

TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW.

DATE:

APPROVED _____, SUBJECT TO COVENANT
EXECUTED BY _____, DATE _____,
AND TO BE RECORDED HERewith.

APPROVED _____, SUBJECT TO CONDITIONS
SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH
THE TOWN CLERK ON _____.

I, _____, TOWN CLERK OF THE TOWN
OF STOUGHTON, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD WAS RECEIVED AND
RECORDED AT THIS OFFICE ON _____.
NO NOTICE OF APPEAL WAS RECEIVED DURING
THETWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE

OWNER:

MR. ALAN CLINE
15369 WEST LEA LANE
SURPRISE, AZ 85374

APPLICANT:

AMP DEVELOPMENT LLC
1667 CENTRAL STREET
STOUGHTON, MA 02072

CIVIL ENGINEER:



SURVEYOR



REQUESTED WAIVERS

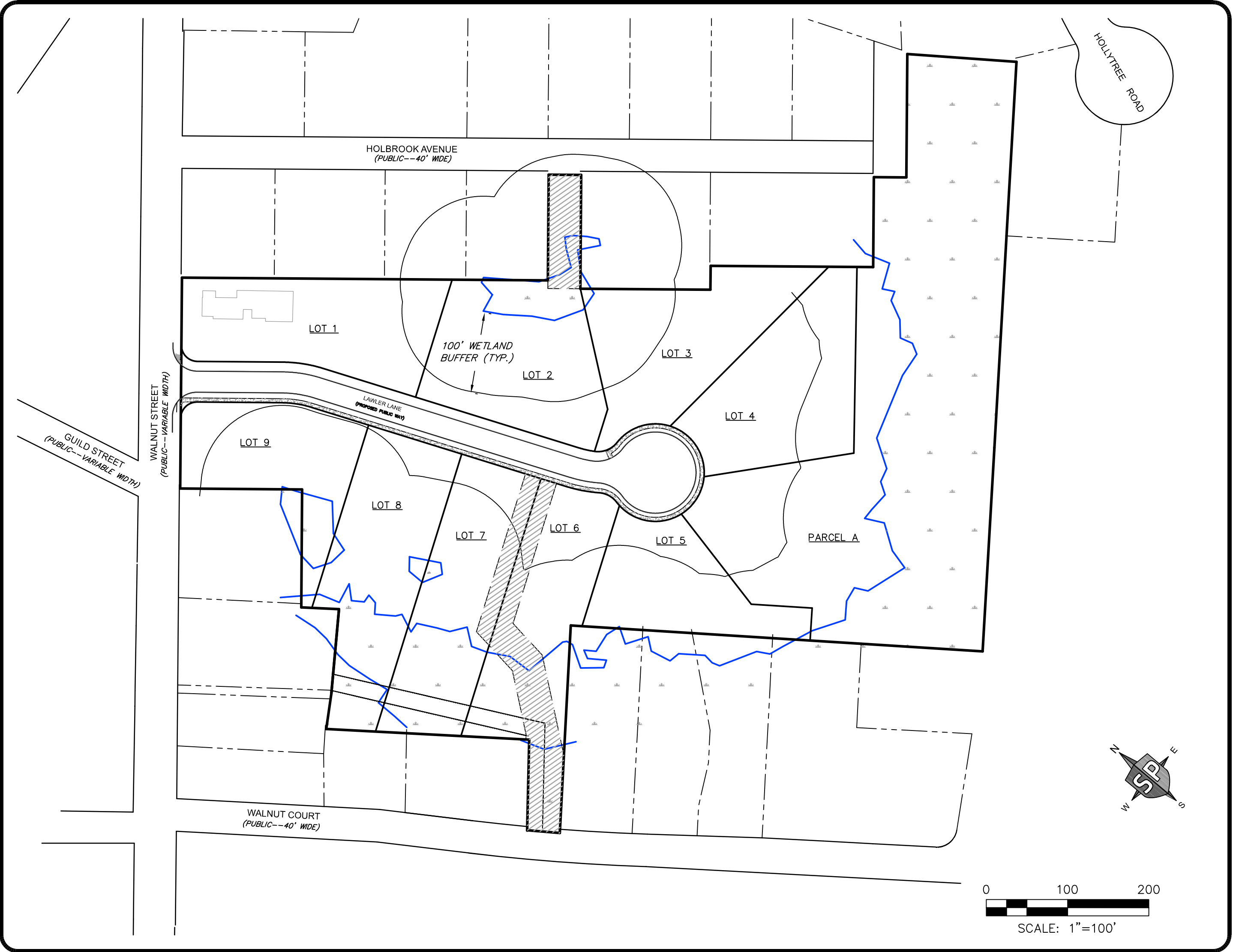
THE FOLLOWING WAIVERS FROM CERTAIN SECTIONS OF THE TOWN OF STOUGHTON
LAND SUBDIVISION REGULATIONS ARE REQUESTED:

SECTION	RELIEF REQUESTED
IV.C.2b.7	LARGE TREES NOT SHOWN ON PLAN
VI.A.3	MAXIMUM LENGTH DEAD END STREET TO 600'
VI.A.2a	PAVEMENT WIDTH REDUCTION FROM 30' TO 26'
N/A	TO ALLOW TWO PROPOSED CURB CUTS ON PR. LOT 1 (EX. #379. WALNUT ST.)

