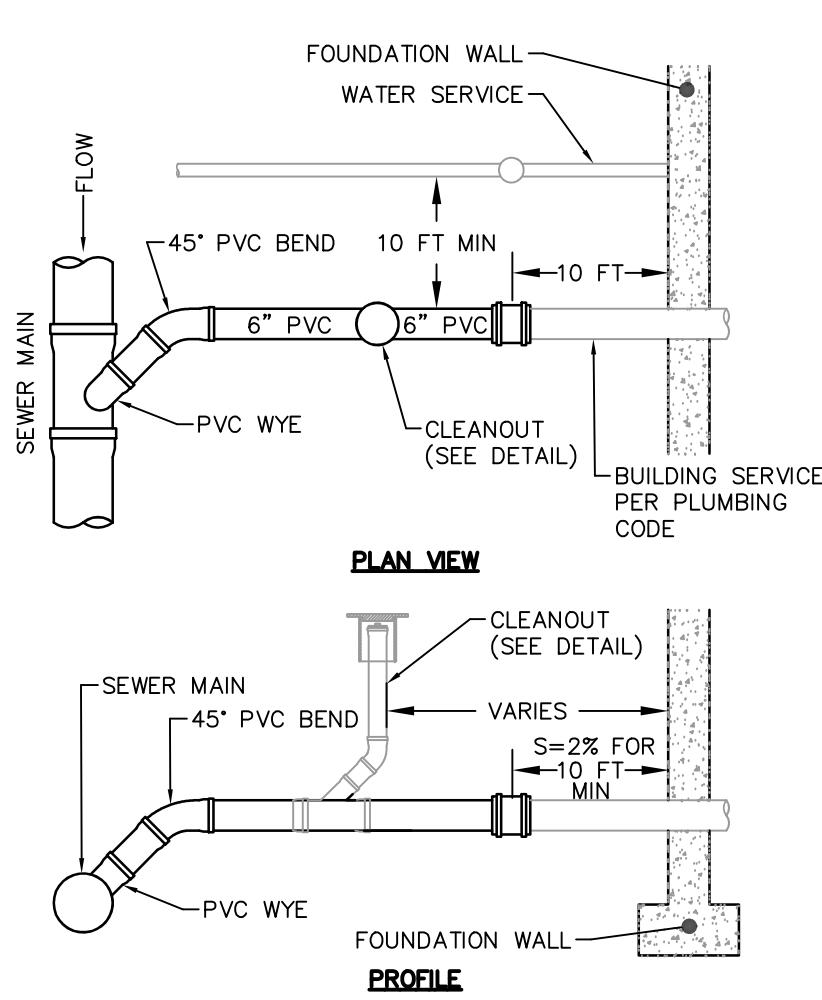
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EXECUTED BY _____, DATE _____,
AND TO BE RECORDED HEREWITHE.

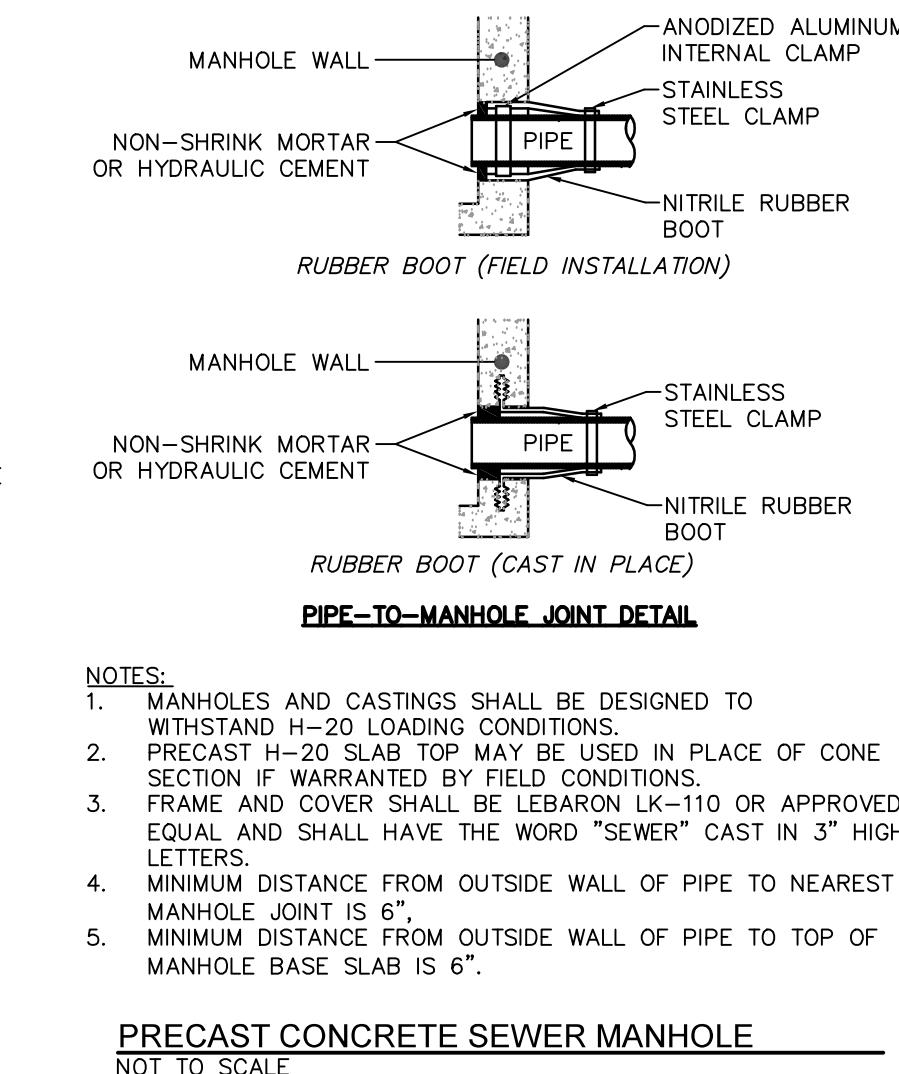
APPROVED _____, SUBJECT TO CONDITIONS
SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH
THE TOWN CLERK ON _____.

I, _____, TOWN CLERK OF THE TOWN
OF STOUGHTON, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD WAS RECEIVED AND RECORDED
AT THIS OFFICE ON _____. NO NOTICE
OF APPEAL WAS RECEIVED DURING THE TWENTY
DAYS NEXT FOLLOWING SUCH RECEIPT AND
RECORDING OF SAID NOTICE.