DEFINITIVE SUBDIVISION PLANS
FOR
LAWLER LANE
(FORMERLY JOHNSON AVENUE)

MAP 66 LOTS 185, 187, 188, 189,
190, AND MAP 67 LOTS 248, 253, 254 & 255

STOUGHTON, MA

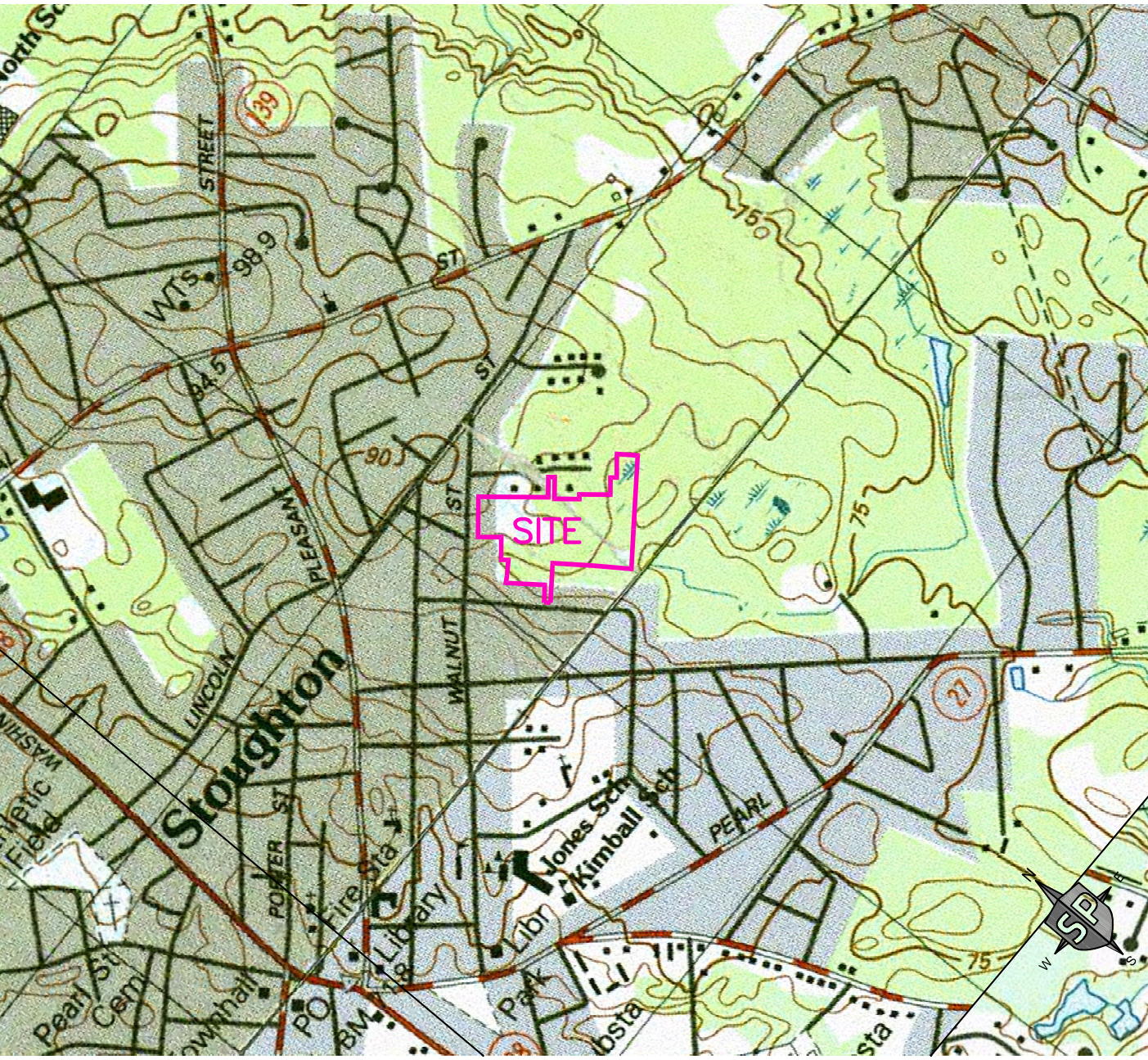


SHEET INDEX

SHEET:	NAME:	ISSUED:	REVISED:
C-1	LOCUS PLAN	09/18/19	03/09/20
C-2	EXISTING CONDITIONS PLAN	09/18/19	03/09/20
C-3	LOT LAYOUT PLAN	09/18/19	03/09/20
C-4	PROPOSED LAYOUT PLAN	09/18/19	05/26/20
C-5	PROPOSED GRADING & UTILITY PLAN	09/18/19	05/14/20
C-6	PROPOSED PLAN & PROFILE	09/18/19	05/14/20
C-7	PROPOSED EROSION CONTROL PLAN	09/18/19	05/14/20
C-8	CONCEPTUAL LOT DESIGN PLAN	09/18/19	05/26/20
D-1 - D-3	DETAIL SHEETS	09/18/19	05/14/20
PB-1	PLANNING BOARD DECISION	07/20/20	—

SITE LOCUS

SCALE: 1"=1000'



PROFESSIONAL LAND SURVEYOR
FOR KLIM LAND SURVEYING, INC.

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, LLC

TOWN OF STOUGHTON PLANNING BOARD
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TOWN CLERK

DATE

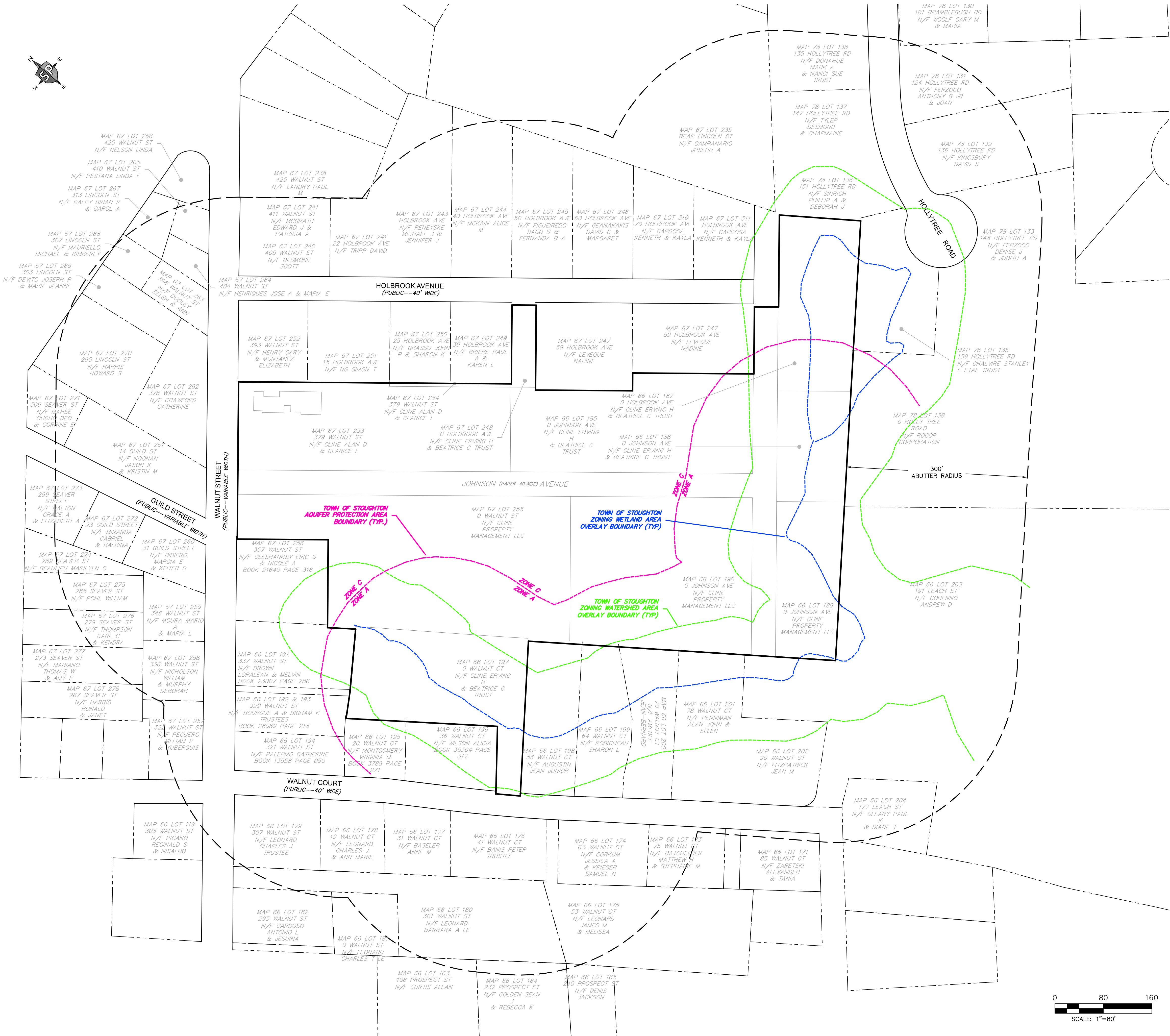
NOTES:

1. PROPERTY BOUNDARY SHOWN HERE PROVIDED BY
KLM LAND SURVEYING, INC. VIA AN ON THE GROUND
SURVEY ON MARCH 17, 2018.

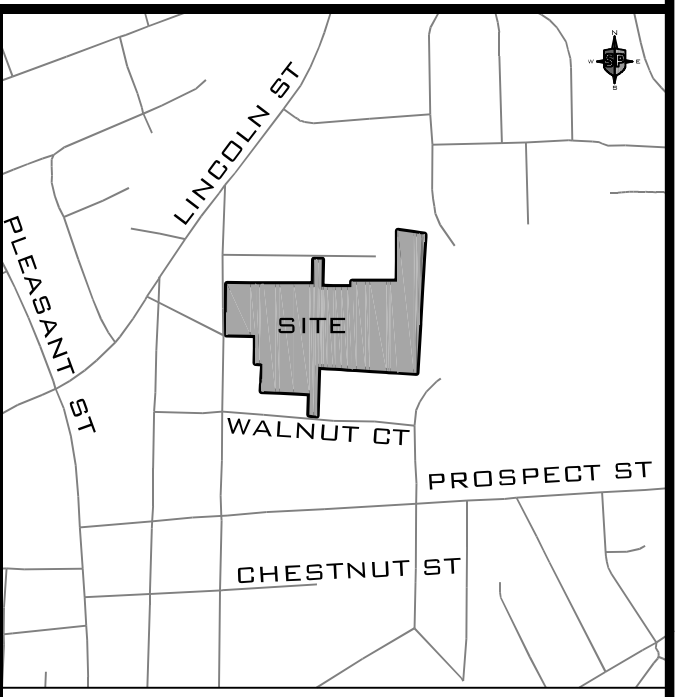
2. SITE LOCUS FALLS WITHIN A RESIDENTIAL-URBAN
ZONING DISTRICT.

3. ABUTTER INFORMATION PRESENTED HERE TAKEN FROM
MOST RECENT TOWN OF STOUGHTON TAX RECORDS.

4. OVERLAY BOUNDARIES TAKEN FROM TOWN OF
STOUGHTON GIS DATA.



PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

REV	DESCRIPTION	DATE
3	TOWN ENG & CON COM COMMENTS	03/09/20
2	TOWN ENG & CON COM COMMENTS	02/05/20
1	TOWN ENG COMMENTS	12/09/19



PROJECT NUMBER: 1704-003

DATE OF ISSUE: SEPTEMBER 18, 2019

SCALE: AS NOTED

DESIGNED BY: SH CHECKED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

LOCUS
PLAN

C-1

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

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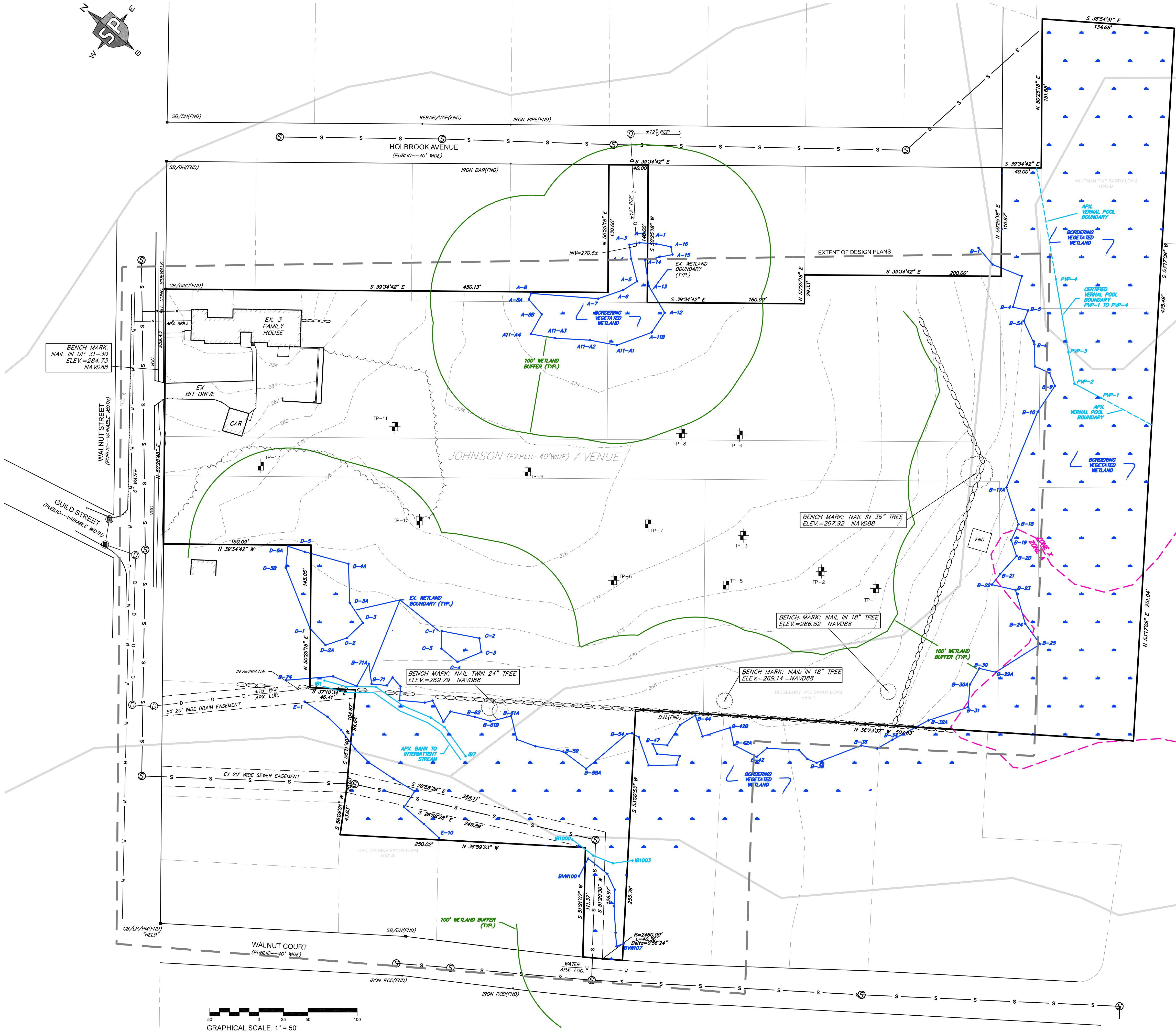
TOWN CLERK _____ DATE _____