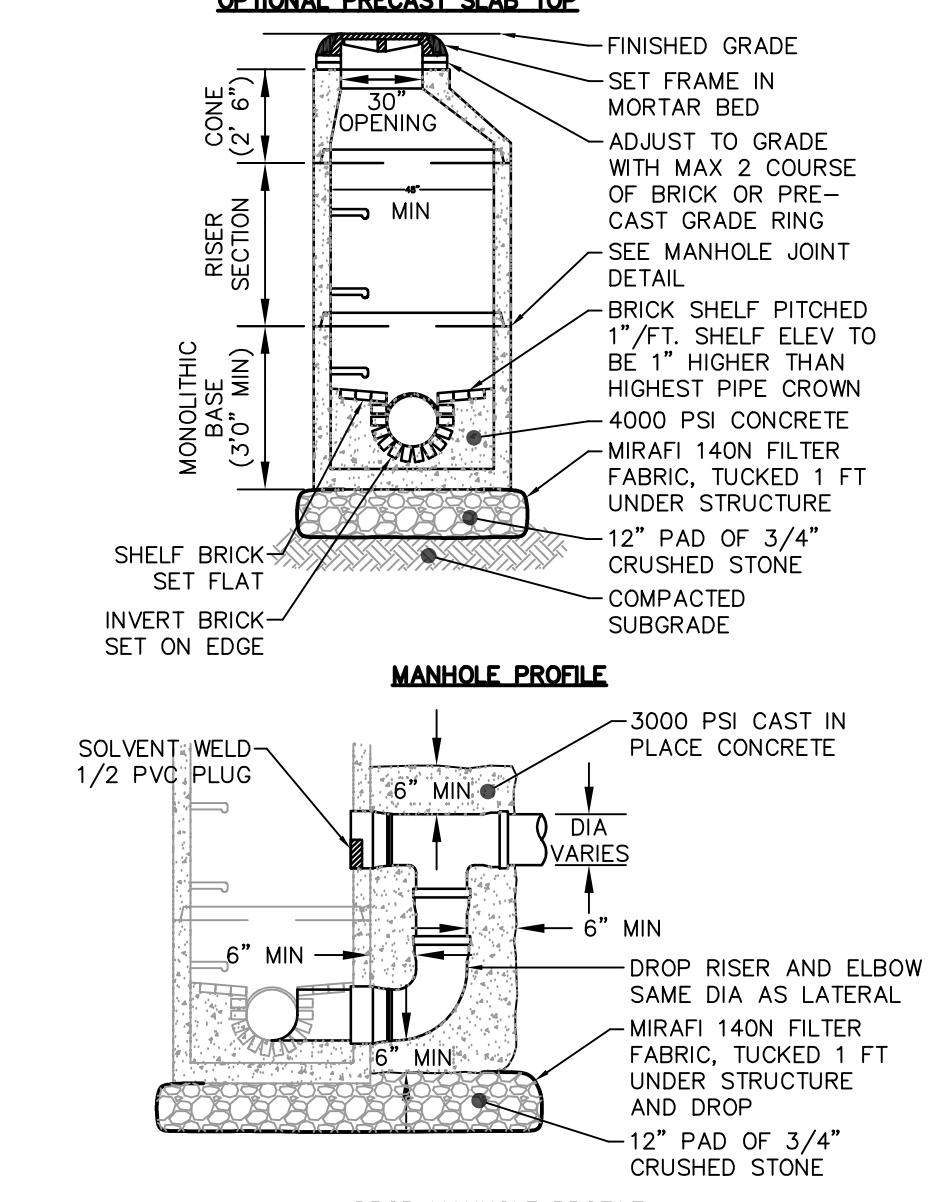
TOWN CLERK DATE



SEWER SERVICE
NOT TO SCALE

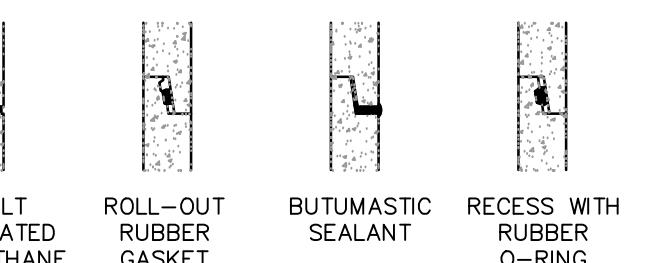


PIPE-TO-MANHOLE JOINT DETAIL
NOT TO SCALE

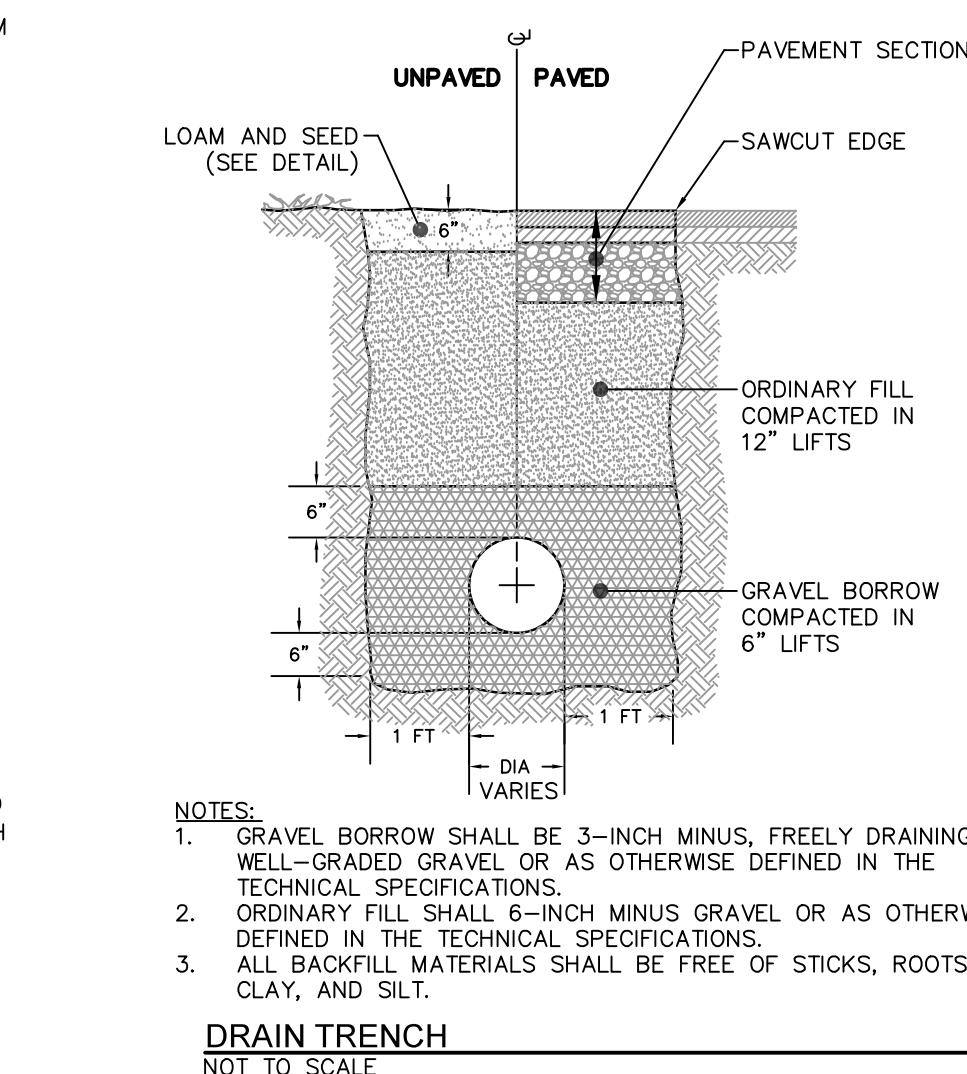


DROP MANHOLE PROFILE

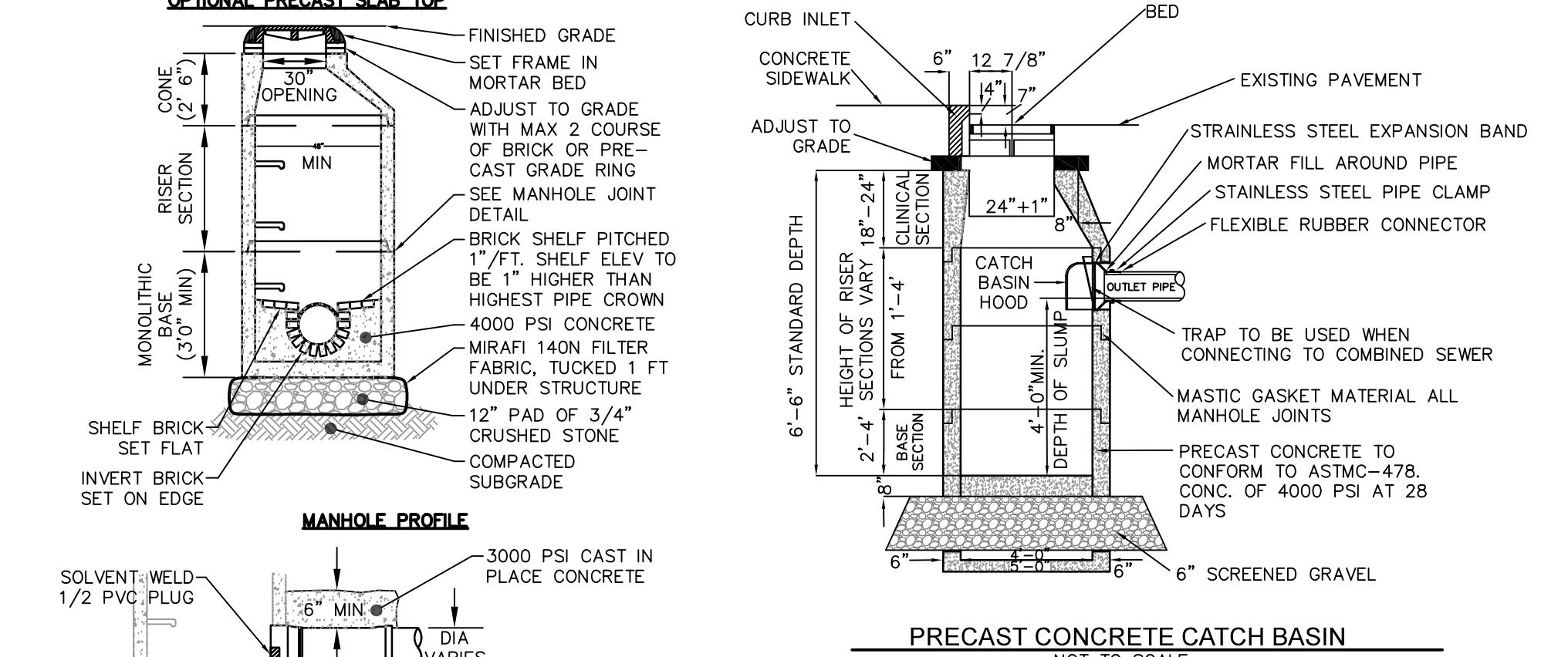
ARROWS INDICATE FLOW DIRECTION
INVERT CONFIGURATION



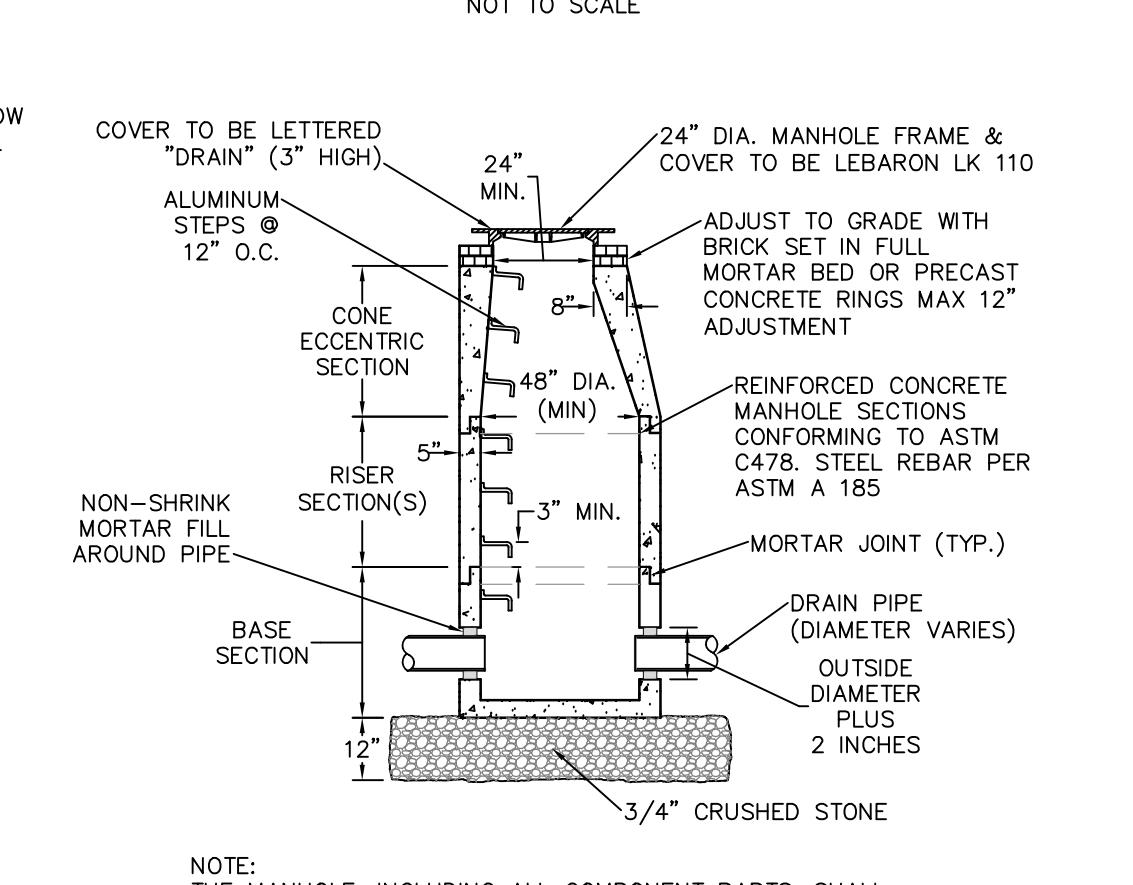
MANHOLE JOINT DETAIL



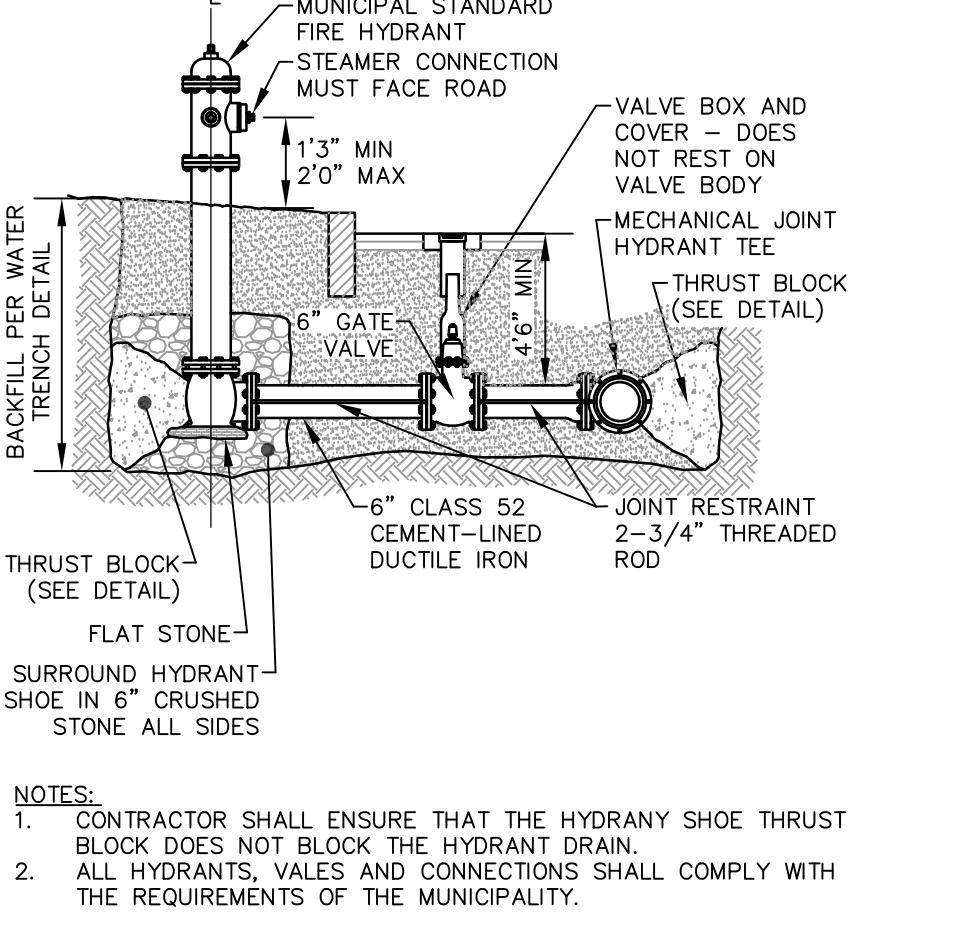
PREFAB CONCRETE DRAIN MANHOLE
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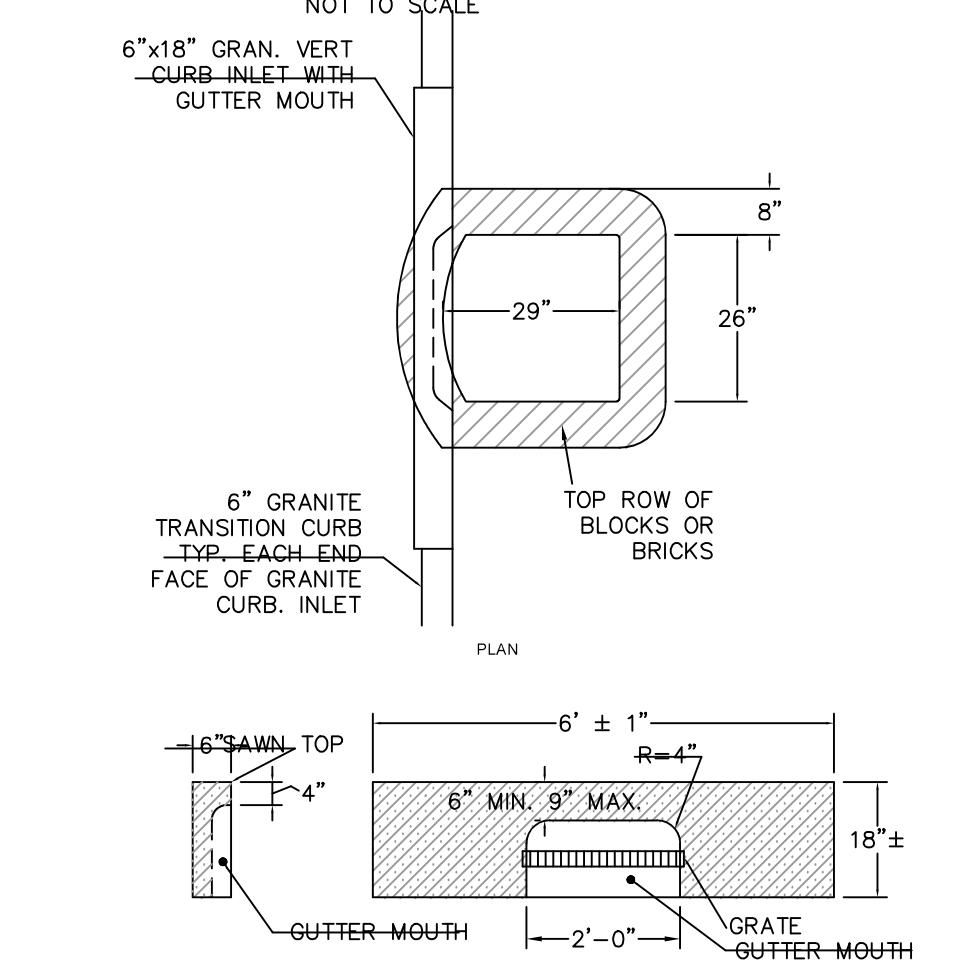
PREFAB CONCRETE CATCH BASIN
NOT TO SCALE



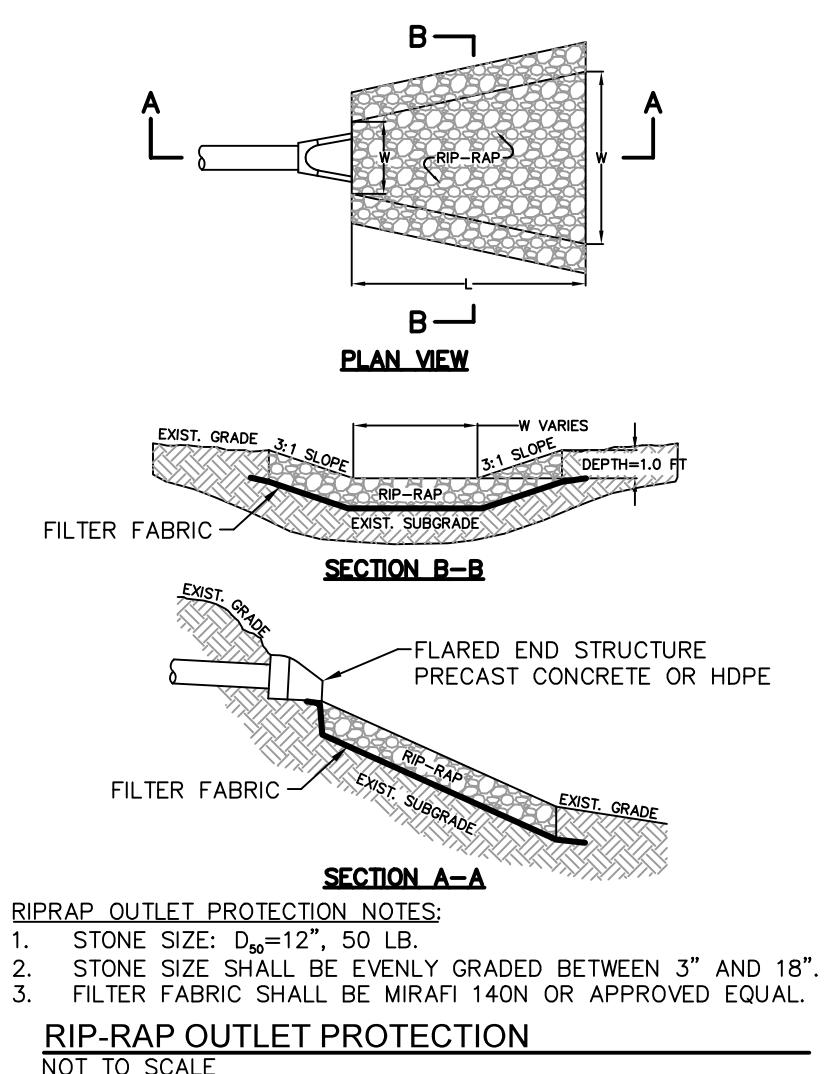
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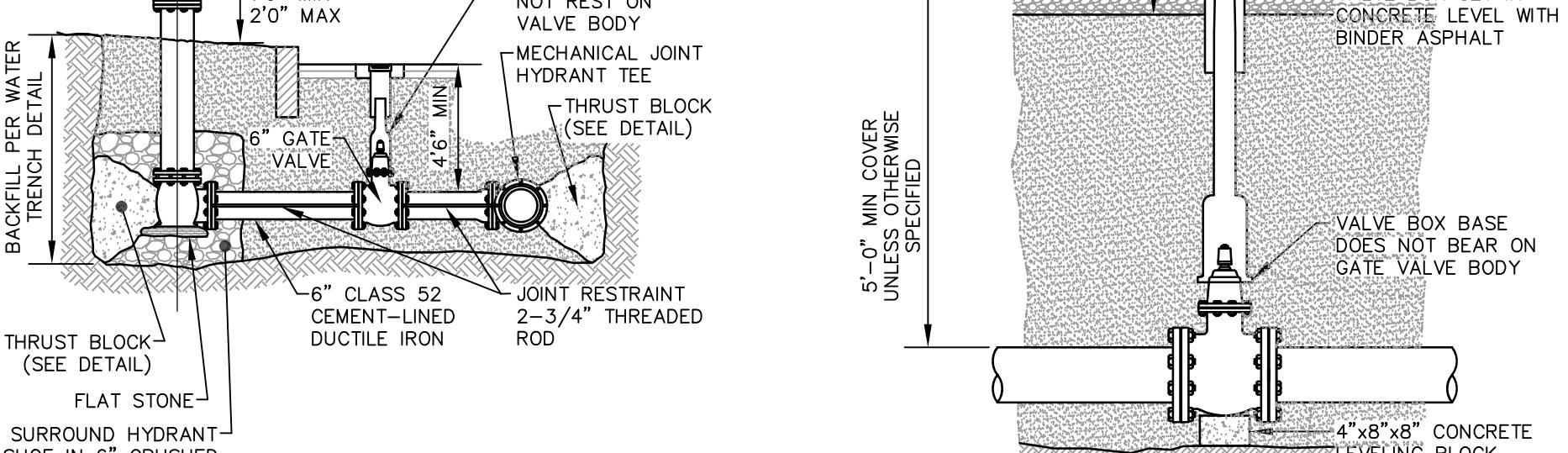
FIRE HYDRANT CONNECTION
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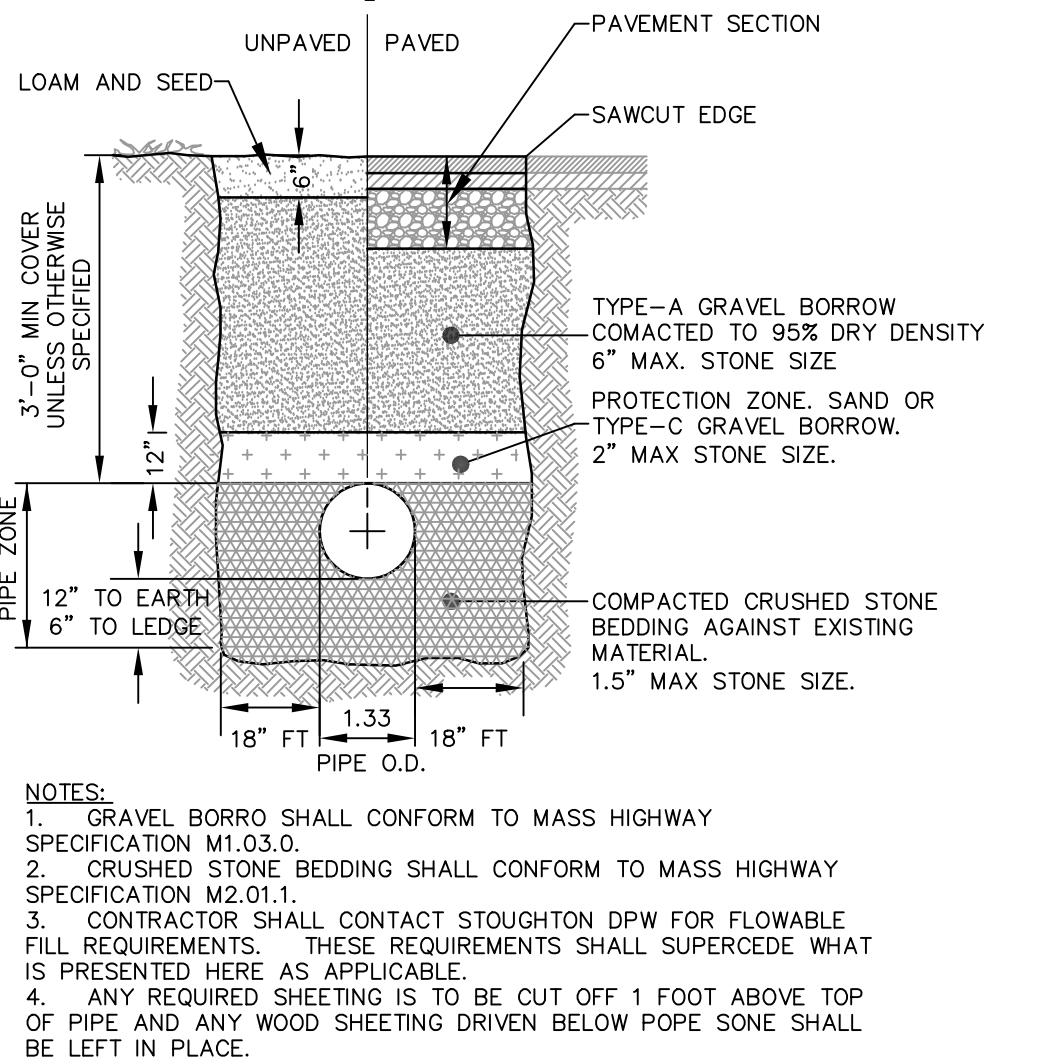
GRANITE VERTICAL CURB INLET
NOT TO SCALE