EXISTING FEATURES

- PROPERTY BOUNDARY
- ABUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- SEWER LINE
- SEWER MANHOLE
- STONE WALL
- DRAIN LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SOIL TYPE BOUNDARY
- TEST PIT

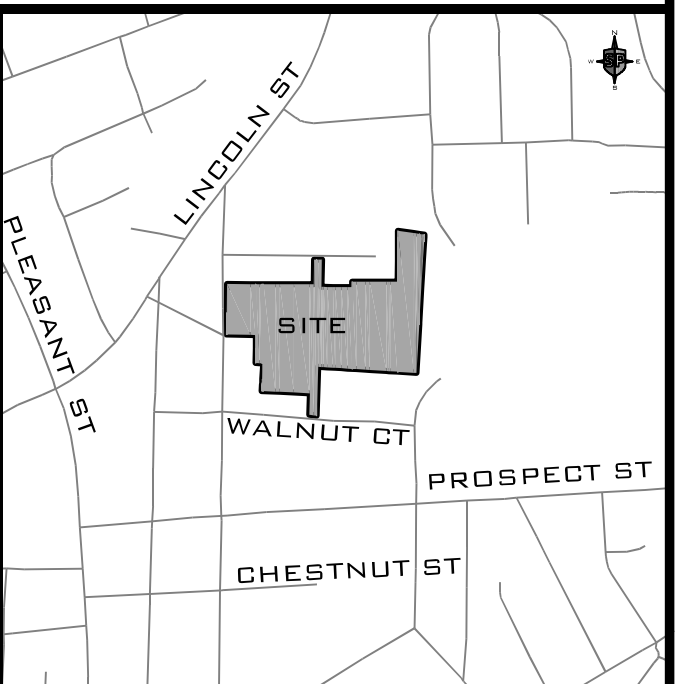
NOTES:

1. PROPERTY BOUNDARY AND EXISTING CONDITIONS SHOWN HERE PROVIDED BY KUM LAND SURVEYING, INC. VIA AN ON THE GROUND SURVEY ON VARIOUS DATES BETWEEN MARCH 2017 AND JUNE 2018.
2. WETLAND INFORMATION AND EXISTING FEATURES SHOWN HERE TAKEN FROM PLAN ENTITLED ABBREVIATED NOTICE OF RESOURCE AREA DELINEATION FOR JOHNSON AVE., STOUGHTON, MA, PREPARED BY THIS OFFICE AND LAST REVISED JUNE 25, 2018 AND CONFIRMED VIA AN ORDER OF RESOURCE AREA DELINEATION ISSUED ON JUNE 7, 2018. REFER TO ABOVE REFERENCED PLAN FOR ADDITIONAL FLAG NUMBERING.
3. SITE LOCUS FALLS WITHIN A RESIDENTIAL A RESIDENTIAL-URBAN ZONING DISTRICT.
4. SITE LOCUS DOES NOT FALL WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
5. SITE LOCUS DOES NOT CONTAIN ANY PRIORITY OR ESTIMATED RARE SPECIES HABITATS AS SHOWN ON THE NATURAL HERITAGE AND ENDANGERED SPECIES (NHESP) ATLAS.
6. A FEMA FLOOD ZONE "A" EXISTS ON SITE AS SHOWN ON THE FLOOD INSURANCE RATE MAP(FIRM) PANEL NUMBER 25021C0214, DATED JULY 17, 2012.
7. SITE LOCUS FALLS WITHIN ZONE A & C SURFACE WATER PROTECTION ZONES AS SHOWN ON TOWN OF STOUGHTON GIS.
8. THE CERTIFIED VERNAL POOL IS CLASSIFIED AS CVP 8042 BY NHESP.
9. ALL ELEVATIONS SHOWN HERE REFERENCE NGVD 88.
10. THE SITE IS LOCATED APX. 3,150 FEET WEST OF THE PRATTS COURT WATER SUPPLY WELL.
11. SOIL INFORMATION TAKEN FROM NRCS SOIL GIS DATA LAYER.



PROFESSIONAL LAND SURVEYOR FOR
KUM LAND SURVEYING, INC.

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



REV	DESCRIPTION	DATE
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1	TOWN ENG COMMENTS	12/09/19

STRONGPOINT
ENGINEERING SOLUTIONS, INC.
340 MANLEY STREET, UNIT 2
WEST BRIDGEWATER, MA 02379
(508) 685-0229

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AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

EXISTING
CONDITIONS
PLAN
C-2

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

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WAIVERS

THE FOLLOWING WAIVERS FROM CERTAIN SECTIONS OF THE TOWN OF STOUGHTON
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SECTION	RELIEF REQUESTED
IV.C.2b.7	LARGE TREES NOT SHOWN ON PLAN
VI.A.3	MAXIMUM LENGTH DEAD END STREET TO 600'
VI.A.2a	PAVEMENT WIDTH REDUCTION FROM 30' TO 26'
N/A	TO ALLOW TWO PROPOSED CURB CUTS ON PR. LOT 1 (EX. #379, WALNUT ST.)