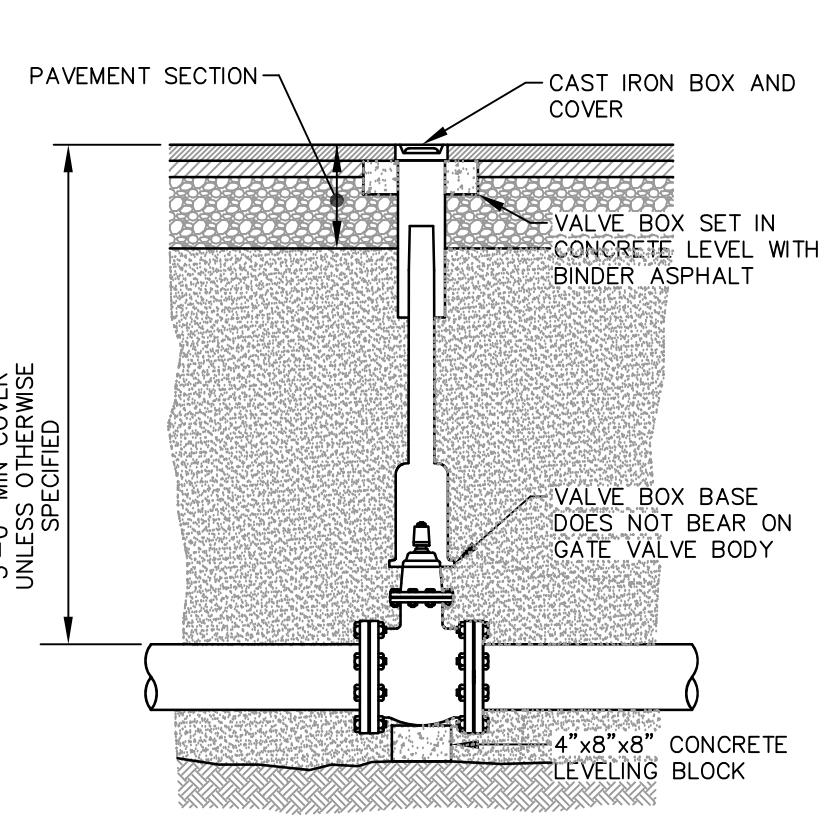
RIP-RAP OUTLET PROTECTION
NOT TO SCALE



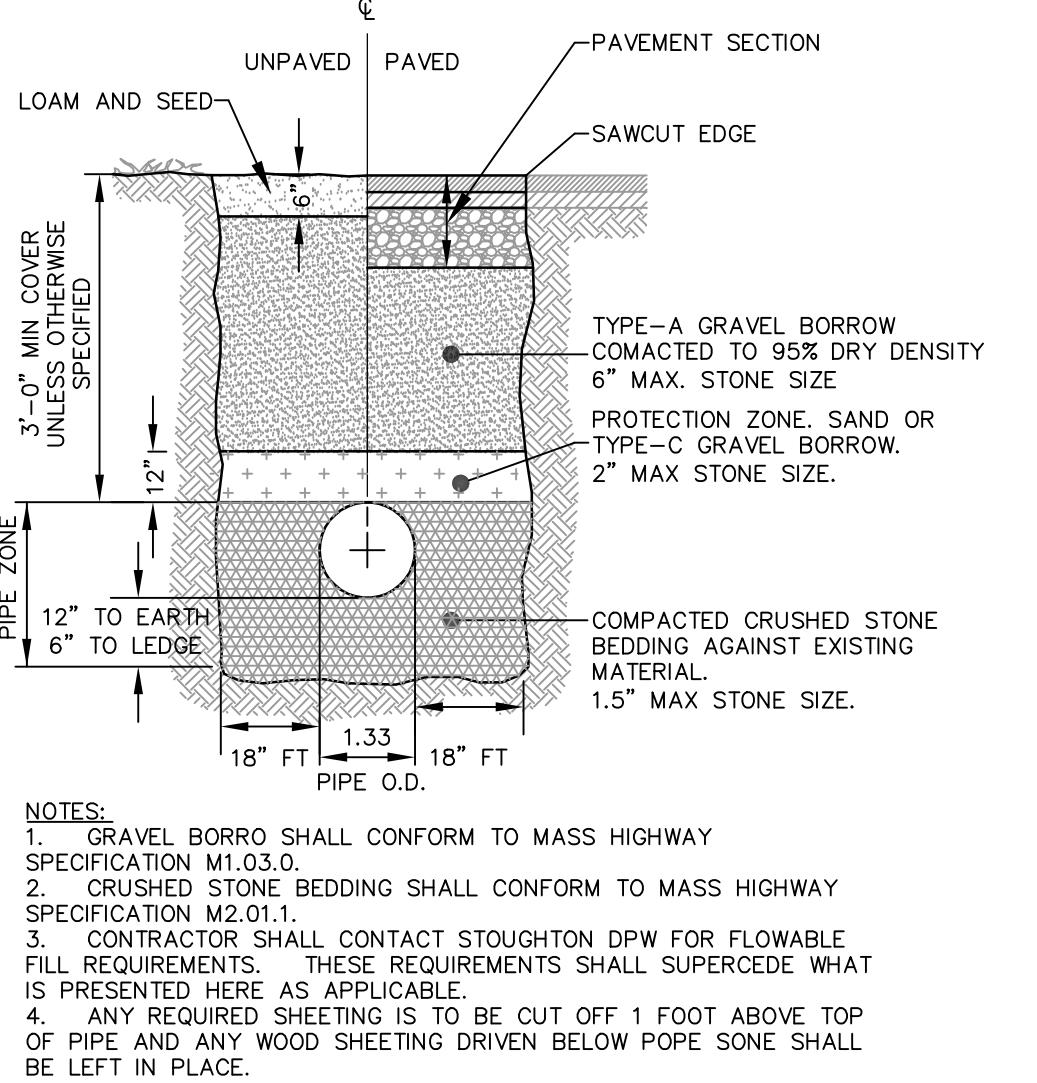
VALVE BOX AND COVER
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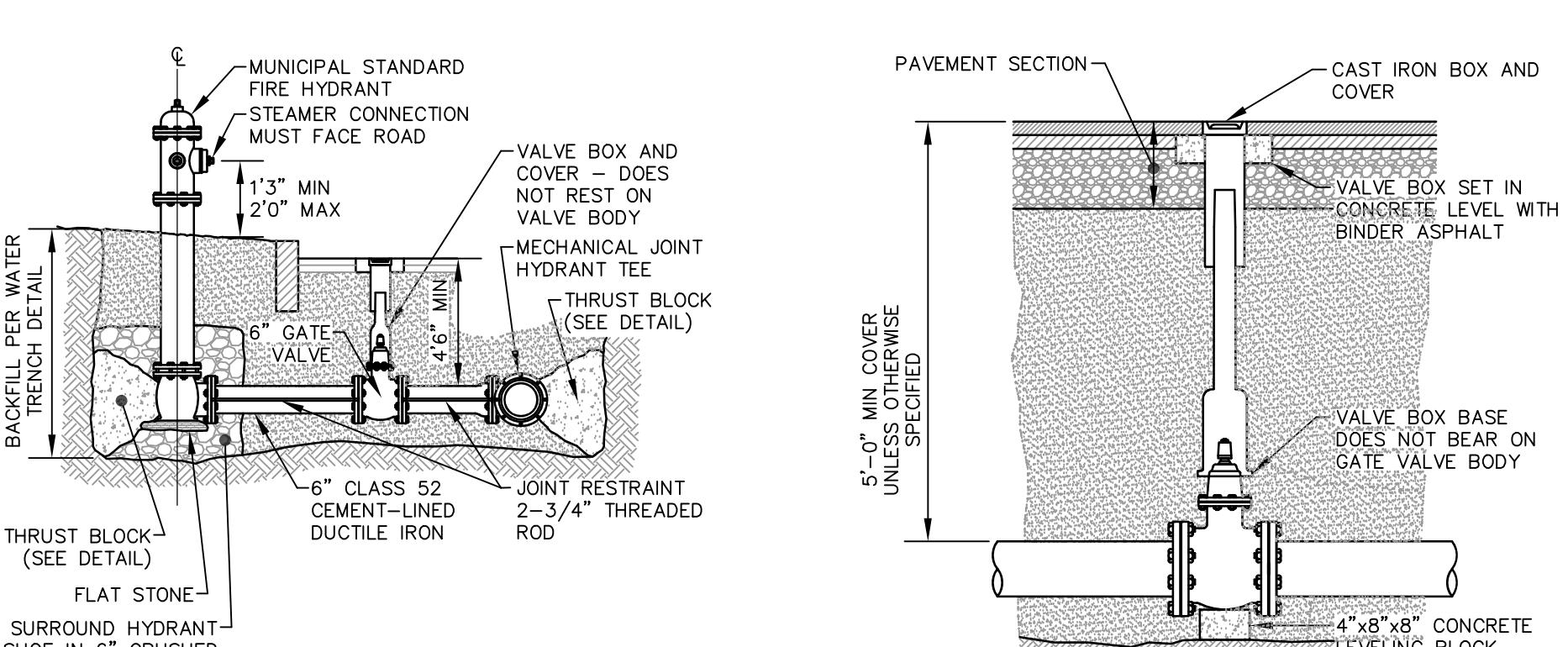
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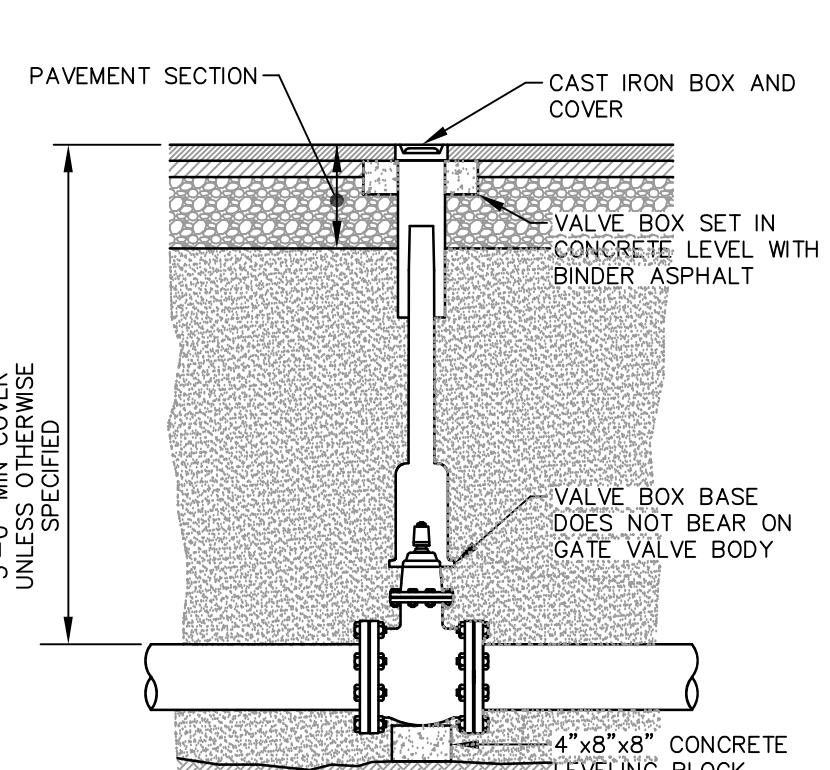
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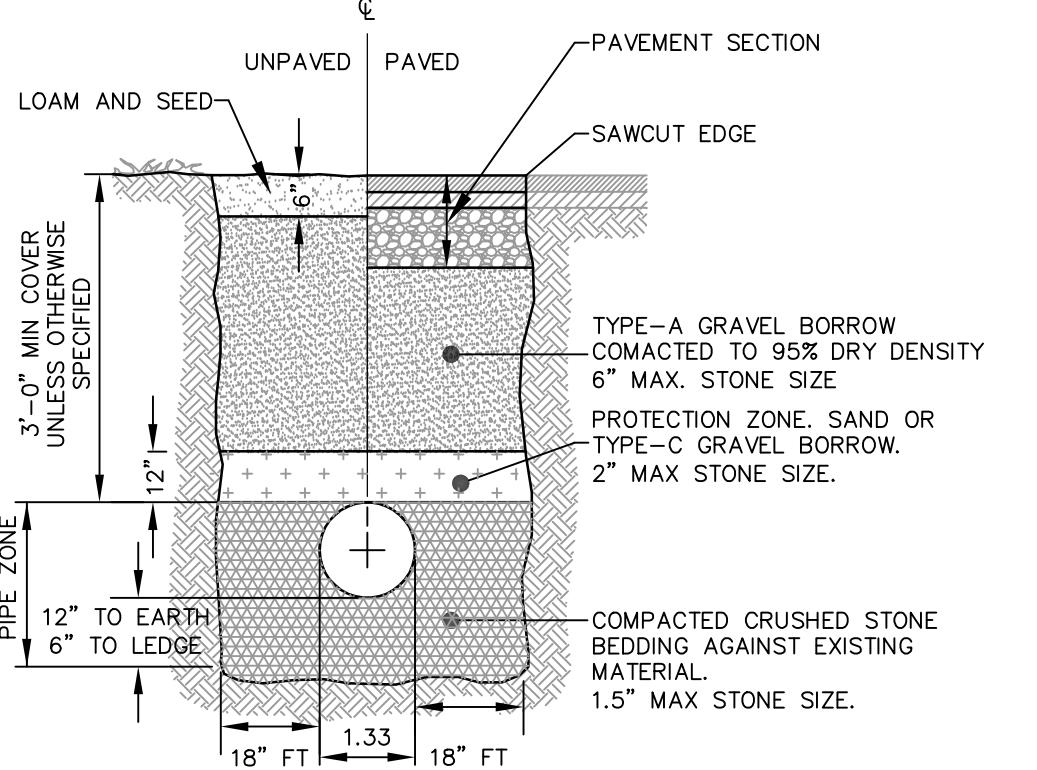
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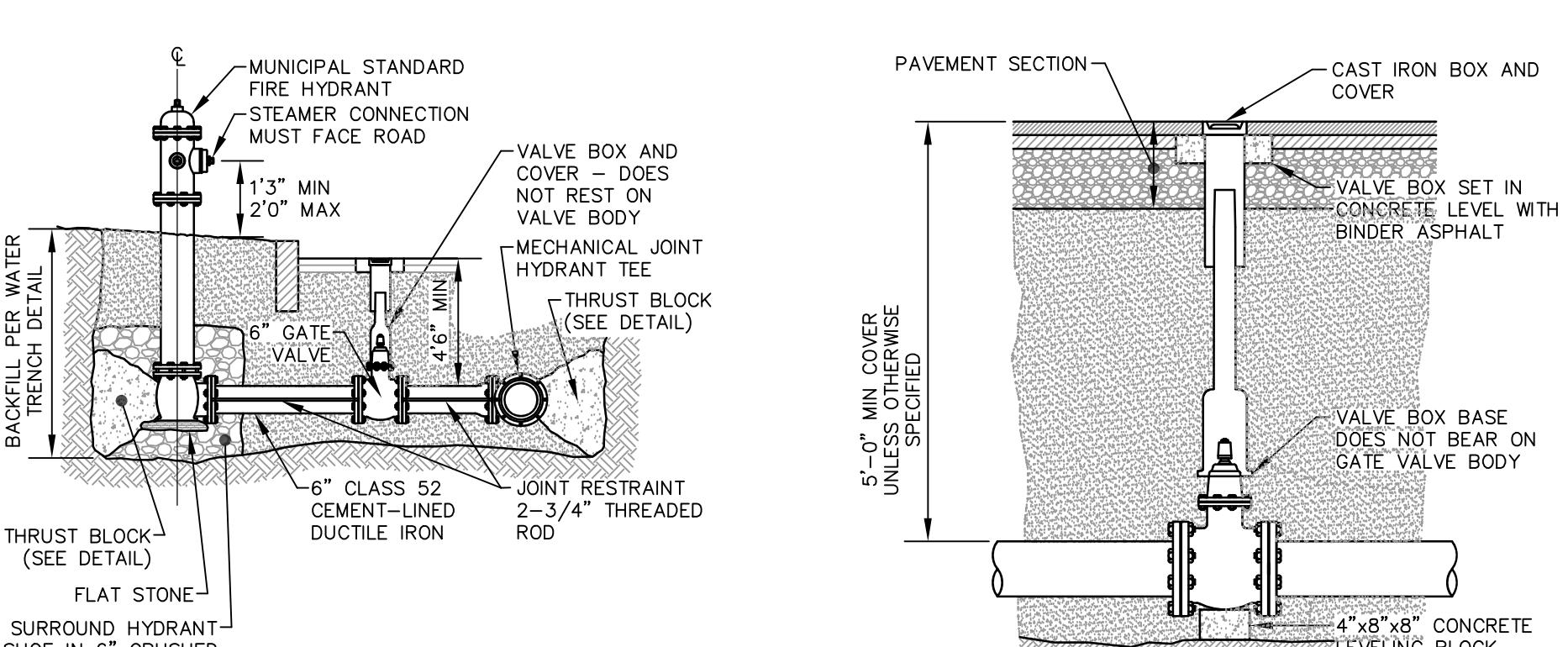
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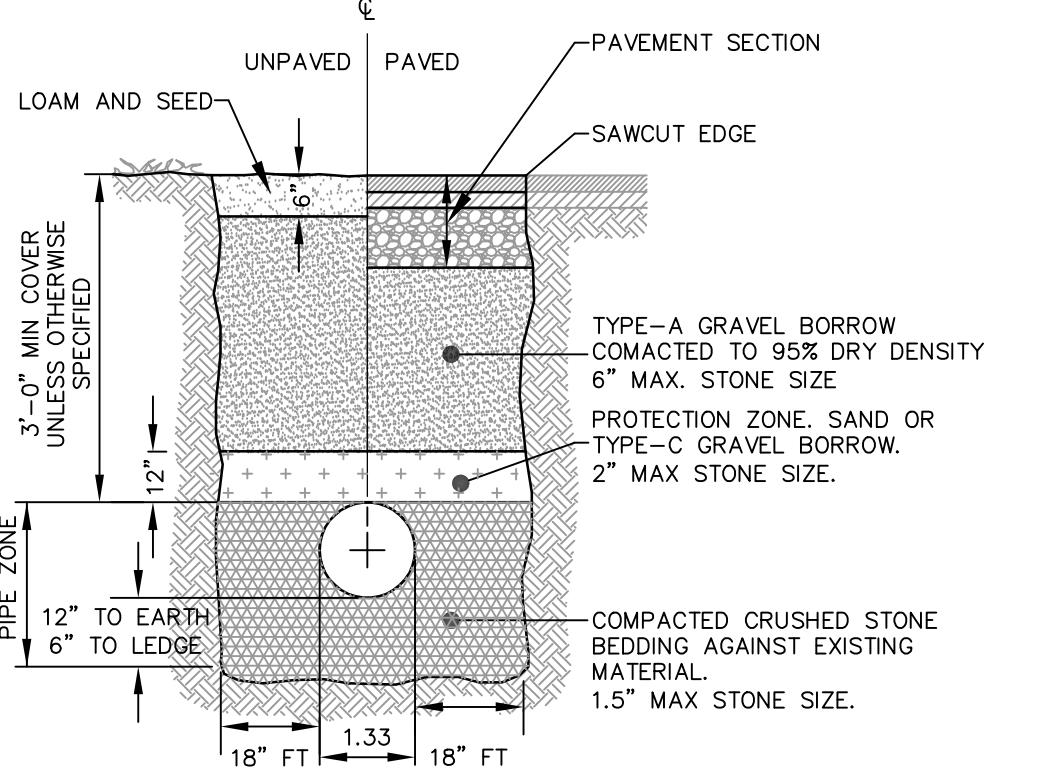
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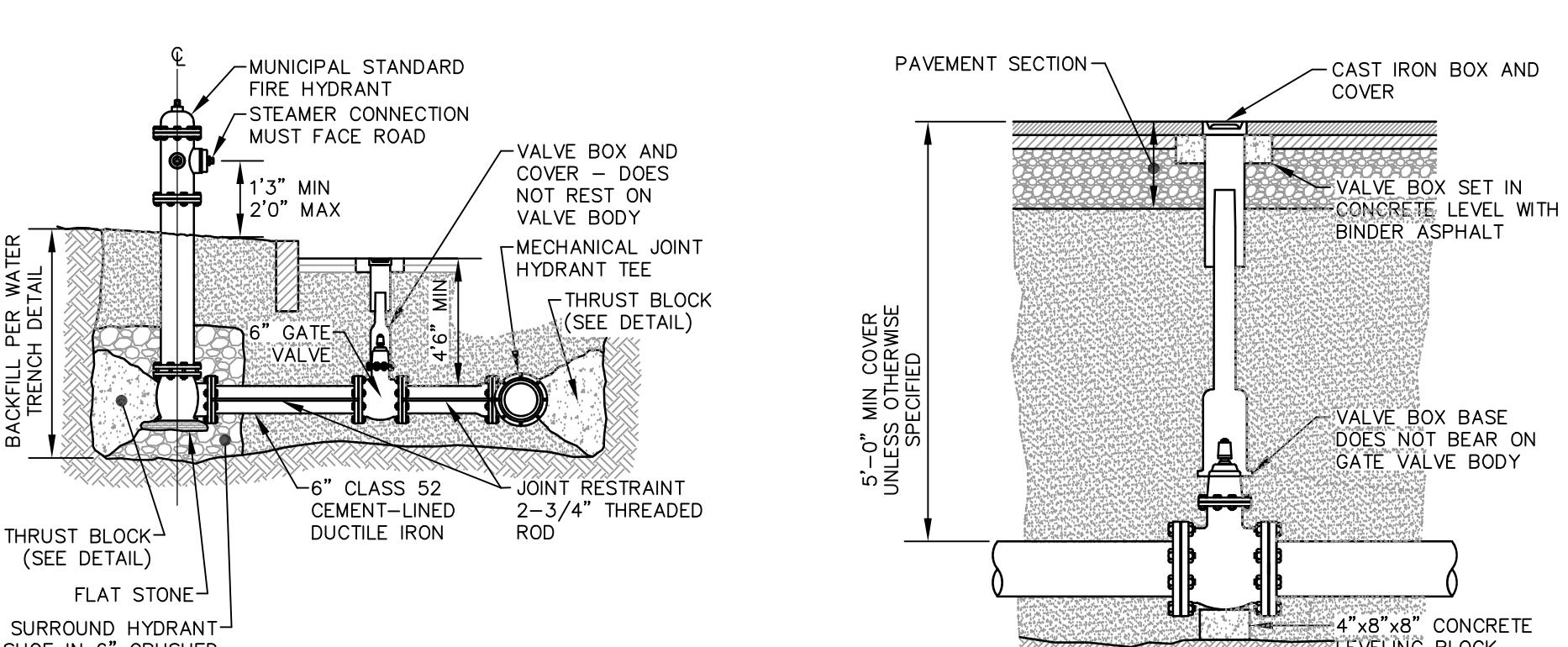
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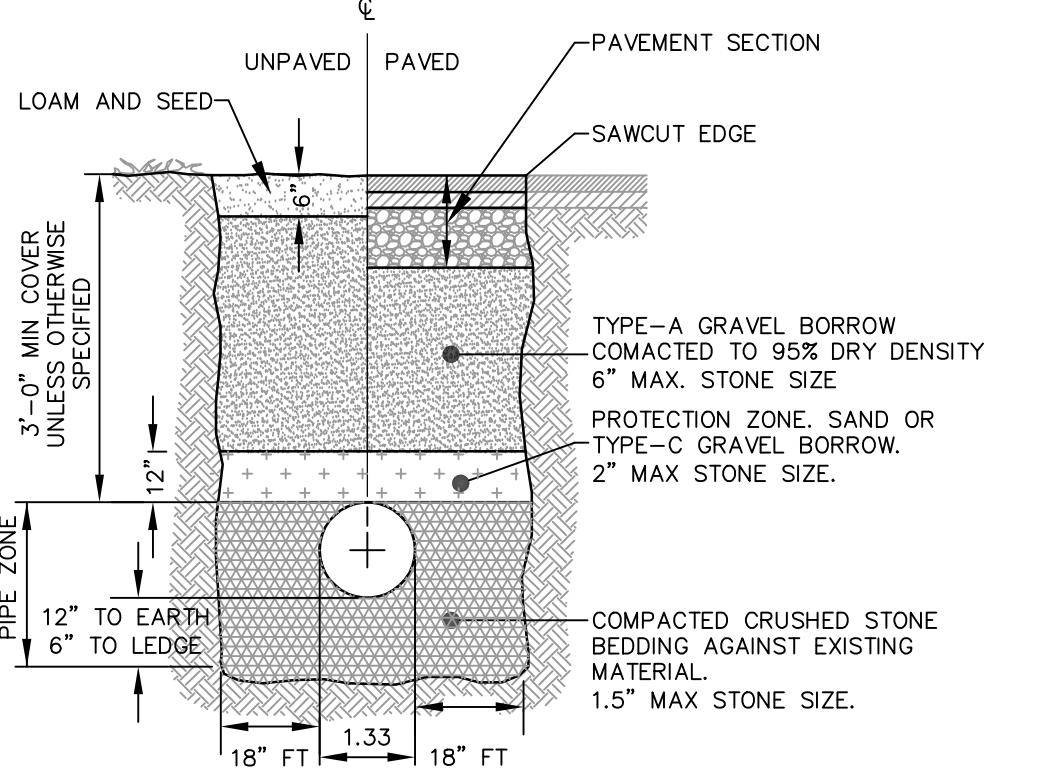
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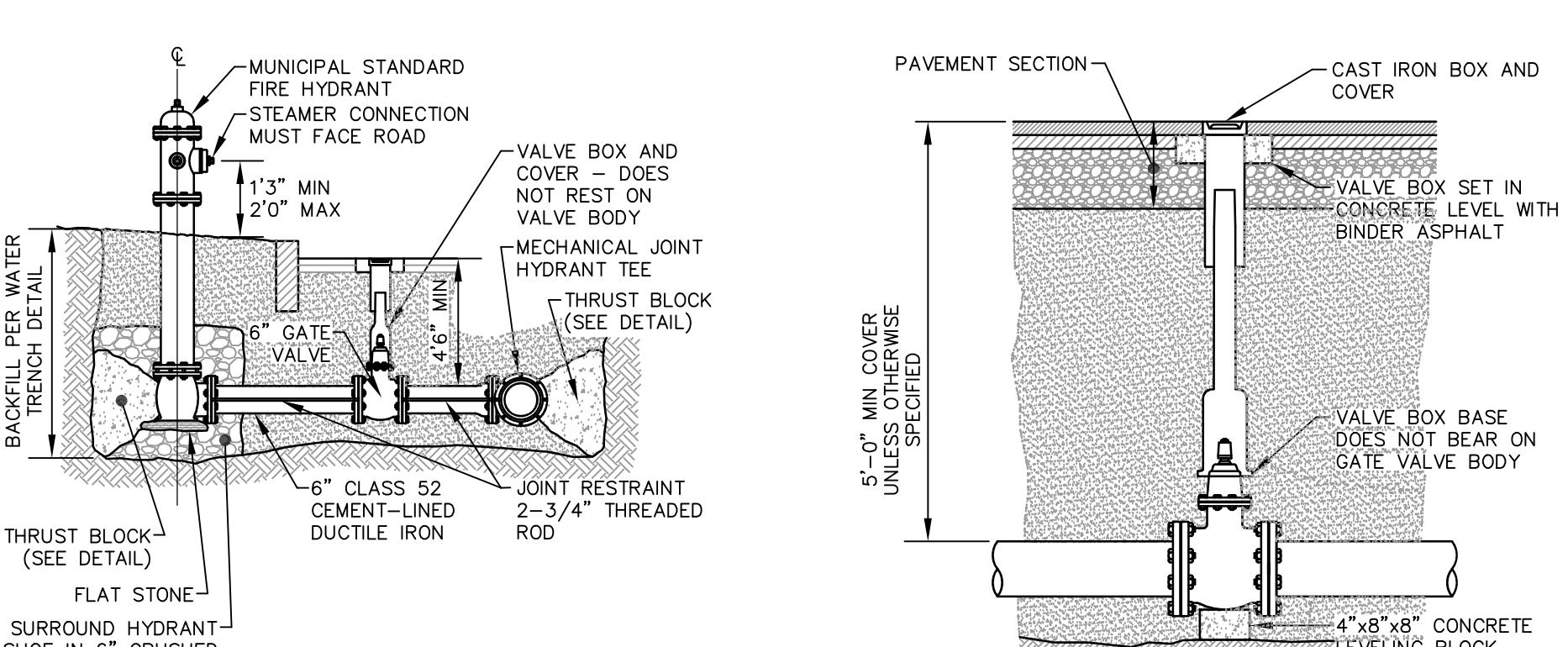