Assessors Reference: Map 66 Lots 185, 187-190, 197
Map 67 Lots 248, 253-255

Deed Reference: Book 33606 Page 492
Book 22494 Page 446

Plan References:

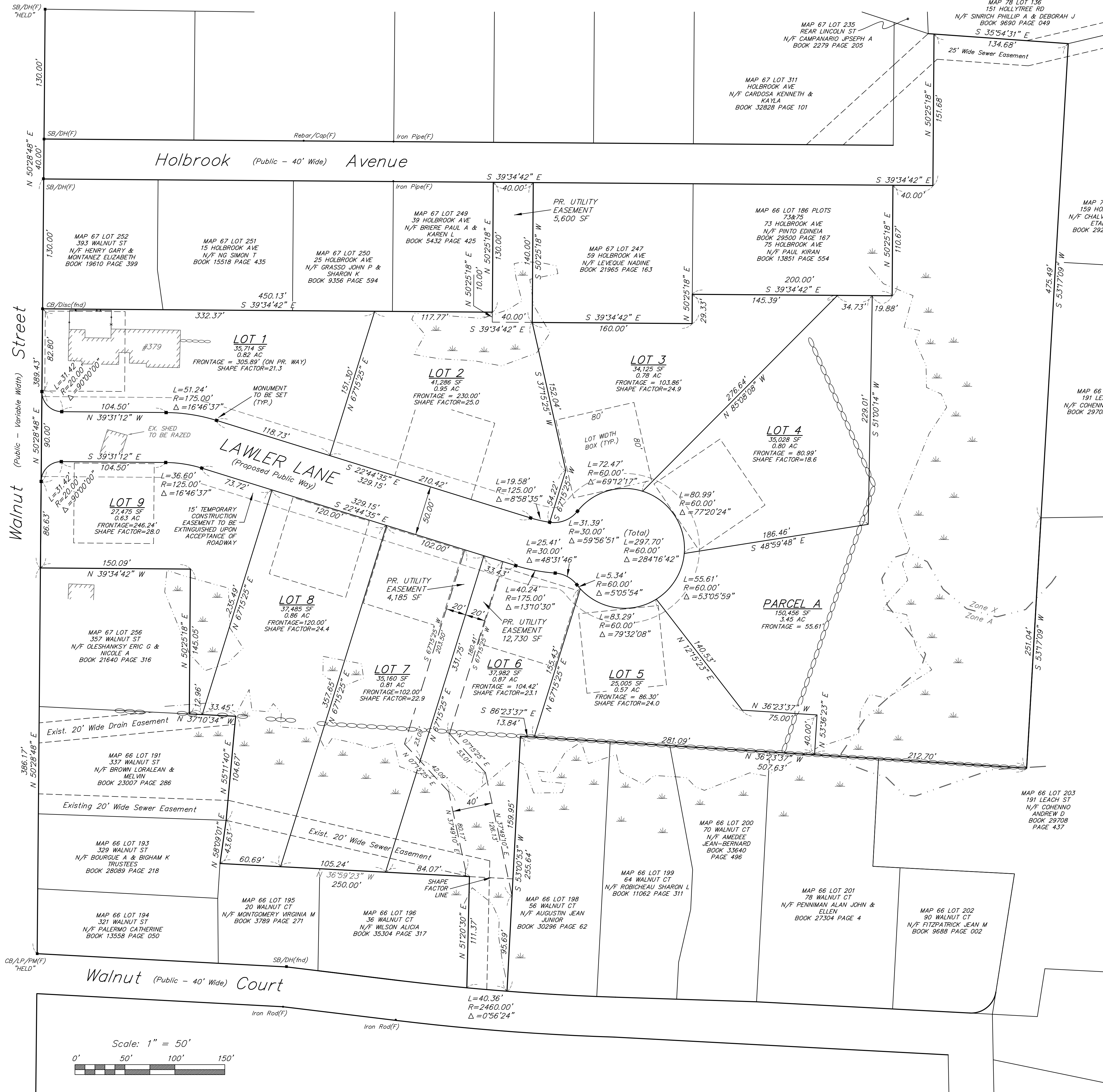
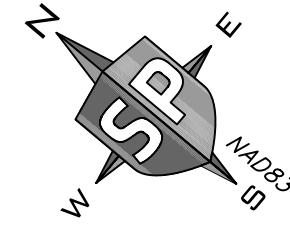
Book 59	Page 2829
Book 264	Page 1096 B & C
Book 267	Page 345
Book 342	Page 1339
Book 354	Page 592
Book 357	Page 938
Book 385	Page 849
Book 444	Page 810
Book 514	Page 650
Book D1785	Page 561
Book D2215	Page 222
Book D2637	Page 326
Book D3044	Page 441
Book D3448	Page 025
Book D3797	Page 411
Book D4187	Page 284
Book D6123	Page 649

The majority of the property is located within a Zone X
(Area of Minimal Flood Hazard) as shown on Flood
Insurance Rate Map 25021 C 0214 E. A small portion of
wetlands at the southerly corner of the property is
located within a Zone A.