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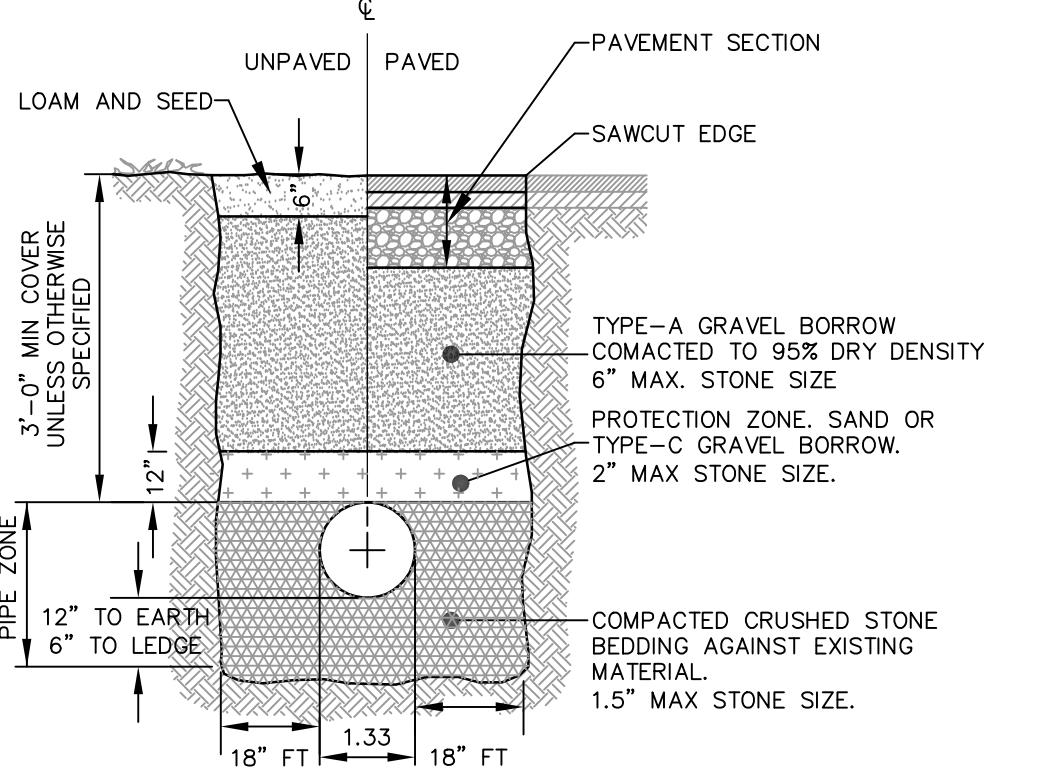
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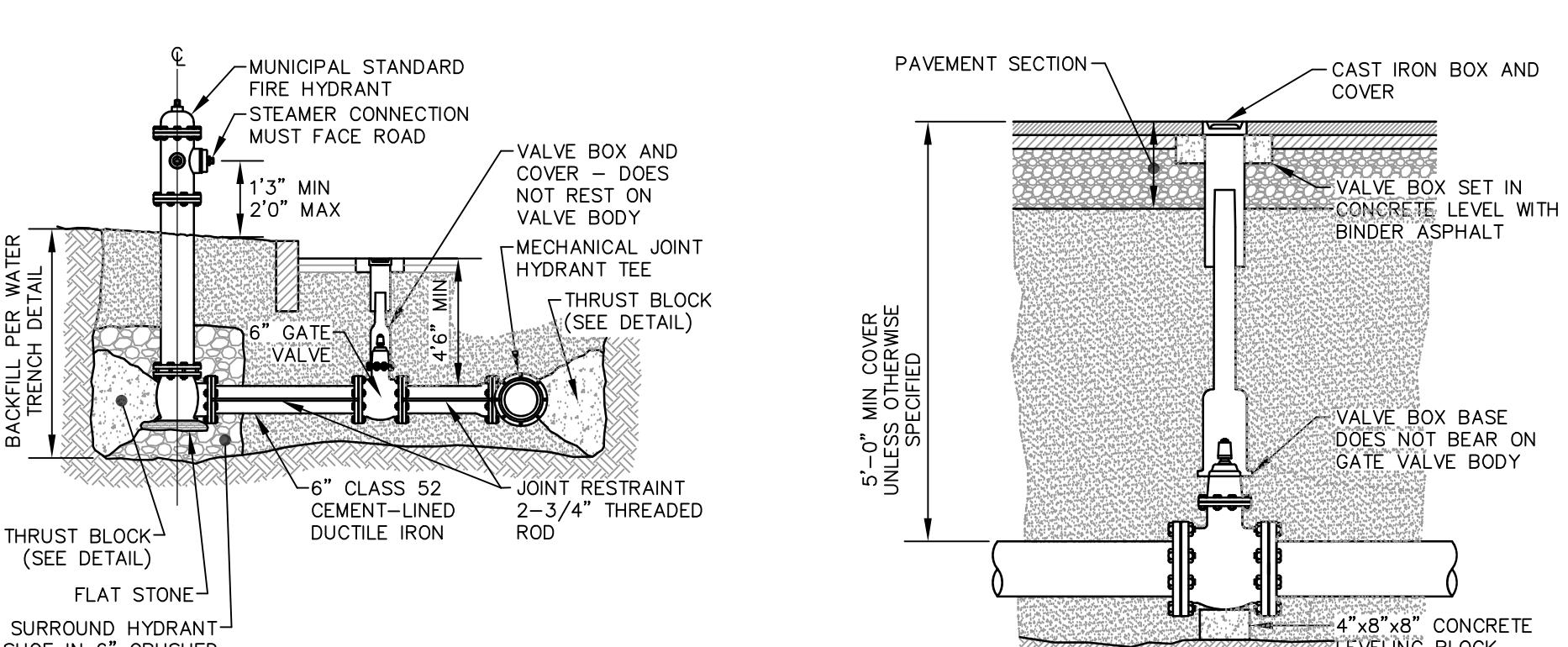
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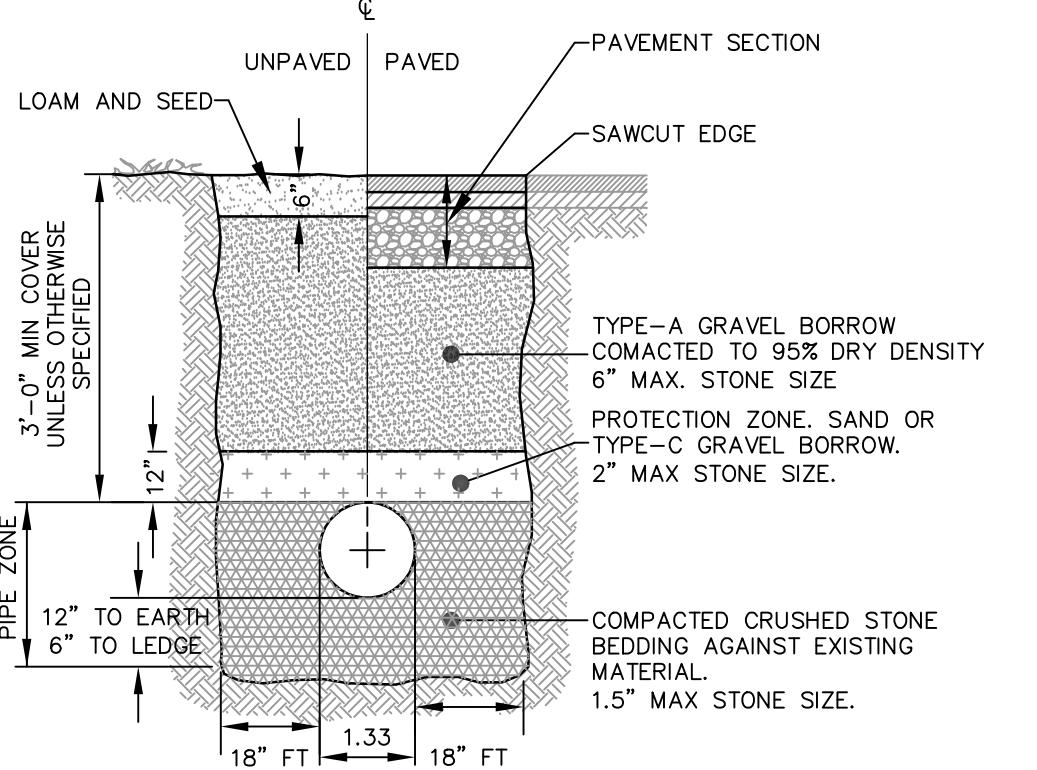
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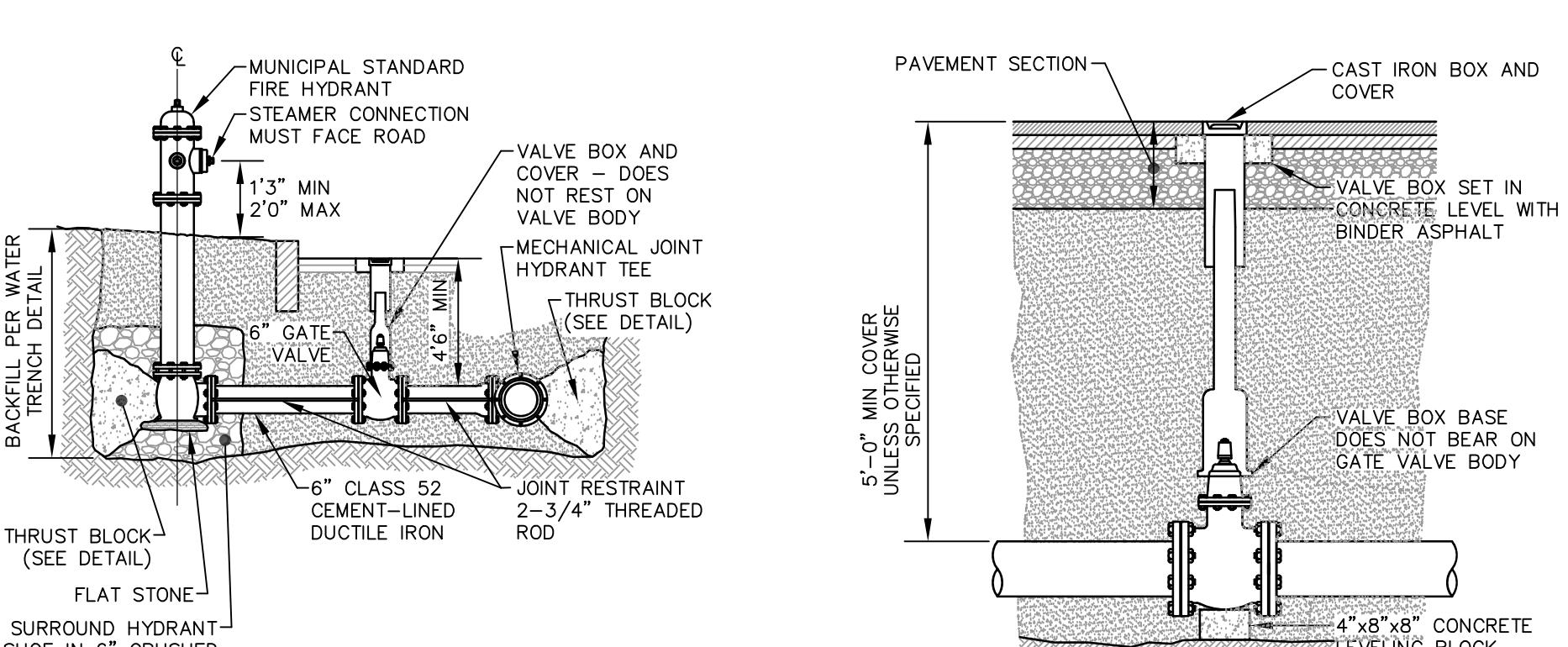
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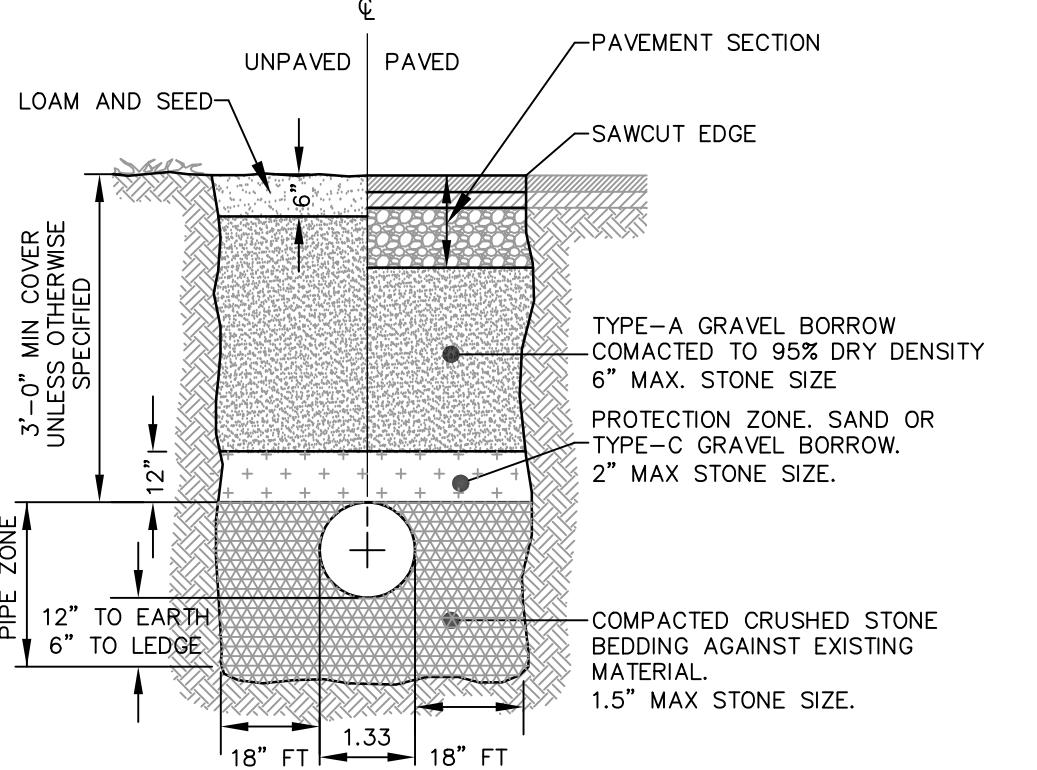
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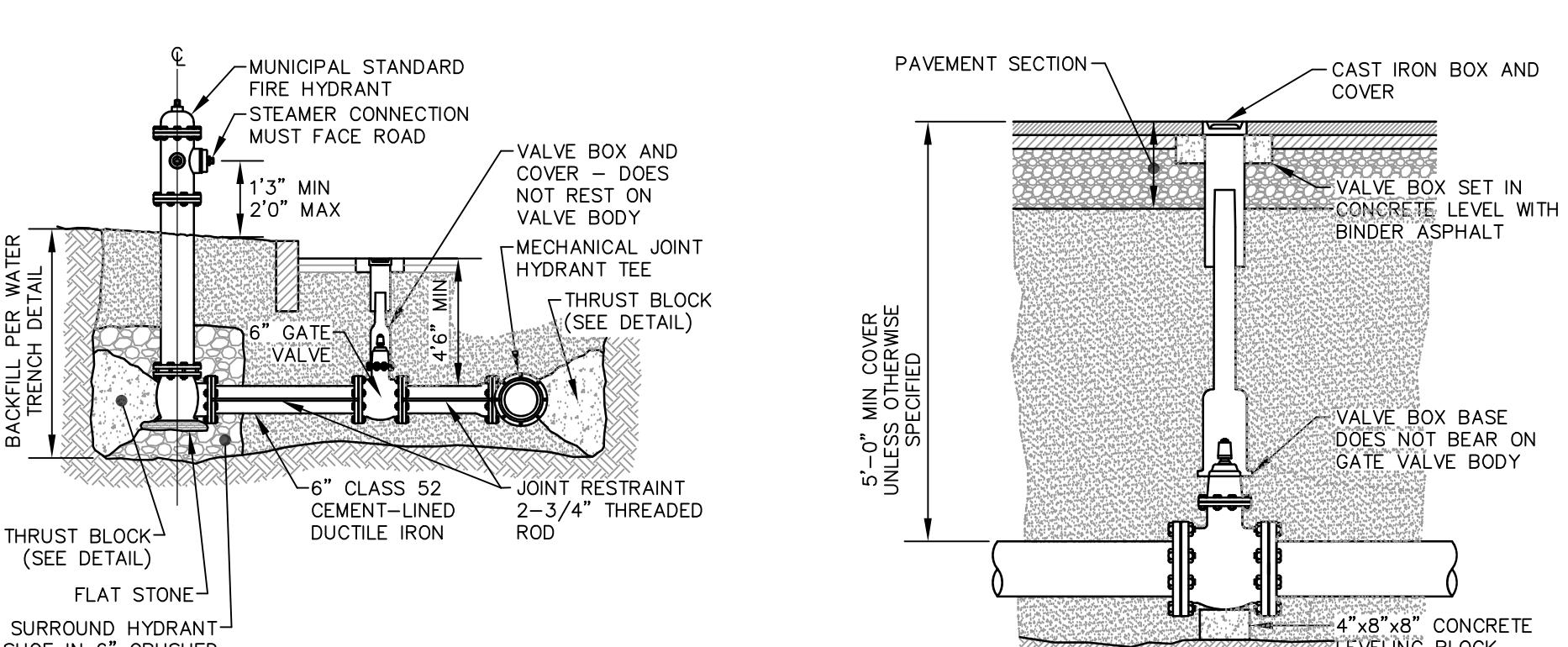
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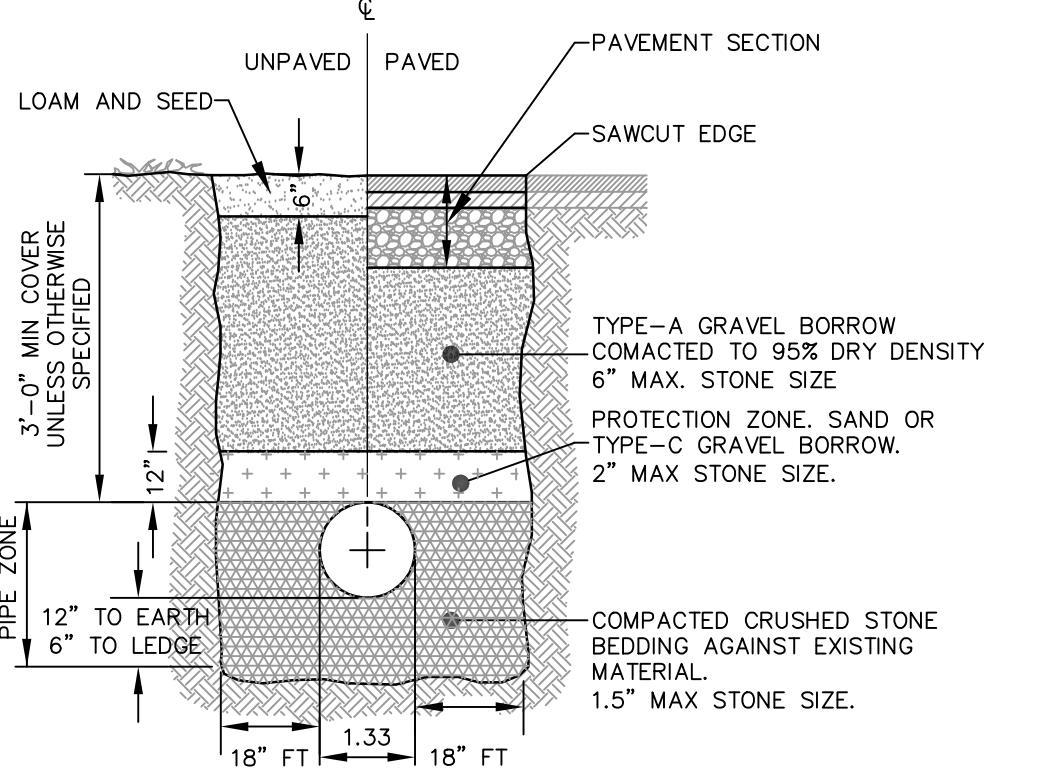
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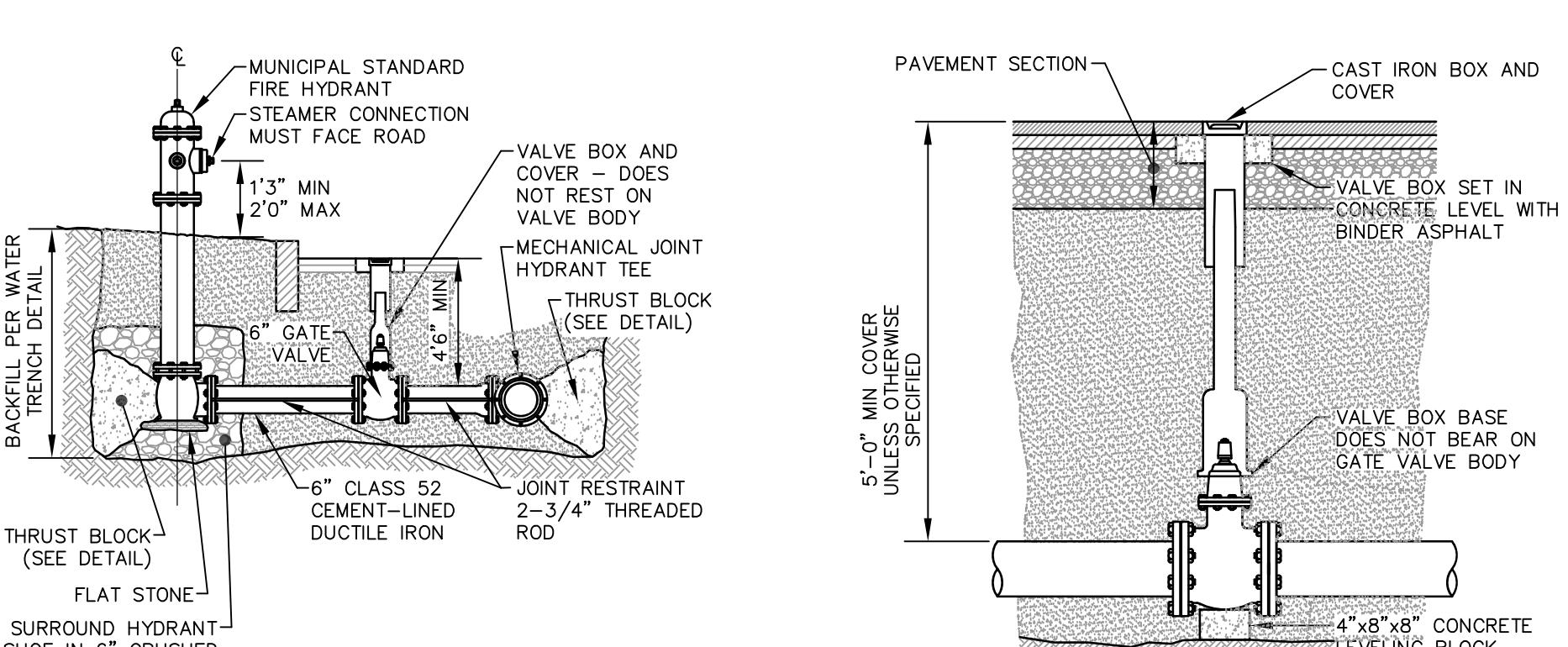
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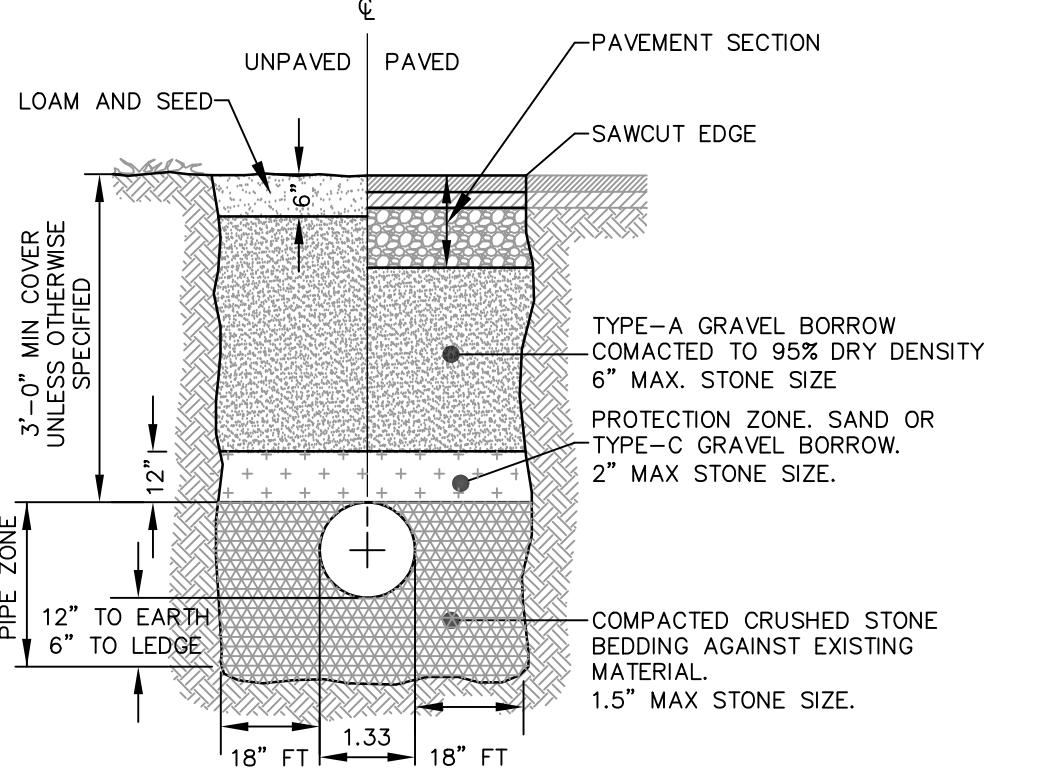
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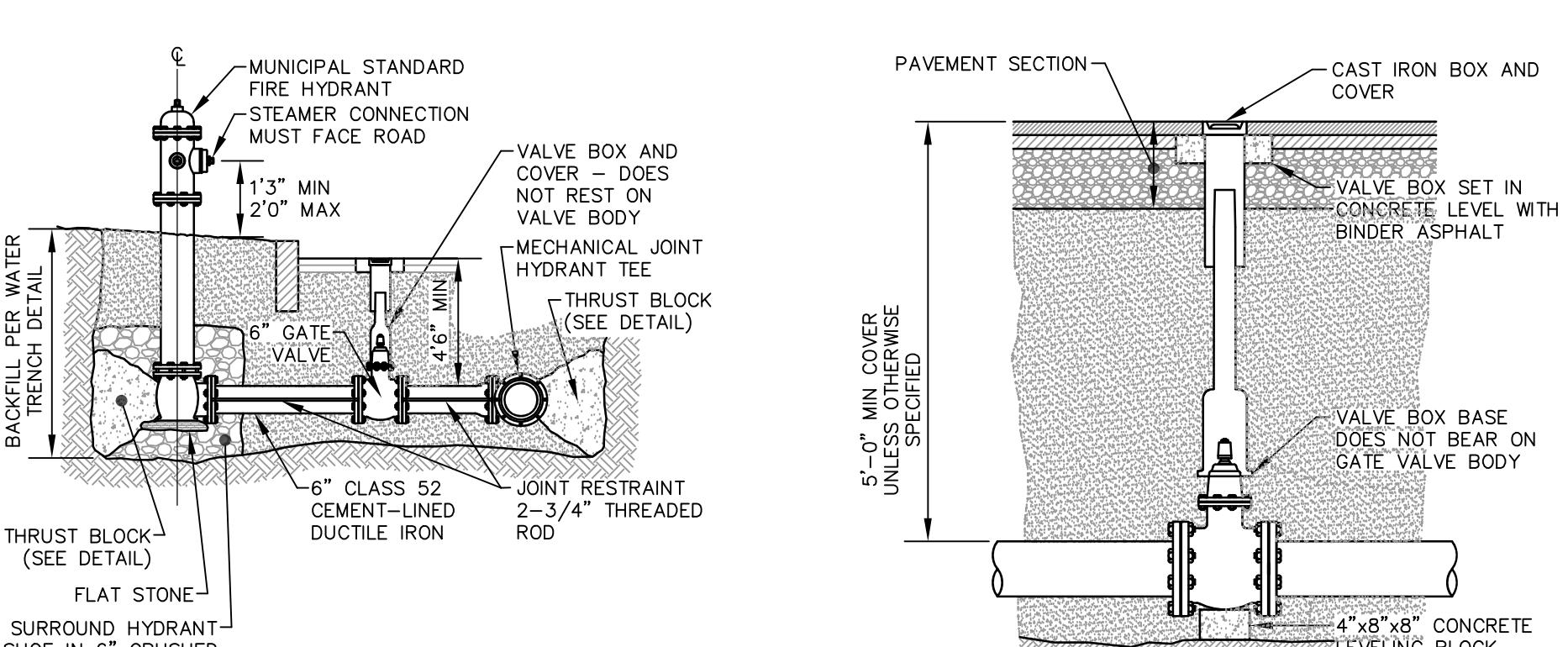
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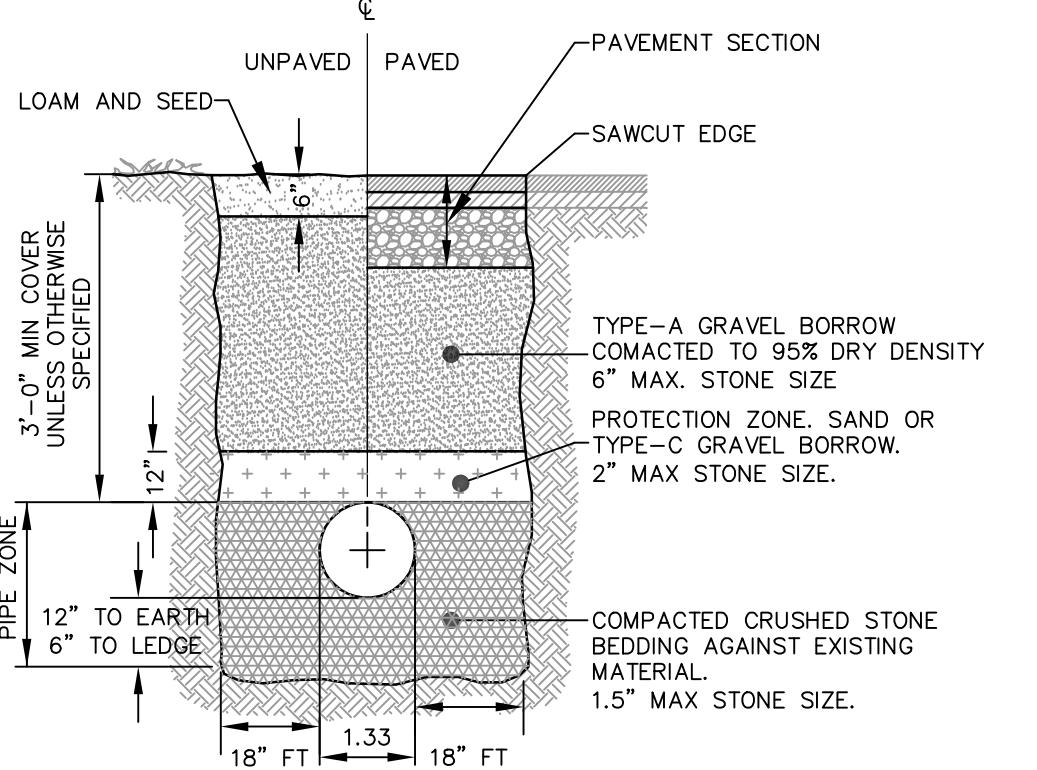
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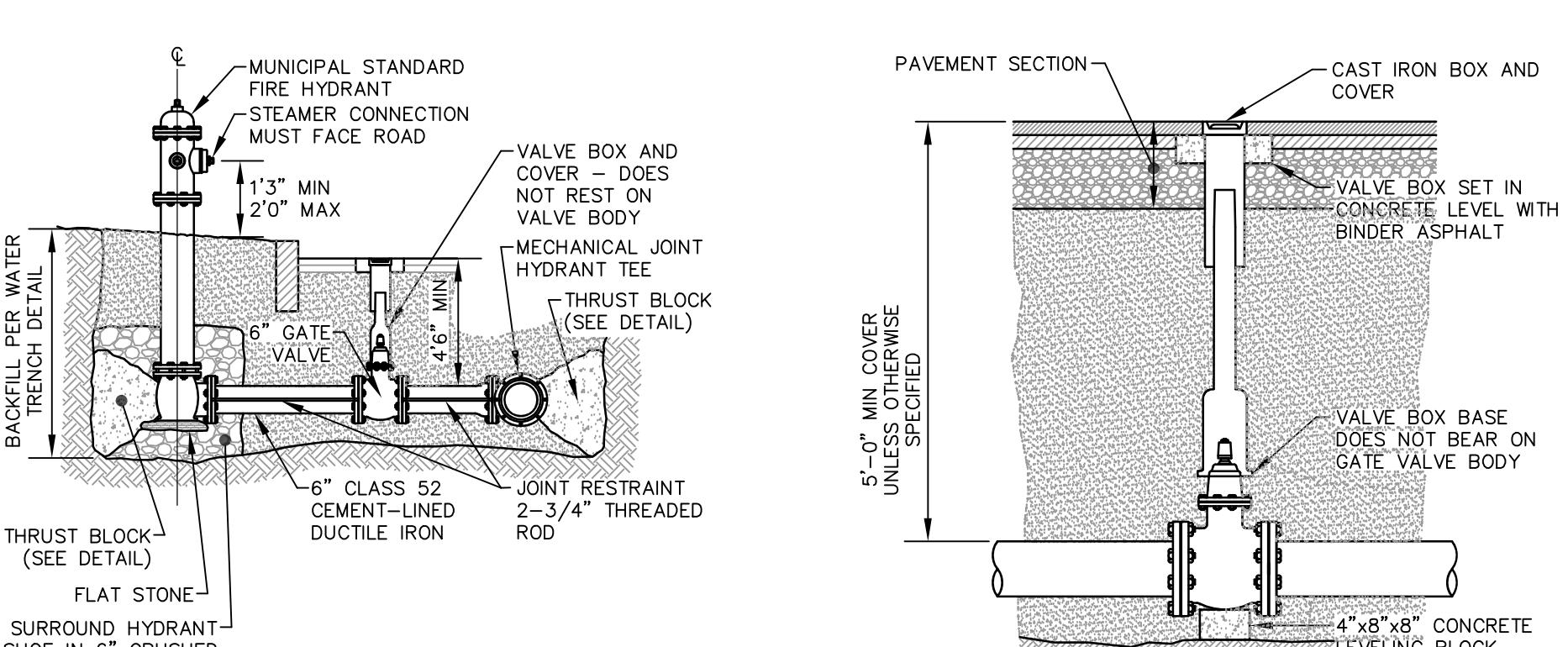
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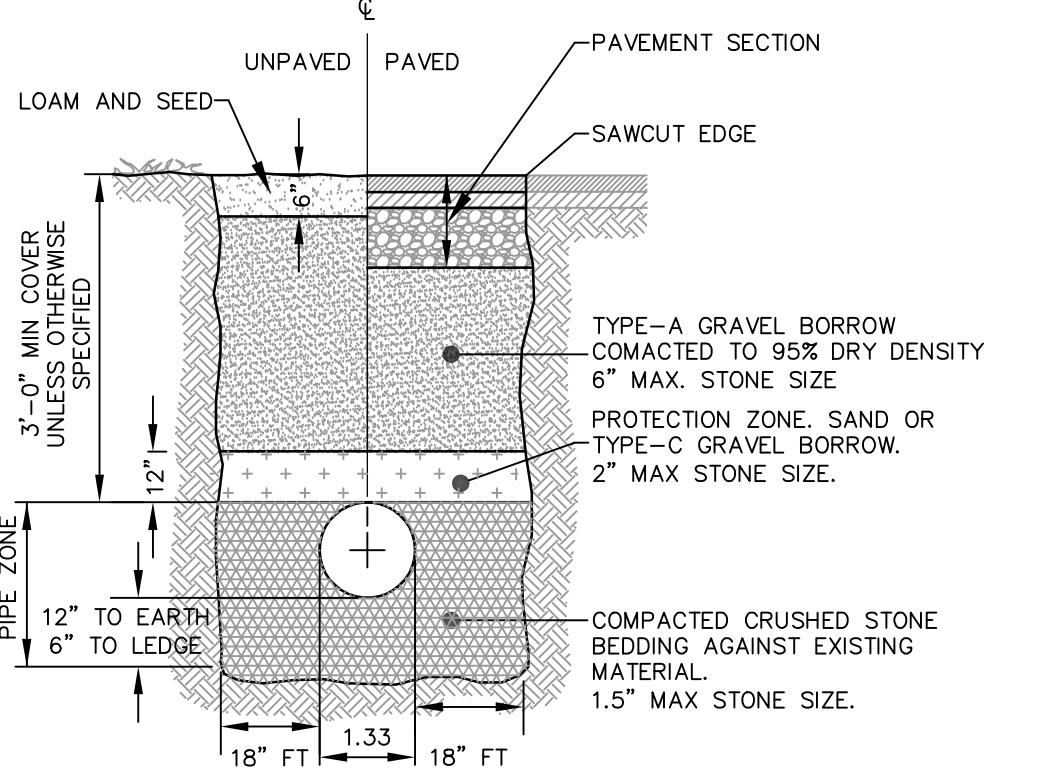
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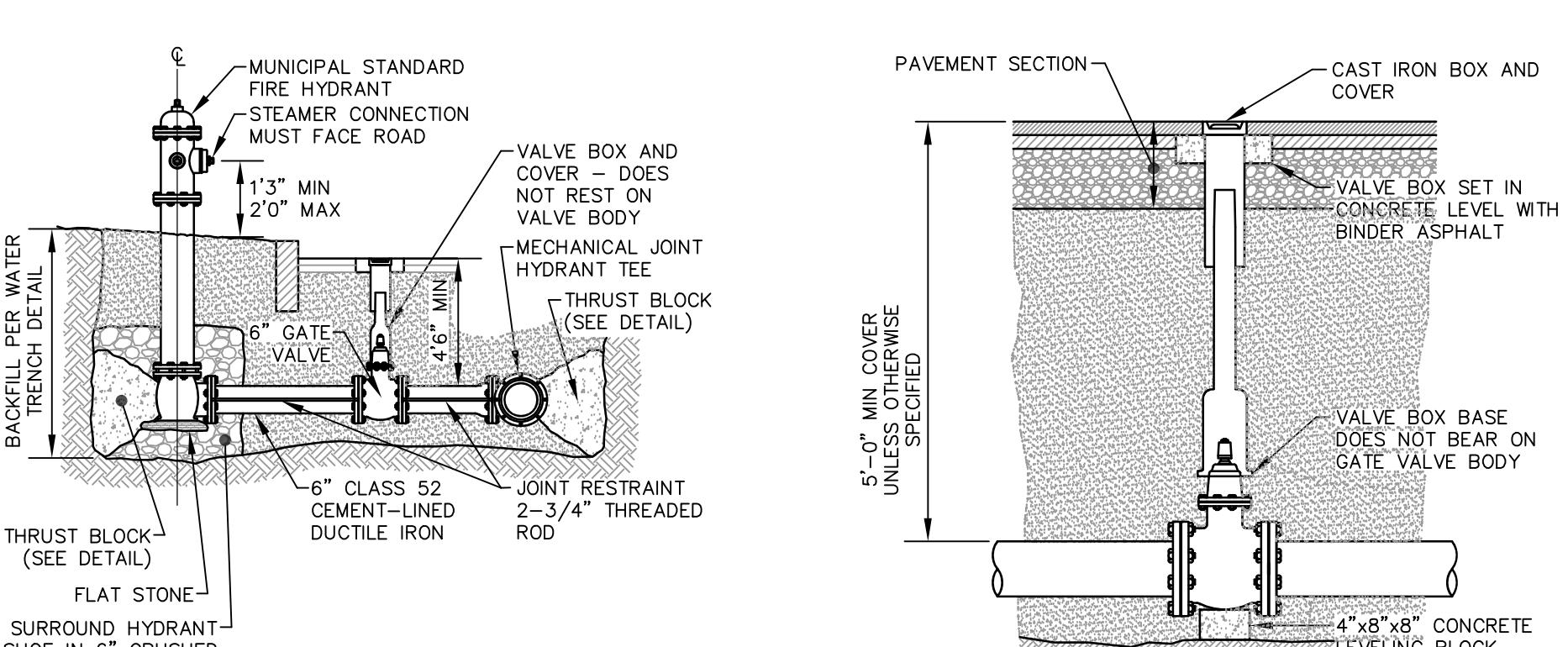
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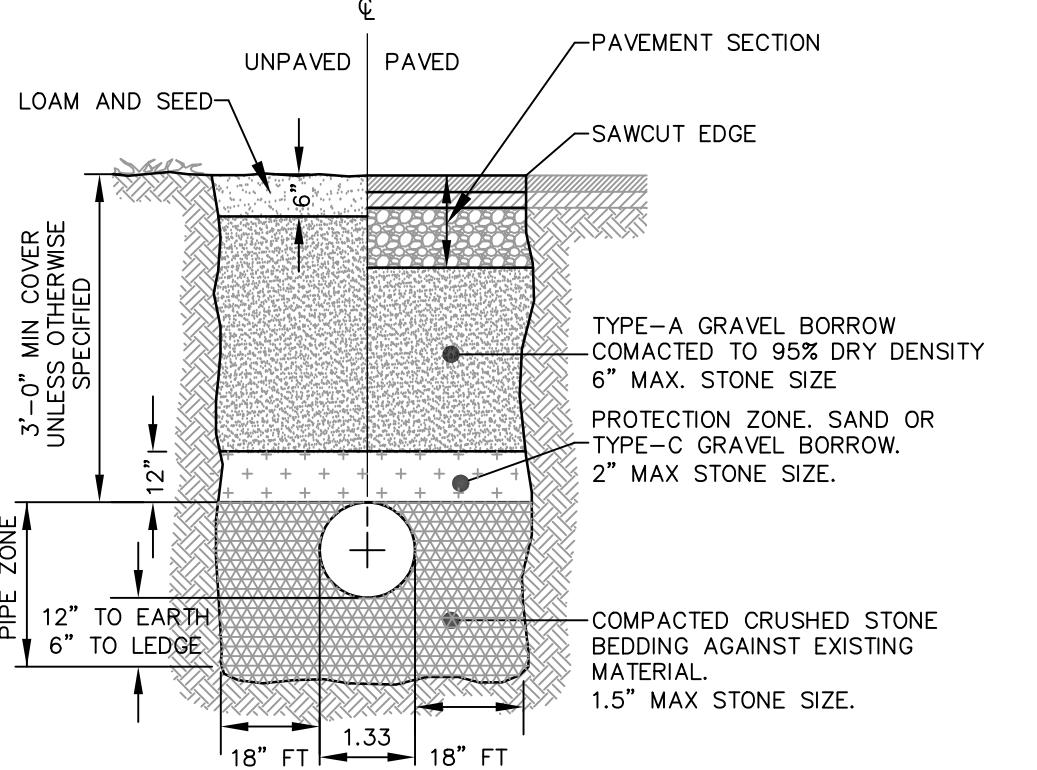
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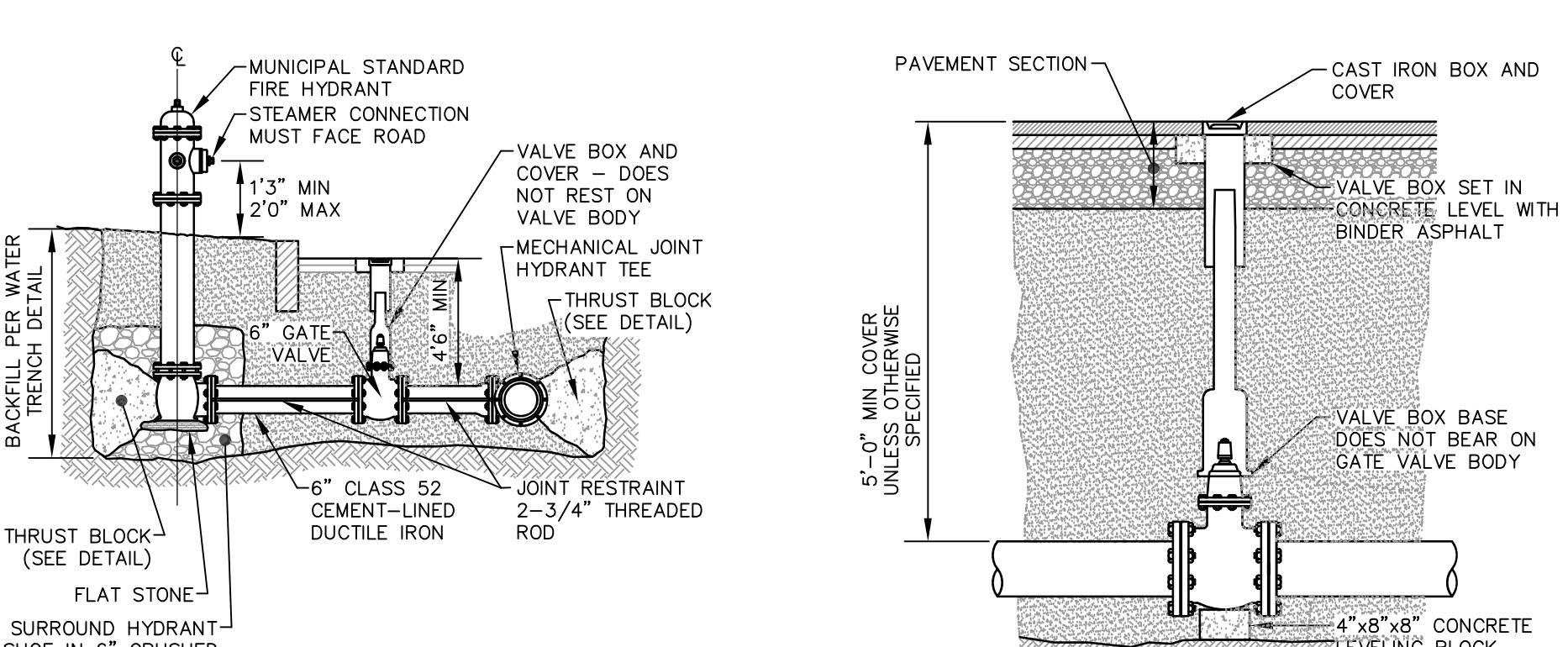
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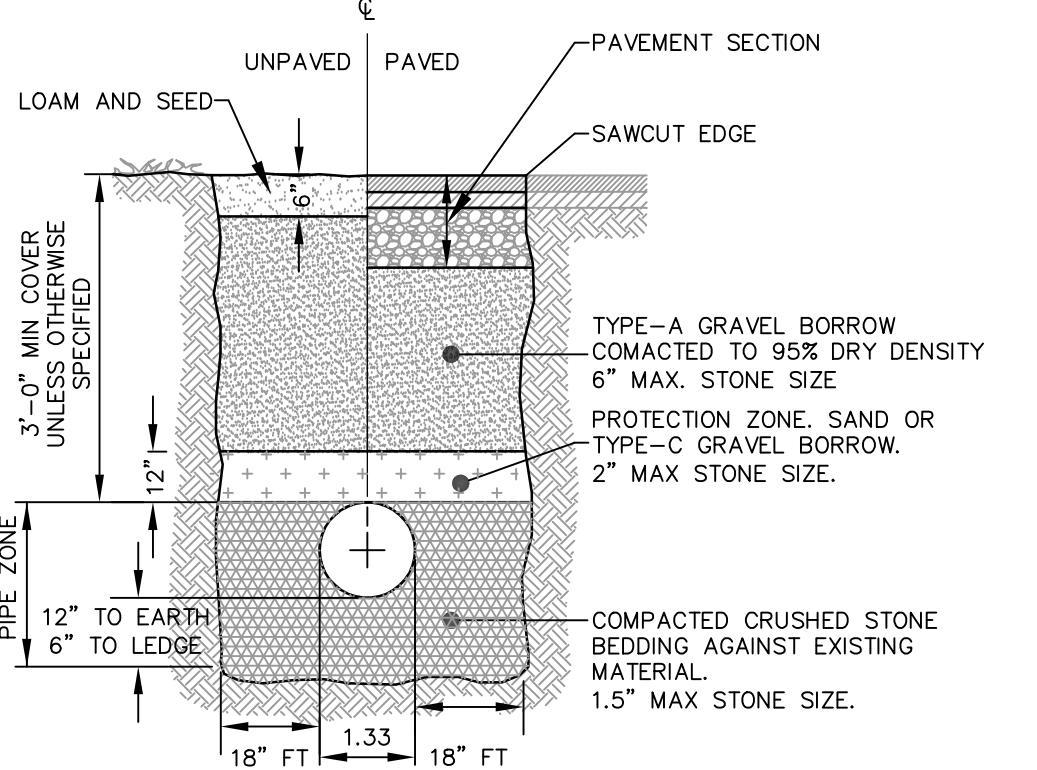
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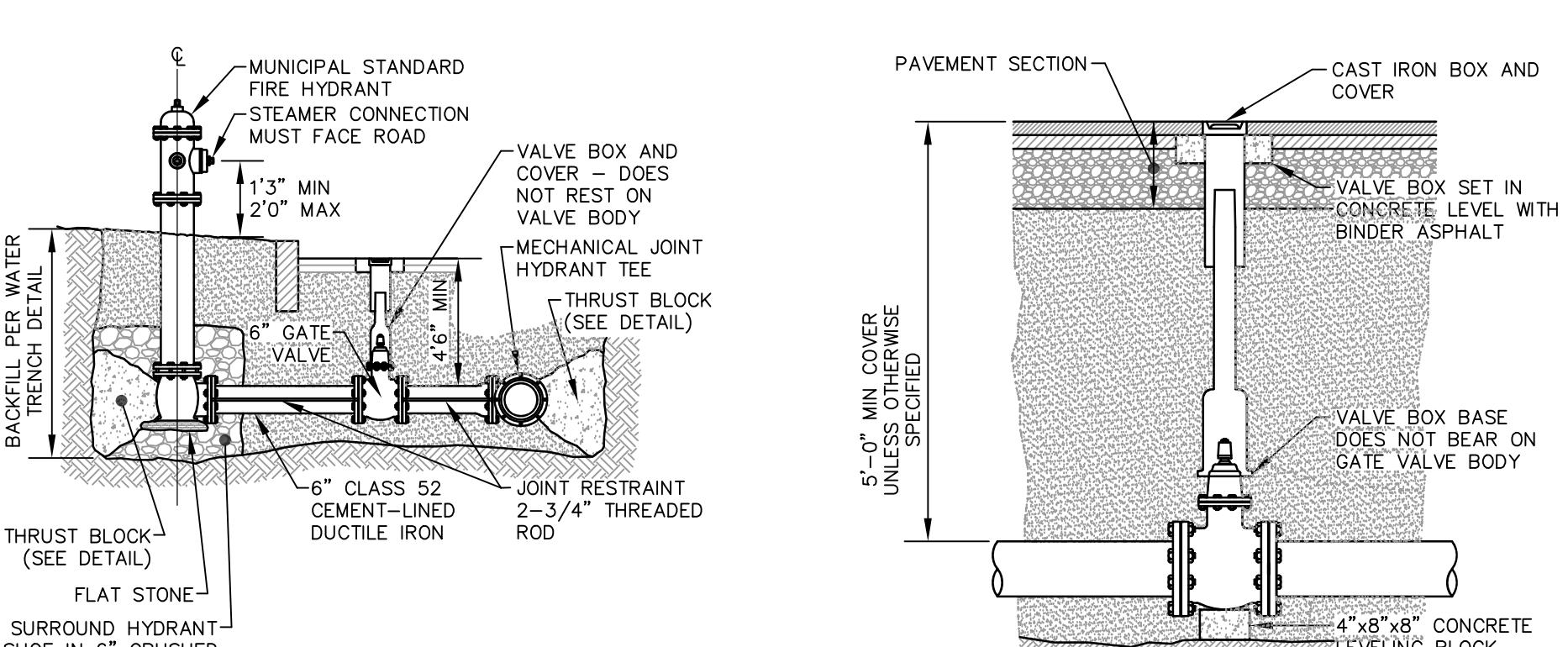