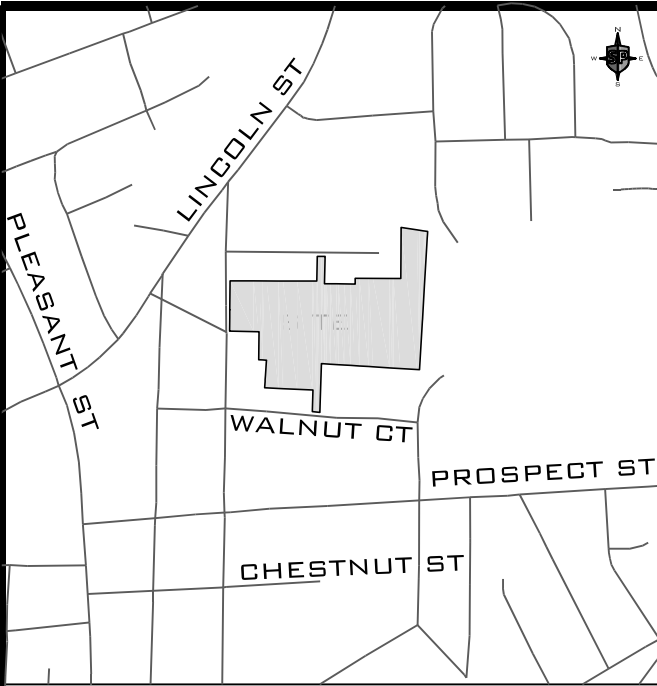
I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS AND WAS PREPARED
IN ACCORDANCE WITH THE PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

DATE

PROFESSIONAL
LAND SURVEYOR



Zone: Residential - Urban District
Minimum Area=25,000 s.f.
Minimum Frontage=80'
Minimum Width=80'
Minimum Depth=80'
Yard Requirements:
Front - 25'
Rear - 40'
Side - 15'



LOCUS		SCALE: 1"=1,000'
5	CONSERVATION MARKERS	05/28/20
4	HYDRANT LOCATION	05/14/20
3	TOWN ENG & CON COM COMMENTS	03/09/20
2	TOWN ENG & CON COM COMMENTS	02/05/20
1	TOWN ENG COMMENTS	12/09/19
REV	DESCRIPTION	DATE



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CHECKED BY:	ED

PREPARED ON BEHALF OF:
AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

**DEFINITIVE
SUBDIVISION PLAN**
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

**LOT LAYOUT
PLAN**

C-3

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

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EXISTING FEATURES

	PROPERTY BOUNDARY
	ABUTTER PROPERTY LINE
	EASEMENT
	WETLAND BOUNDARY
	100' WETLAND BUFFER
	50' WETLAND BUFFER
	BUILDING
	FEMA FLOOD ZONE BOUNDARY

PROPOSED FEATURES

	LOT LINE
	CENTERLINE
	SETBACK LINE
	VERTICAL GRANITE CURB
	SIDEWALK
	EASEMENT
	SPLIT RAIL FENCE
	TREE
	STREET LIGHT
	SIGN
	STONE WALL

NOTES:

1. PROPERTY BOUNDARY AND EXISTING CONDITIONS
SHOWN HERE PROVIDED BY KLIM LAND SURVEYING, INC.
VIA AN ON THE GROUND SURVEY ON VARIOUS DATES
BETWEEN MARCH 2017 AND JUNE 2018.

2. WETLAND INFORMATION AND EXISTING FEATURES
SHOWN HERE TAKEN FROM PLAN ENTITLED ABBREVIATED
NOTICE OF RESOURCE AREA DELINEATION FOR JOHNSON
AVE, STOUGHTON MA* PREPARED BY THIS OFFICE AND
LAST REVISED JUNE 25, 2018 AND CONFIRMED VIA AN
ORDER OF RESOURCE AREA DELINEATION ISSUED ON
JUNE 7, 2018.

3. STREET TREES SHALL BE AT LEAST 12" IN HEIGHT,
TWO AND A HALF (2.5") IN CALIPER AS MEASURED 4'
ABOVE GRADE AND SHALL BE PLANTED IN AT LEAST
ONE HALF CUBIC FEET OF TOP SOIL. STREET TREES
SHALL BE PLANTED APPROXIMATELY 40 FEET ON
CENTER OR AS CLOSE THERETO AS SITE CONDITIONS
ALLOW.