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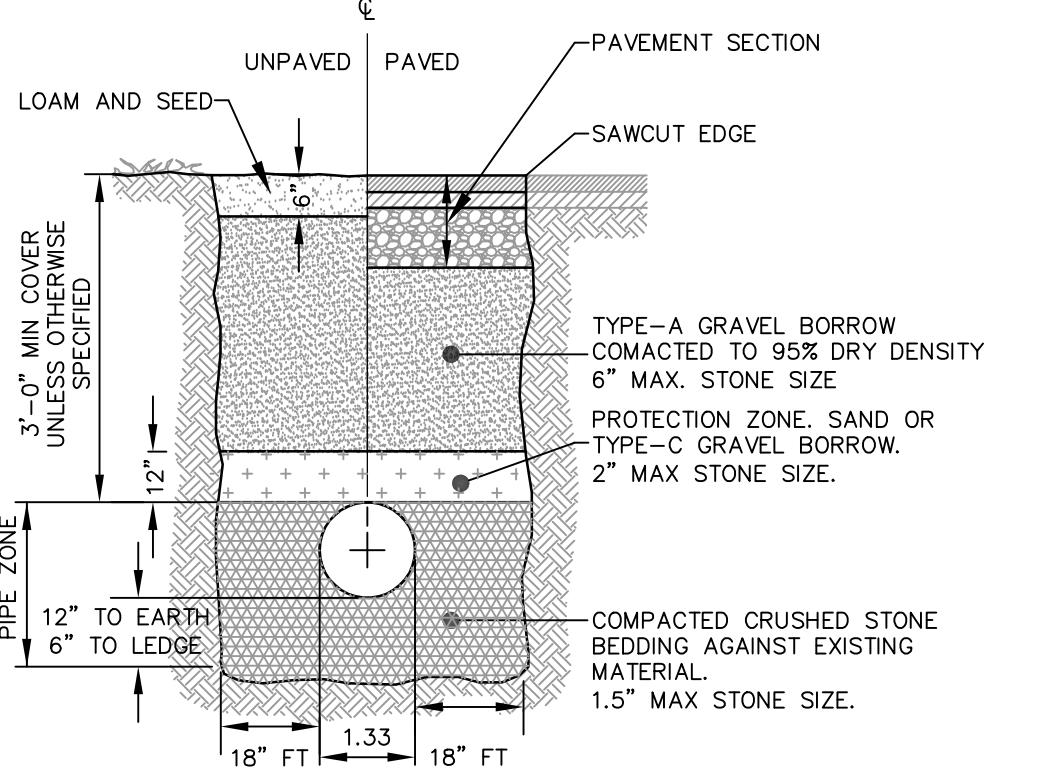
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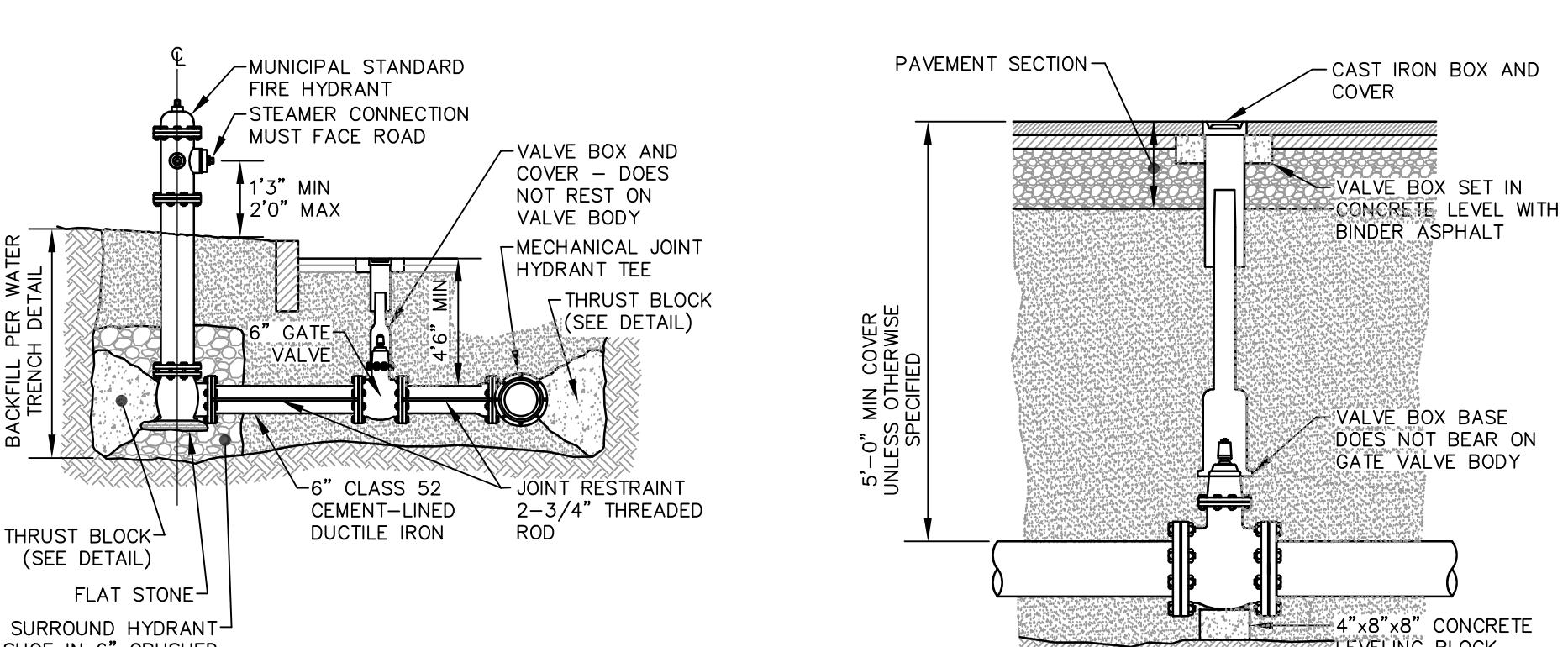
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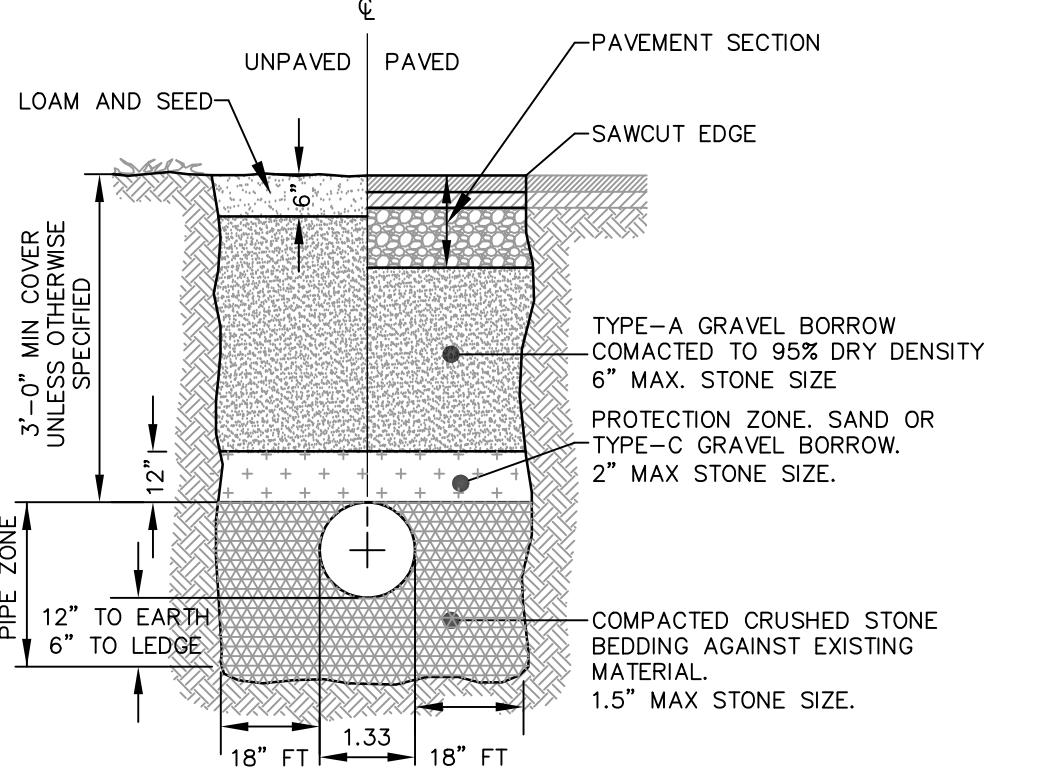
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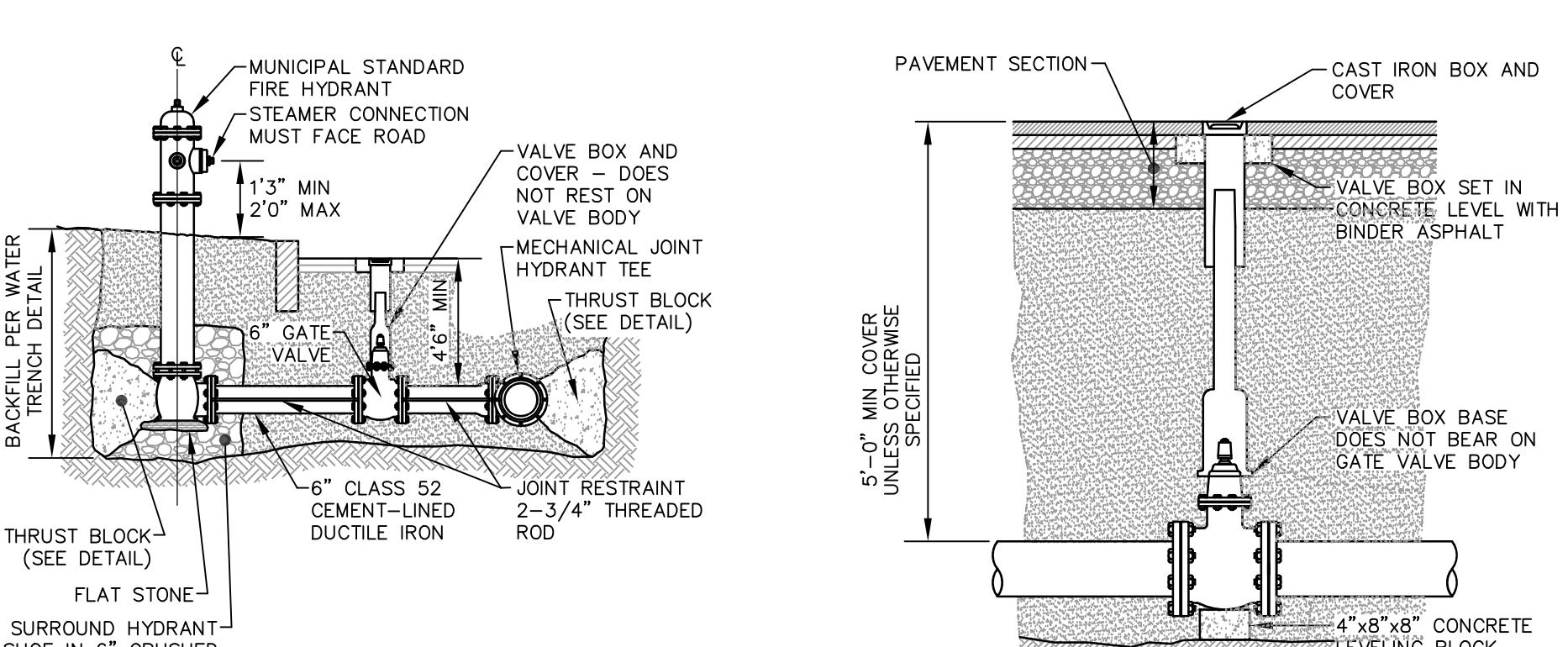
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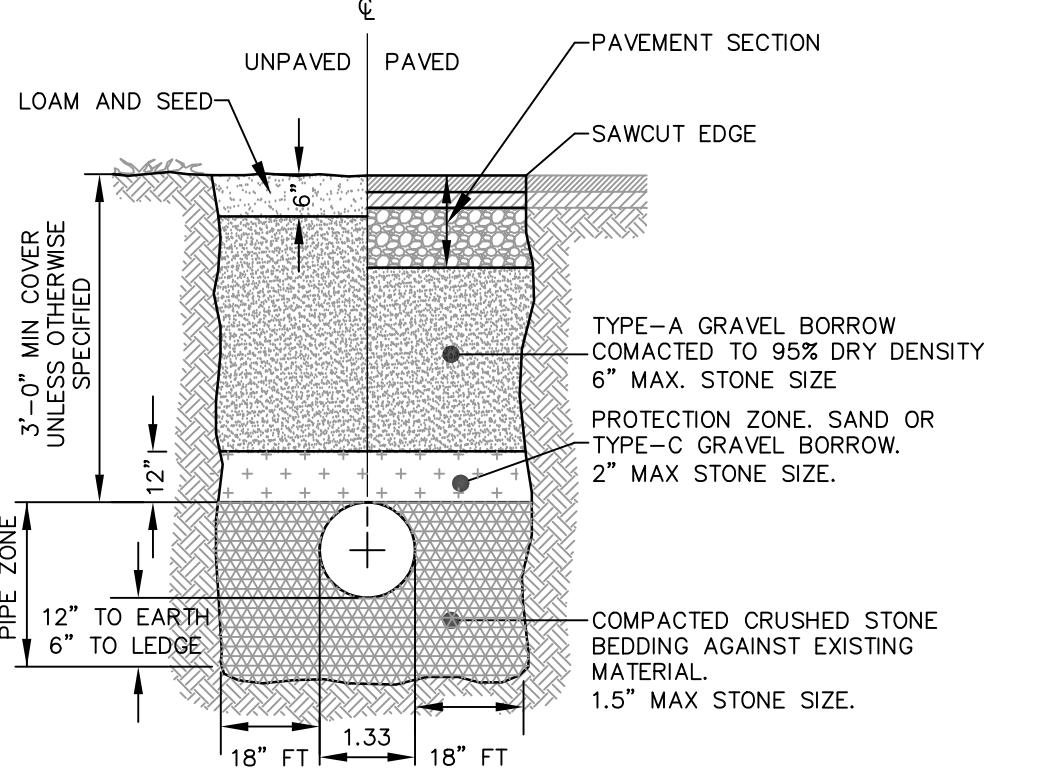
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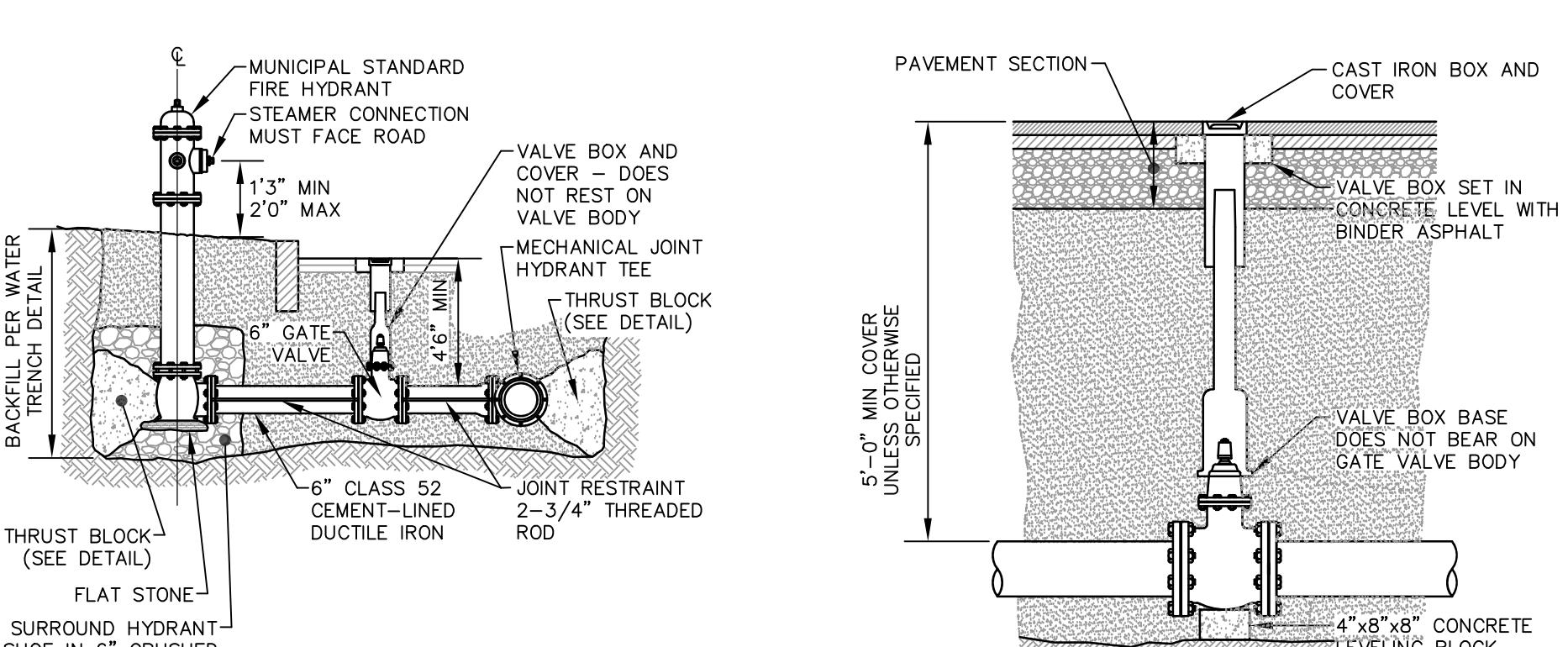
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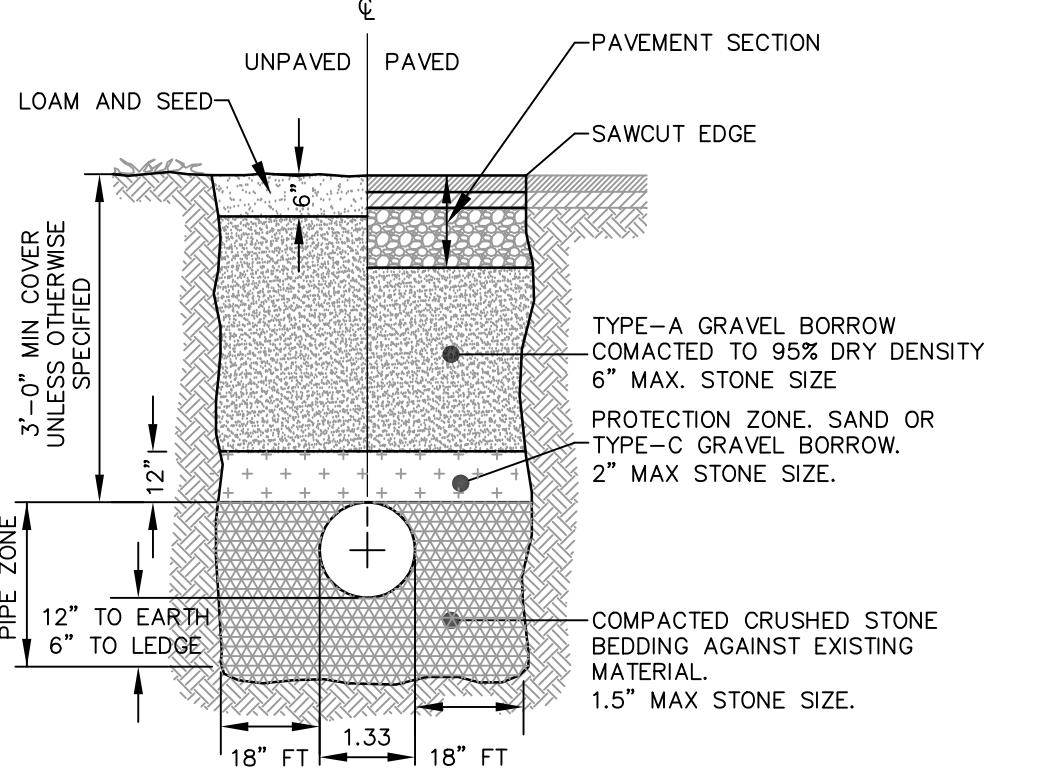
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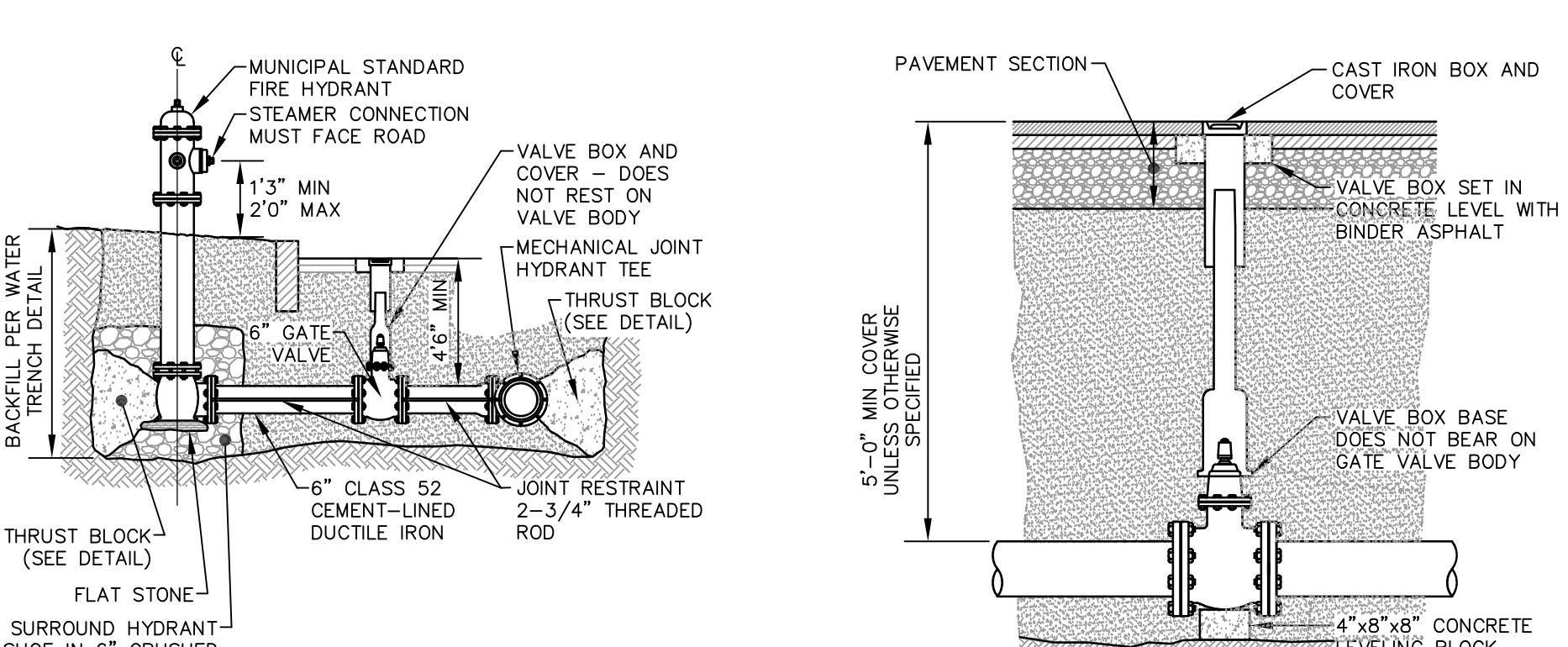
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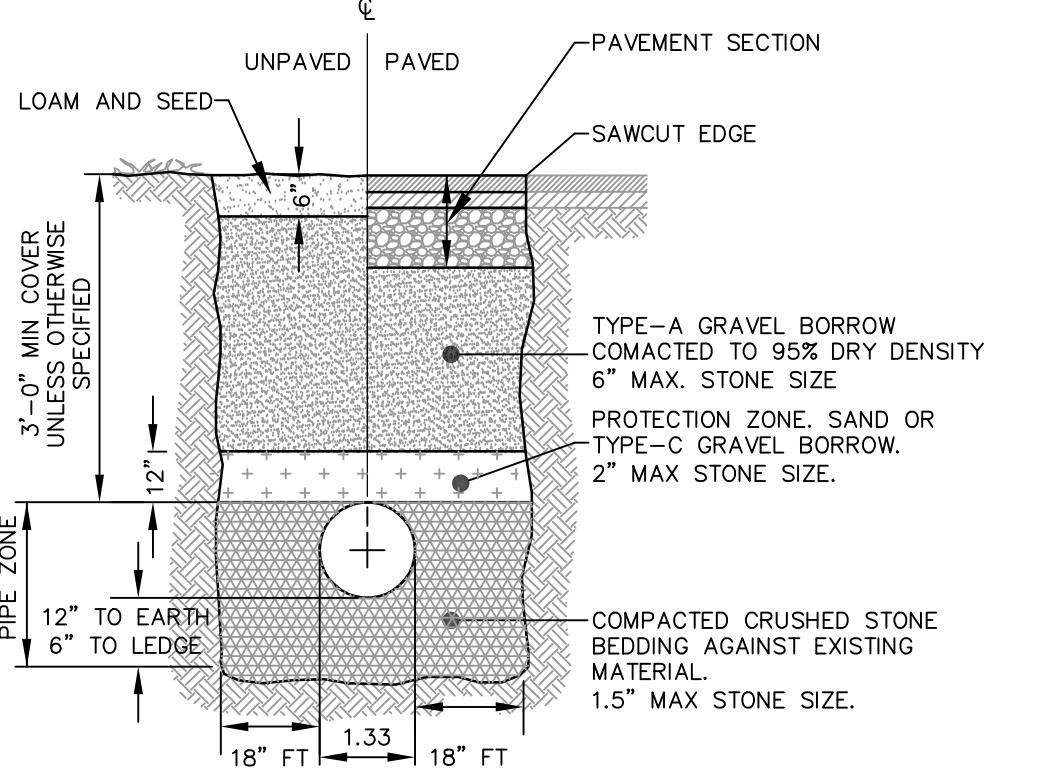
VALVE BOX AND COVER
NOT TO SCALE



SEWER TRENCH
NOT TO SCALE



VALVE BOX AND COVER
NOT TO SCALE



TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW.

RESOURCE AREA AND BUFFER ZONE RESTORATION PLAN

THE FOLLOWING REPRESENTS MINIMUM REQUIREMENTS FOR RESTORATION OF WETLAND RESOURCE AREAS AND BUFFER ZONES ASSOCIATED WITH THE UTILITY INSTALLATION PROPOSED. ANY CONDITIONS ENCOUNTERED IN THE FIELD THAT MAY REQUIRE REVISION OR ADDITION TO THE REQUIREMENTS GIVEN SHALL BE COORDINATED WITH THE ENGINEER OF RECORD PRIOR TO ANY WORK BEING PERFORMED RELATIVE TO THE SAID CONDITION.

ALL WORK RELATIVE TO THE PROPOSED WETLAND DISTURBANCE AND RESTORATION SHALL BE COORDINATED WITH THE ENGINEER OF RECORD AND TOWN OF STOUGHTON CONSERVATION AND ENGINEERING DEPARTMENTS AND AN INSPECTION/MONITORING SCHEDULE SHALL BE ESTABLISHED BEFORE PROCEEDING WITH ANY WORK.

1. STAKE EXTENTS OF LIMIT OF WORK THOUGH WETLAND RESOURCE AREA AND BUFFER ZONES.

2. RE-ESTABLISH ANY WETLAND FLAGS THAT ARE LOST OR UNREADABLE IN VICINITY OF PROPOSED WORK.

3. CUT AND CLEAR TREES WITHIN LIMIT OF WORK. ALL STOCKPILE AREAS SHALL BE LOCATED IN AREA SHOWN ON SHEET C-7 OF THE PLAN SET.

4. INSTALL EROSION CONTROL BARRIERS WITHIN LIMIT OF WORK.

5. GRUB LIMIT OF WORK.

6. STAKE CENTERLINE OF WATER AND SEWER MAIN INSTALLATION THROUGH WETLAND RESOURCE AREA AND BUFFER ZONES.

7. EXCAVATE WATER AND SEWER TRENCH AS APPROPRIATE (INCLUDING JACKING PITS FOR WATER MAIN INSTALLATION BENEATH STREAM BED). AT TOP OF SUBSOIL (A AND B SOILS) SHAL BE SEPARATELY STOCKPILED SEPARATELY IN THE DESIGNATED STOCKPILE AREA FOR INDIVIDUAL REUSE. TOP AND SUB SOIL SHALL NOT BE EXCESSIVELY SCREENED. C-HORIZON SOILS SHALL BE SCREENED AS APPROPRIATE AND STOCKPILED SEPARATELY FOR REUSE.

8. INSTALL UTILITIES AND BACKFILL AS APPROPRIATE TO SUBSOIL LEVEL.

9. BACKFILL SUB AND TOPSOIL WITH UNSCREENED STOCKPILED MATERIAL TO DEPTH MATCHING THOSE AT EACH SIDE OF THE TRENCH EXCAVATION. TAKE CARE NOT TO COMPACT EXCESSIVELY.

10. INSTALL APPROVED GEOTEXTILE MATTING FOR STABILIZATION IN ANY AREAS EXCEDING 3:1 SLOPE OR AS OTHERWISE DETERMINED APPROPRIATE BY THE ENGINEER OF RECORD.

11. SEED ALL DISTURBED AREAS WITH AN APPROPRIATE SEED MIX AS FOLLOWS:

WETLAND RESOURCE AREAS:
NEW ENGLAND WET MIX, APPLICATION RATE 2,500 SF/LB
NEW ENGLAND EROSION CONTROL/RESTORATION MIX, APPLICATION RATE

1,250 SF/LB

BUFFER ZONE AREAS:
NEW ENGLAND EROSION CONTROL/RESTORATION MIX, APPLICATION RATE

1,250 SF/LB

12. MONITOR AREA FOR VEGETATION ESTABLISHMENT AND GENERAL EROSION CONTROL MAINTENANCE.

13. REMOVE EROSION CONTROL BARRIERS WHEN ALL DISTURBED AREAS ARE FULLY STABILIZED AS DETERMINED BY THE ENGINEER OF RECORD.

IN PERFORMANCE OF THE ABOVE, THE CONTRACTOR SHALL ALSO OBSERVE AND INCLUDE ANY AND ALL REQUIREMENTS OF ANY INVASIVE SPECIES MANAGEMENT PLAN THAT MAY BE ASSOCIATED WITH THIS PROJECT.

DATE:

APPROVED _____, SUBJECT TO COVENANT EXECUTED BY _____, DATE _____, AND TO BE RECORDED HEREWITHE.

APPROVED _____, SUBJECT TO CONDITIONS SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH THE TOWN CLERK ON _____.

I, _____, TOWN CLERK OF THE TOWN OF STOUGHTON, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE ON _____.
NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE

STREAM CROSSING INSTALLATION NOTE

THE EXISTING STREAM BANK IS LOCATED SOUTH OF THE EXISTING SEWER MANHOLE PROPOSED FOR CONNECTION AND HAS A FULL BANK WIDTH OF APPROXIMATELY 6 FEET.

GIVEN THE NARROWNESS OF THE BANK JACKING IS THE PREFERRED METHOD OF UTILITY MAIN INSTALLATION UNDER THE EXISTING BANK TO LIMIT DISTURBANCES AND NEGATE THE NEED FOR DIVERSION TO THE MAXIMUM EXTENT POSSIBLE.

FINAL MEANS AND METHOD OF INSTALLATION SHALL BE DETERMINED BASED ON FIELD CONDITIONS AT THE TIME OF INSTALLATION AND SHALL BE COORDINATED WITH THE ENGINEER OF RECORD, CONSERVATION AGENT, AND TOWN ENGINEER PRIOR TO GROUNDBREAK.

STANDARD DEWATERING PROTOCOL

THE FOLLOWING REPRESENTS MINIMUM REQUIREMENTS FOR DEWATERING ASSOCIATED WITH THE PROPOSED UTILITY INSTALLATION AS APPLICABLE. ADDITIONAL REQUIREMENTS OR CONDITIONS ARE ALLOWABLE BY THE ENGINEERING OF RECORD BASED UPON CONDITIONS ENCOUNTERED IN THE FIELD.

1. IF DEWATERING IS REQUIRED AT ANY TIME DURING CONSTRUCTION ASSOCIATED WITH THE PROPOSED WORK, IT SHALL BE PERFORMED BY MECHANICAL MEANS AND ALL DISCHARGES SHALL BE UPSLOPE OF THE BORDERING VEGETATED BW.

2. DISCHARGES SHALL BE NO LESS THAN 50 FT. FROM THE BOUNDARY OF THE BW. WHENEVER POSSIBLE, CONTRACTOR SHALL MAKE EVERY EFFORT TO ENSURE THAT EFFLUENT FROM THE DEWATERING SOURCE IS DISSIPATED OVERLAND RATHER THAN CONCENTRATED AS A POINT SOURCE DISCHARGE. POINT SOURCE DISCHARGES ARE STRICTLY PROHIBITED.

3. EFFLUENT SHALL BE ALLOWED TO FLOW OVERLAND TOWARD THE BW PROVIDED THAT PROPER FILTRATION IS PROVIDED TO REMOVE ANY SUSPENDED SOLIDS TO THE MAXIMUM EXTENT POSSIBLE PRIOR TO REACHING THE BW.

4. PROPER FILTRATION WILL BE CONSIDERED, AT MINIMUM, TO INCLUDE THE USE OF A SUMP PIT AT THE DEWATERING SOURCE AND FILTRATION CONTROLS AT THE DISCHARGE SOURCE.

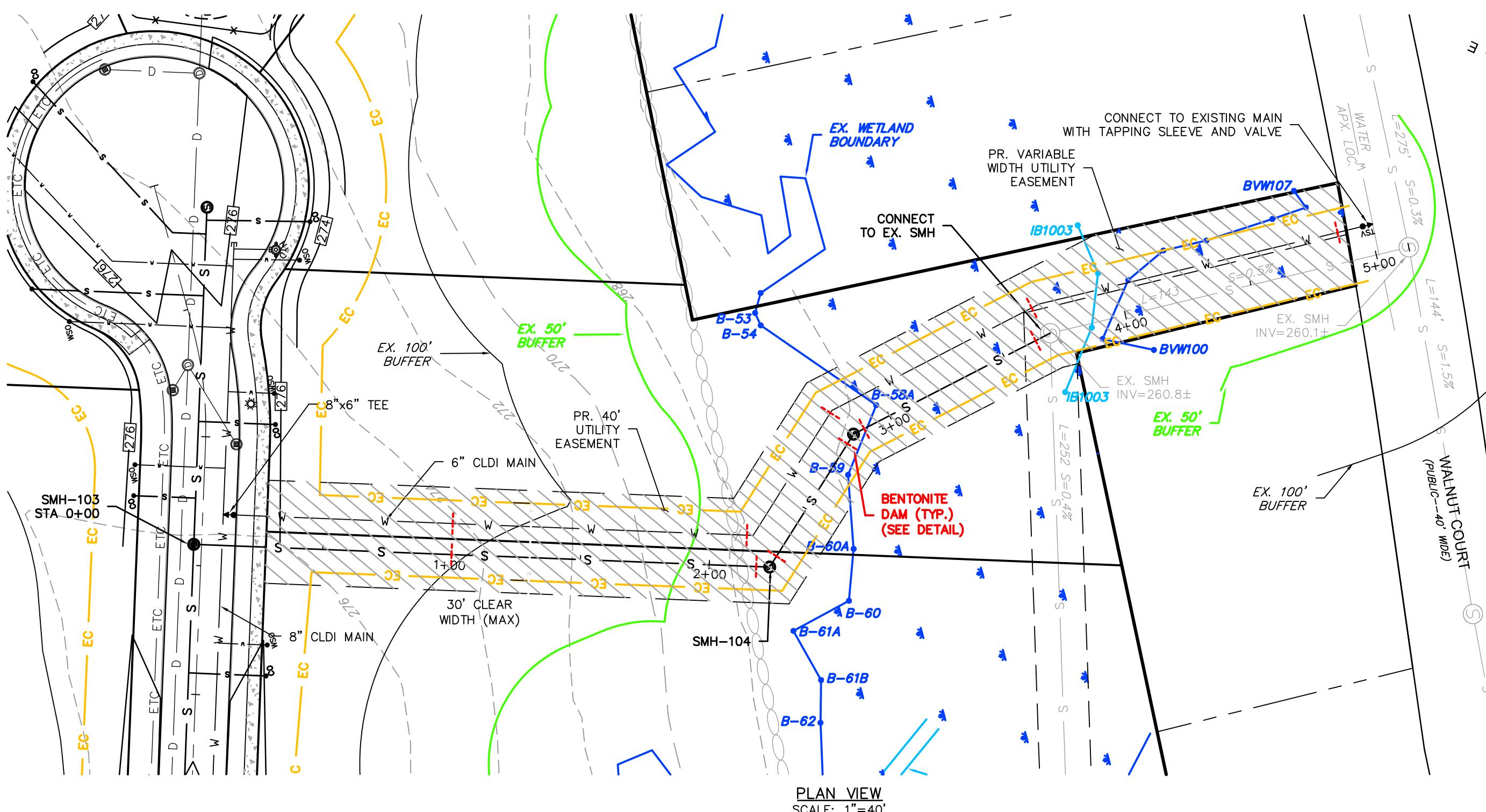
5. AT MINIMUM, SUMPS SHALL CONSIST OF A 12 IN. DIAMETER PERFORATED VERTICAL STANDPIPE BACKFILLED WITH WASHED CRUSHED STONE POSITIONED ON A 2 IN. WASHED CRUSHED STONE BASE. A SUBMERSIBLE PUMP OR SUCTION LINE SHALL BE LOCATED WITHIN THE STANDPIPE AND PUMP FILTERED WATER TO THE FILTRATION CONTROLS AT THE DISCHARGE SOURCE.

6. MINIMUM FILTRATION CONTROLS AT THE DISCHARGE SOURCE SHALL CONSIST OF EROSION CONTROL MATERIALS FORMED IN A U-SHAPE AROUND THE DISCHARGE POINT WITH A MINIMUM DIAMETER OF 6 FT. THE U-SHAPE PUMP LINE SHALL BE LOCATED MIDWAY BETWEEN THE ENDS OF THE FILTRATION CONTROLS IN A STRAIGHT LINE TO ALLOW FOR ADEQUATE DISBURSEMENT OF EFFLUENT.

7. DISCHARGE SHALL BE LOCATED SUCH THAT EFFLUENT IS NOT DIRECTED OVER AREAS THAT ARE UNSTABLE DUE TO THE REQUIRED WORK WHENEVER POSSIBLE.

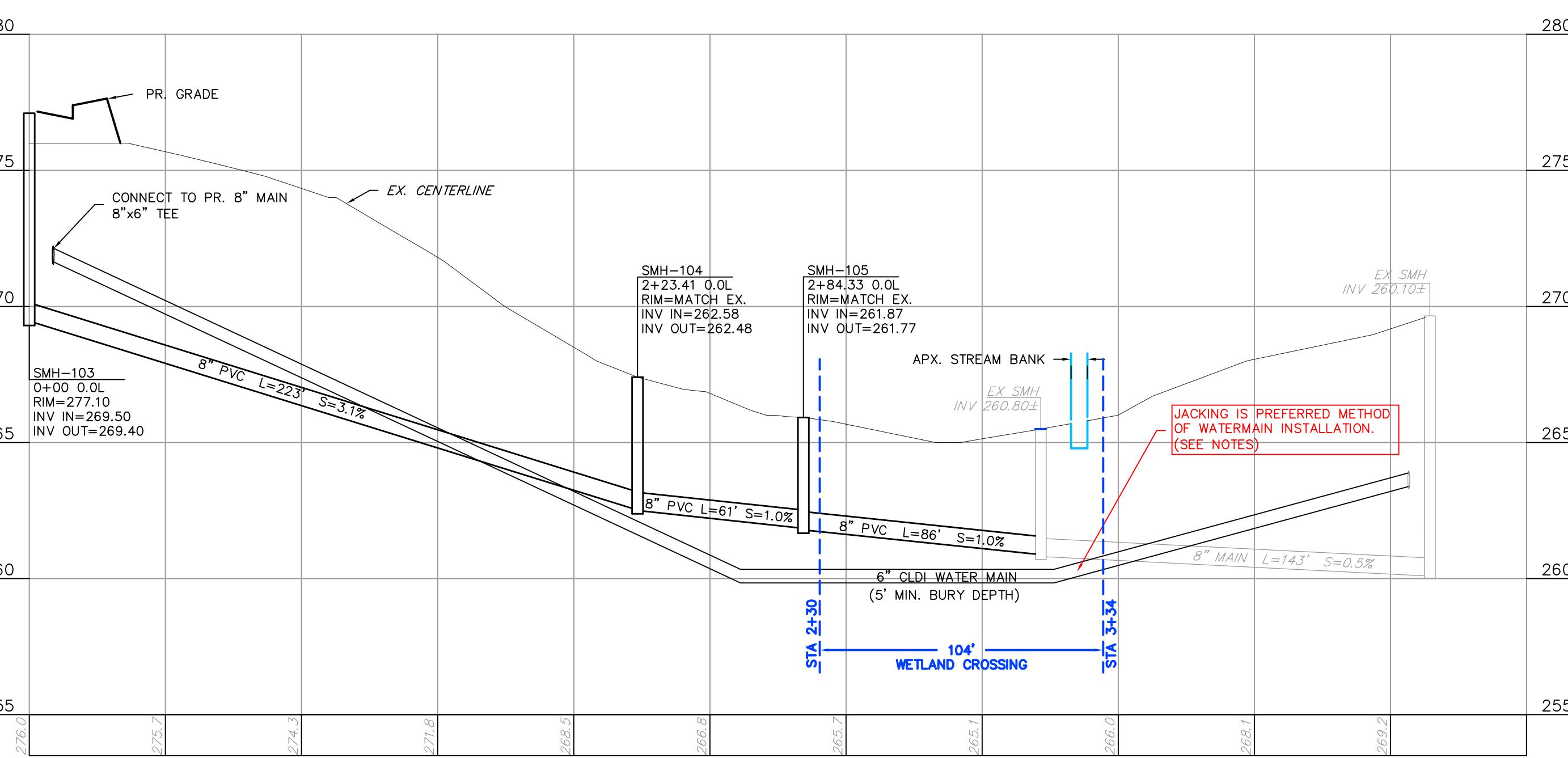
8. ALL DISCHARGES SHALL BE MONITORED FOR TURBIDITY. ADJUSTMENTS FOR SETTLING SHALL BE MADE AND SECONDARY CONTROLS SHALL BE ADDED AS NECESSARY.

9. ANY ACCUMULATED SEDIMENT RESULTING FROM DEWATERING FILTRATION SHALL BE REMOVED PRIOR TO REUSE OF THE PRACTICE.



NOTES:
1. DAMS SHALL BE LOCATED IN THE AREA GENERALLY DEPICTED ON THE PLAN SHEET. MINOR ADJUSTMENTS TO FINAL LOCATIONS ARE ALLOWABLE DEPENDANT ON FIELD CONDITIONS.
2. DAMS SHALL BE LOCATED ON EITHER SIDE OF ALL SEWER MANHOLES AND PRIOR TO ALL BENDS IN WATER MAINS.
3. IN NO CASE SHALL SPACING OF DAMS EXCEED 15' LINEAR FEET.
4. BENTONITE SHALL EXTEND A MINIMUM OF 12" IN ALL DIRECTIONS BEYOND PIPE BEDDING/PROTECTIVE MATERIAL OR TO REFUSAL WHICH EVER IS LESS.
5. DAMS SHALL BE A MINIMUM OF 12" WIDE.
6. BENTONITE SHALL MEET OR EXCEED MASSDOT SPECIFICATION M9.09.0 OR APPROVED EQUAL.

BENTONITE CLAY DAM DETAIL
NOT TO SCALE



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

4	hydrant location	05/14/20
3	town eng & con com comments	03/09/20
2	town eng & con com comments	02/05/20
1	town eng comments	12/09/19

REV DESCRIPTION DATE

STRONGPOINT
ENGINEERING SOLUTIONS, INC.
340 MANLEY STREET, UNIT 2
WEST BOSTON, MASSACHUSETTS 02139
(508) 632-0229

PROJECT NUMBER: 1704-003

DATE OF ISSUE: SEPTEMBER 18, 2019

SCALE: AS NOTED

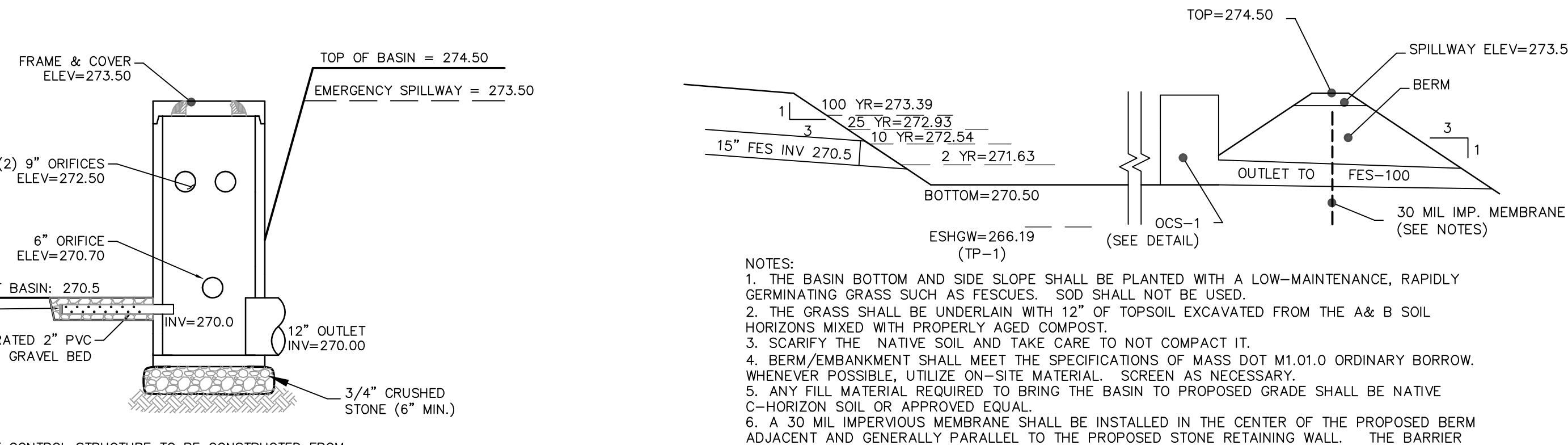
DESIGNED BY: SH CHECKED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

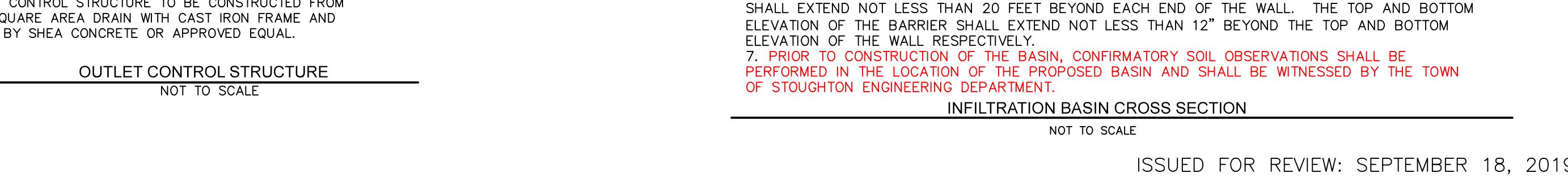
DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

DETAIL SHEET D-3



NOTES:
1. THE BASIN BOTTOM AND SIDE SLOPES SHALL BE PLANTED WITH A LOW-MAINTENANCE, RAPIDLY GERMINATING GRASS SUCH AS FESCUES. SOD SHALL NOT BE USED.
2. THE GRASS SHALL BE UNDERLAIN WITH 12" OF TOPSOIL EXCAVATED FROM THE A & B SOIL HORIZONS MIXED WITH PROPERLY AGED COMPOST.
3. SCRUFFY THE NATIVE SOIL AND TAKE CARE TO NOT COMPACT IT.
4. BERM/EMBANKMENT SHALL MEET THE SPECIFICATIONS OF MASS DOT M1.01.0 ORDINARY BORROW. WHENEVER POSSIBLE, UTILIZE ON-SITE MATERIAL. SCREEN AS NECESSARY.
5. ANY FILL MATERIAL REQUIRED TO BRING THE BASIN TO PROPOSED GRADE SHALL BE NATIVE HORIZONTAL SOIL OR APPROVED QUARRY.
6. A 30 MIL IMPERVIOUS MEMBRANE SHALL BE INSTALLED IN THE CENTER OF THE PROPOSED BERM ADJACENT AND GENERALLY PARALLEL TO THE PROPOSED STONE RETAINING WALL. THE BARRIER SHALL EXTEND NOT LESS THAN 20 FEET BEYOND EACH END OF THE WALL. THE TOP AND BOTTOM ELEVATION OF THE BARRIER SHALL EXTEND NOT LESS THAN 12" BEYOND THE TOP AND BOTTOM ELEVATION OF THE WALL, RESPECTIVELY.
7. PRIOR TO CONSTRUCTION OF THE BASIN, CONFIRMATORY SOIL OBSERVATIONS SHALL BE PERFORMED IN THE LOCATION OF THE PROPOSED BASIN AND SHALL BE WITNESSED BY THE TOWN OF STOUGHTON ENGINEERING DEPARTMENT.

INfiltration Basin Cross Section
NOT TO SCALE



NOT TO SCALE

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

COPYRIGHT © 2019 STRONG POINT ENGINEERING SOLUTIONS, INC.

TEST PITS CONDUCTED ON JUNE 17, 2019 BY ERIC DIAS P.E., S.E. #13496

SOIL LOGS
NOT TO SCALE

I hereby certify that no appeal has been filed with
the Office of the Town Clerk within the twenty
day appeal period.

Stephanie Carrara
Town Clerk
May 9, 2020

TOWN OF STOUGHTON

Massachusetts
MA 02072

PLANNING BOARD

**Certificate of Approval of a
Definitive Subdivision**
Lawler Lane (Formerly Johnson Avenue)
Sub 19-01

Date: May 28, 2020

Applicant: Amp Development, LLC
1667 Central Street
Stoughton, MA 02072

Owner: Alan Cline c/o Cline Property Management, LLC
15369 West Lea Lane
Surprise, AZ 85374

Representative: Eric Dias
Strongpoint Engineering Solutions, Inc.
340 Manley Street, Unit 2
West Bridgewater, MA 02379

Property: Johnson Avenue (off of Walnut Street) (Assessor's Map 66,
Lots 185, 187, 188, 189 and 190 and Assessor's Map 67, Lots 248,
253, 254 and 255)

RECEIVED
STOUGHTON, MASS.
2020 JUN -1 P 2:40
OFFICE OF
THE TOWN CLERK

A True Copy
Attest:
Stephanie Carrara
Stoughton Town Clerk, 02072

I) Project Summary

The proposed project includes the construction of a nine (9) – lot residential subdivision, with Lot 1 containing an existing multi-family dwelling. It also includes the construction of a roadway with a dead-end cul-de-sac and associated infrastructure.

II) Procedural History

A) Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on September 19, 2019.

1

[Signature]

- B) The Site Plan submitted for review to the Planning Board is titled "Definitive Subdivision Plan for Madison Avenue (Formerly Johnson Avenue)" prepared by Strongpoint Engineering Solutions, Inc., 340 Manley Street, Unit 2, West Bridgewater, MA 02379, dated September 18, 2019 and revised through May 26, 2020.
- C) The land shown on the Site Plan is located off of Walnut Street and shown on Assessor's Map 66, Lots 185, 187, 188, 189 and 190 and Assessor's Map 67, Lots 248, 253, 254 and 255 (the "Property") and is located in the Residential Urban (RU) zoning district and consists of approximately 11.5 acres of lot area.
- D) A public hearing on the Site Plan Application was duly noticed, advertised and held on October 10, 2019, November 14, 2019, December 12, 2019, January 9, 2020, February 13, 2020, February 27, 2020 and May 28, 2020.

II) Application Submittals

1. The Site Plan submitted for review to the Planning Board is titled "Definitive Subdivision Plan for Madison Avenue (Formerly Johnson Avenue)" prepared by Strongpoint Engineering Solutions, Inc., 340 Manley Street, Unit 2, West Bridgewater, MA 02379, dated September 18, 2019 and revised through May 26, 2020.
2. "Summary of Hydrologic Analysis and Stormwater Management System Calculations" prepared by Strongpoint Engineering Solutions, Inc., 340 Manley Street, Unit 2, West Bridgewater, MA 02379, dated September 18, 2019 and revised through February 5, 2020.

III) Related Documents

1. Copy of the Legal Public Hearing notice from the edition of the Journal-Sun dated September 25, 2019 and October 2, 2019.
2. Certified List of Abutters dated September 19, 2019
3. Waiver request letter from Strongpoint Engineering Solutions, Inc. dated September 18, 2019.
4. Comments from Sgt. James O'Connor on behalf of the Police Department dated October 7, 2019.
5. Technical Engineering Review from Craig Horsfall, Assistant Town Engineer dated October 8, 2019.
6. Letter from abutter Peter Banis dated October 10, 2019.
7. Letter from abutter Peter Banis dated October 15, 2019.
8. Response to Technical Engineering Review letter from Strongpoint Engineering Solutions, Inc. dated December 9, 2019.
9. Comment letter from John Charbonneau, Town Planner dated December 23, 2019.

2



10. Technical Engineering Review from Craig Horsfall, Assistant Town Engineer dated December 23, 2019.
11. Comment letter from Phil McNulty, Stoughton Water Department dated January 10, 2020.
12. Response to Technical Engineering Review letter from Strongpoint Engineering Solutions, Inc. dated February 5, 2020.
13. Technical Engineering Review from Craig Horsfall, Assistant Town Engineer dated February 10, 2020.

IV) Findings

The Planning Board reviewed all of the evidence submitted during the public hearing process to determine whether the Plan substantially conforms to the Town of Stoughton's Land Subdivision Regulations dated February 17, 1999.

REGULATIONS SECTION IV.C DEFINITIVE PLAN SUBMISSION REQUIREMENTS

C.1. General Requirement

The Planning Board voted to find that the Plan conforms to this requirement.

C.2. Submission Requirements

The Planning Board voted to find that the Plan conforms to this requirement.

C.2a Submission Requirements (Procedures)

The Planning Board voted to find that the Plan conforms to this requirement.

C.2b Submission Requirements (Contents)

The Planning Board voted to find that the Plan conforms to this requirement.

C.3. Required Review by Board of Health

The Planning Board voted to find that the Plan conforms to this requirement.

C.4. Public Hearing

The public hearing was duly noticed and advertised on September 25, 2019 and October 2, 2019 for the opening of the public hearing on October 10, 2019.

3

A handwritten signature in black ink, likely belonging to the town clerk or a member of the planning board, is located in the bottom right corner of the page.

V) Decision

A) General Conditions

1. This decision shall expire if the Applicant has not, for whatever cause, completed installation of the improvements shown on the approved plans four (4) years from the date that the decision becomes final, unless a request for an extension is requested and granted by the Planning Board. This decision is deemed to have become final upon the expiration of the 20-day appeal period with the Town Clerk if no appeal is filed. If an appeal is filed, the decision is deemed to be final on the date that the last appeal is decided or otherwise disposed of.
2. Prior to commencement of construction, a revised full set of approved plans and calculations, showing any required changes to the approved plans required by this decision shall be submitted to the Planning Board for its records . The Planning Board decision shall be scanned onto and incorporated into the approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
3. Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
4. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Insubstantial modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
5. The Applicant is responsible for the filing of this decision and the approved plans with the Registry of Deeds.
6. At least seven (7) days prior to beginning of any site activity, the Applicant shall hold a pre-construction meeting with the Building Commissioner, the Engineering Department, the Conservation Agent, the Department of Public Works and the Town Planner to coordinate the necessary inspections. At that meeting, the applicant shall provide:
 - a) The company affiliation, name, address and business telephone number of the construction superintendent who shall have overall responsibility for construction activities on-site;
 - b) Proof that "dig-Safe" has been notified at least 72 hours prior to the start of any site work; and

- c) Proof that street signage is in place to ensure that emergency personnel can locate the site to provide emergency services to protect and secure the site and construction personnel.
- 7. All applicable Zoning Bylaws requirements of the Town of Stoughton shall be satisfied.
- 8. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
- 9. This approval shall be subject to the satisfaction of all of the conditions set forth in Regulations Section IV.C.6 a-n.
- 10. This approval shall be subject to the performance guarantee requirements set forth under Regulations Section IV.C.8 and M.G.L. Ch. 41, Sec. 81U, Par. 7 and that the applicant shall, at all times, maintain sufficient surety and shall provide additional surety, should the applicant be notified in writing that the surety is deficient in amount or nature, after being provided an opportunity to be heard by the Board.
- 11. This approval shall be subject to the conveyance of utility requirements set forth under Regulations Section IV.C.12.
- 12. Other than the waivers requested, this approval shall be subject to full conformance with the design and construction standards and conditions set forth under Regulations Section VI (A through AA).
- 13. This approval shall be subject to conformance with all of the administrative requirements set forth under Regulations Section VII.A through D.
- 14. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.
- 15. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
- 16. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.

I, _____, TOWN CLERK OF THE TOWN
OF STOUGHTON, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD WAS RECEIVED AND
RECORDED AT THIS OFFICE ON _____.
NO NOTICE OF APPEAL WAS RECEIVED DURING
THE TWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

17. Prior to any construction activity, all required fees shall be paid to the Public Works Department.
18. The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
19. Prior to any construction activity, the final water system design shall be reviewed and approved by the Public Works Department.
20. Prior to commencing Authorized Activity, the Applicant's final construction plans shall provide that the construction of the project shall be performed in accordance with all applicable laws and regulations regarding noise, vibration, dust and sedimentation control. No stumps or construction debris shall be buried or disposed of on-site.
21. Required soil and erosion control measures shall be erected and serviceable prior to any site activity. For purposes of controlling erosion, all grades exposed for greater than a 30-day period shall be stabilized.
22. The Applicant shall be responsible for ensuring that any trucks involved in hauling materials onto or off-site are properly covered and otherwise secured from spilling material along any street outside the site. Violation of this condition may lead to the discontinuation of construction activities and/or permits and fines.
23. During construction, the Applicant shall maintain a clean site and shall install the necessary aprons at the edge of the property to prevent vehicles leaving the property from tracking sediment off of the property and shall perform the necessary sweeping and dust control measures to protect area property owners and prevent collection of dirt, dust or debris from leaving the site.
24. If activity ceases for longer than 30 days consecutively, 48-hour written notice shall be provided to the Building Commissioner, Town Engineer, Conservation Agent and the Department of Public Works prior to restarting work.
25. Wetting and stabilization of exposed grades shall occur as necessary to suppress dust generation. The use of municipal water for wetting of exposed grades and for other purposes associated with this approved operation shall require the prior written authorization of the Stoughton Public Works Department. Copies of said authorization must be filed by the Applicant with the Planning Board and the Building Commissioner prior to its use. Otherwise, the potable water shall be transported to the

site from a lawful source outside of the Town of Stoughton or provided by private well.

26. Buffer zones within 25 feet of wetlands shall not be used for stockpiling of earth or construction materials, for parking of construction vehicles and equipment, refueling and maintenance of construction vehicles or equipment, or for storage of diesel fuel or hazardous materials.
27. Prior to any construction activity, the Applicant shall:
 - a) Provide to the Building Department, Planning Department and Engineering Department a final Stormwater Pollution and Prevention Plan (SWPPP) to address specific sedimentation, erosion and dust control, which illustrates, at a minimum, locations of measures such as hay bales, silt fence, sedimentation basins and all other erosion controls on the approved Plans and provides detailed construction sequencing and methods to protect the infiltration capacity of each infiltration system.
 - b) Obtain a National Pollutant Discharge Elimination System Permit (NPDES) from the U.S. Environmental Protection Agency (USEPA), as necessary for construction of the project at the property.
 - c) Provide procedures that outline the specific operation and maintenance measures for all stormwater/drainage facilities, including any temporary facilities that shall be employed to minimize or eliminate the threat of transmission of mosquito - borne diseases to the residents of the project and nearby residents.
28. All catch basins and detention basins shall be cleaned at the end of construction.
29. An interim as-built plan for drainage and water infrastructure shall be provided to and approved by the Planning Board in consultation with the Engineering Department prior to the installation of the binder course of pavement.

B) Special Conditions

1. The project shall be built in compliance with the Order of Conditions DEP # 298-0817 approved by the Conservation Commission on May 21, 2020.
2. The Plan proposes construction of eight (8) single-family dwellings and this approval is subject to the condition that no more than eight (8)

single-family dwellings shall be constructed on the property without a modification to this approval.

3. The way shown on the approved Plan shall not be used to provide access for any other lot located on any land other than the subject property.
4. No land within the Property may be divided and then conveyed in order to be added to land outside of the subdivision for purposes of providing access for a new building lot or for inclusion in lot area requirements to create a new building lot, without a modification of this approval.
5. All utilities within the project shall be installed underground.
6. During construction, the hours of operation shall be from 7:00 am until 6:00 pm Monday through Friday and 8:00 am until 5:00 pm on Saturday. No machinery shall be started or run prior to those start times. There shall be no construction activities on Sunday or any state or federal holiday.
7. Fire hydrants and pull boxes shall be located as required by the Fire Chief and shall be shown on the approved Plans. The Applicant shall submit final fire alarm/sprinkler plans to the Fire Chief for review and approval.
8. Prior to the issuance of any building permits, if deemed necessary by the Engineering Department, the Applicant shall conduct a hydrant flow test to determine available flow and pressure and provide the results of such test to the Engineering Department. In the event there is insufficient water pressure or volume for fire protection, plans shall include on-site improvements such as a fire pump or off-site improvements to the municipal water distribution system, as required to maintain a residual pressure of 20 psi in the municipal water distribution system. The procedure for flushing, disinfecting and pressure testing of the water mains shall be approved by the Engineering Department.
9. No foundation or building permit shall be issued for any lot until the necessary drainage infrastructure has been satisfactorily completed.
10. No driveway shall be located within five (5) feet of any catch basin.
11. No driveway shall have greater than a maximum grade of 3% for any portion of the driveway that is within 25 feet of the right of way shown on the approved Plan.

12. Parking shall be restricted to one (1) side of the proposed roadway and the applicant shall install signs indicating that on-street parking is prohibited on the chosen side of the roadway.
13. A form of surety ("surety") as required under the Regulations and M.G.L. Ch. 41, Sec.81U, Paragraph 7, in an amount to be determined by the Board in consultation with the Engineering Department shall be provided prior to starting any activity authorized by this approval ("Authorized Activity") within a Town of Stoughton public way, on Town property or in any Town easement to ensure the proper and timely completion of all such work that shall be held by the Town Treasurer until they are notified by the Planning Department to release the surety. The form of surety shall be cash.
14. Requests to reduce the surety may be submitted as work progresses and shall include the amount of requested reduction, a list of work outstanding and a cost estimate of the same. The surety retained shall be based on the work remaining.
15. The addresses for the lots should be designated by the Building Commissioner as being on Lawler Lane.

VI) Waivers

Regulations Section IV.C.2b.7

Large trees are not shown on the Plan.

Regulations Section VI.A.3

To allow the length of the dead end roadway to be a maximum length of 600 feet to the edge of the cul-de-sac.

Regulations Section IV.C.11

Submission of an Environmental Impact Statement (EIS).

Regulations Section VI.A.2a

To allow a roadway pavement width of 26 feet.

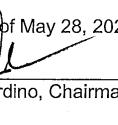
9

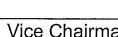


1) Record of Vote

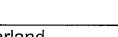
The following members of the Planning Board constituting a majority, hereby vote to approve the Definitive Subdivision based on the above stated facts, findings and conditions. They also voted to authorize the Chairman to endorse the decision on their behalf.

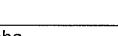
On this day of May 28, 2020.


Joseph Scardino, Chairman


Daniel Kelly, Vice Chairman


Lynne Jardin

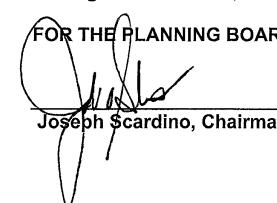

Jonathan Garland

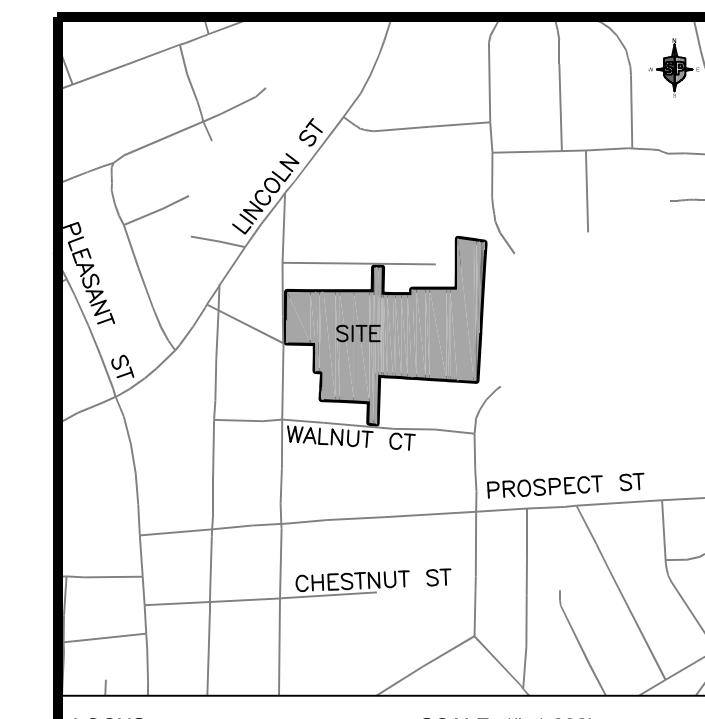

Genesie Kabba

c: Town Clerk:
Applicant:
Interested Parties:

CERTIFICATION:

The Planning Board certifies that a copy of this decision has been filed with the Town Clerk of the Town of Stoughton on June 1, 2020.


FOR THE PLANNING BOARD
Joseph Scardino, Chairman



REV	DESCRIPTION	DATE
-----	-------------	------

340 MARSH STREET, UNIT 2
WEST BRIDGEWATER, MA 02379
(508) 682-0229

DRAFTED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

**DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA**

PLANNING BOARD DECISION