STREET TREES SHALL BE FROM THIS APPROVED LIST:
SUGAR MAPLE
GREEN ASH
SCARLET OAK
BLACK OAK
CHESTNUT OAK
RED OAK
AMERICAN BASSWOOD
AMERICAN HORNBEAM

40 0 20 40 80 160
GRAPHICAL SCALE: 1" = 40'

4. ALL CONSTRUCTION SHALL MEET TOWN OF STOUGHTON
CONSTRUCTION STANDARDS.

5. STREET LIGHTS AND SIGN POSTS TO MEET TOWN OF
STOUGHTON STANDARDS.

6. PROPOSED SPLIT RAIL FENCE TO BE INSTALLED IN
CONJUNCTION WITH LOT DEVELOPMENT.

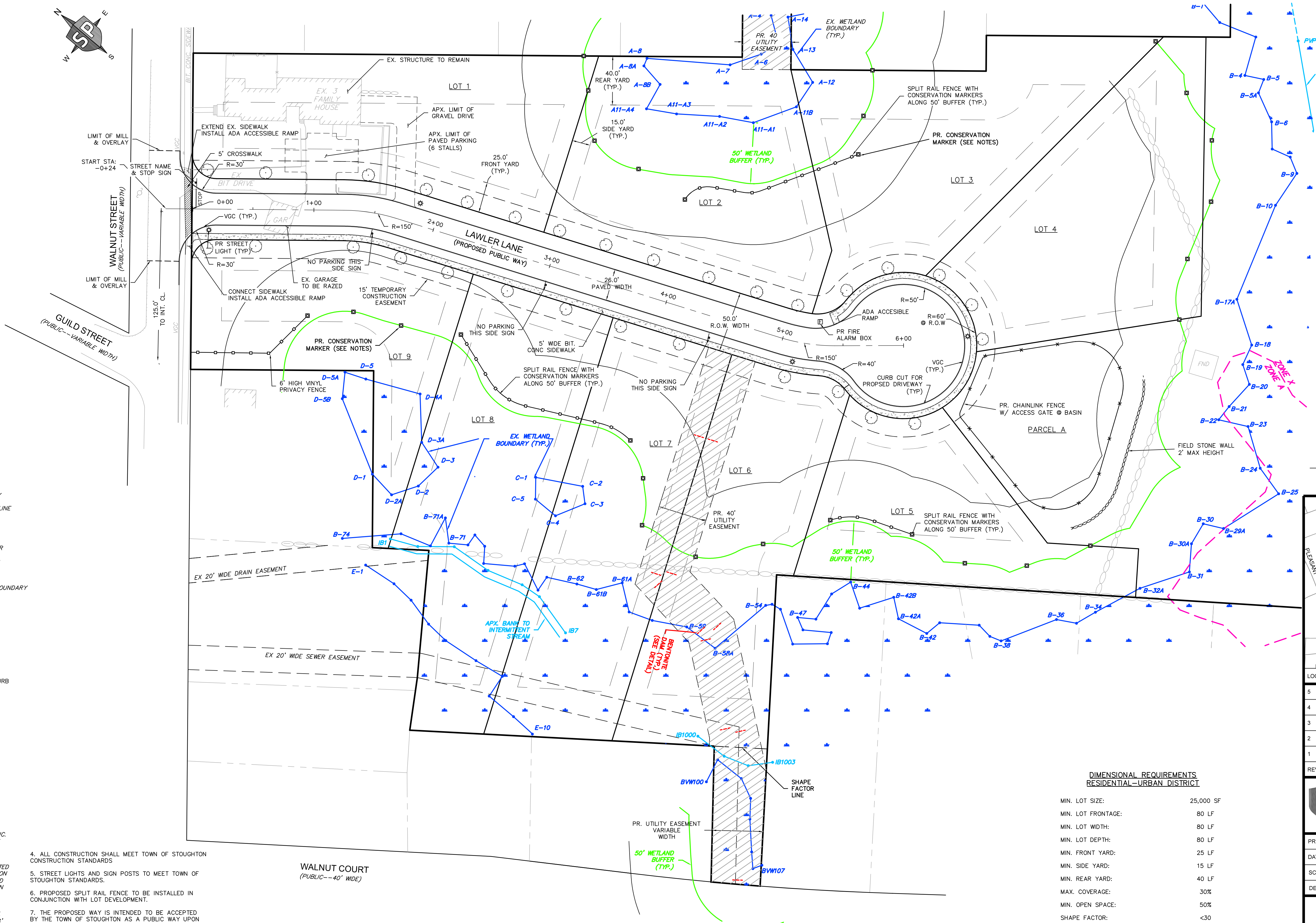
7. THE PROPOSED WAY IS INTENDED TO BE ACCEPTED
BY THE TOWN OF STOUGHTON AS A PUBLIC WAY UPON
COMPLETION OF CONSTRUCTION. PARCEL A IS INTENDED
TO BE CONVEYED TO THE TOWN OF STOUGHTON UPON
ACCEPTANCE OF THE PROPOSED WAY.

8. EXISTING PAVEMENT ON WALNUT STREET SHALL BE
MILLED AND OVERLAID TO THE LIMITS SHOWN.
CONTRACTOR SHALL MAINTAIN EXISTING GUTTER FLOW.

9. EXISTING SIDEWALKS AT THE PROPOSED INTERSECTION OF
WALNUT STREET SHALL BE RECONSTRUCTED TO THE
LIMITS OF THE PROPOSED CURB. ADA ACCESSIBLE
RAMPS SHALL BE ADDED AT EACH CURB LINE.

10. NO SNOW SHALL BE CAST OR SNOWED WITHIN ANY
100' WETLAND BUFFER ZONE OR THE PROPOSED
STORMWATER BASIN.

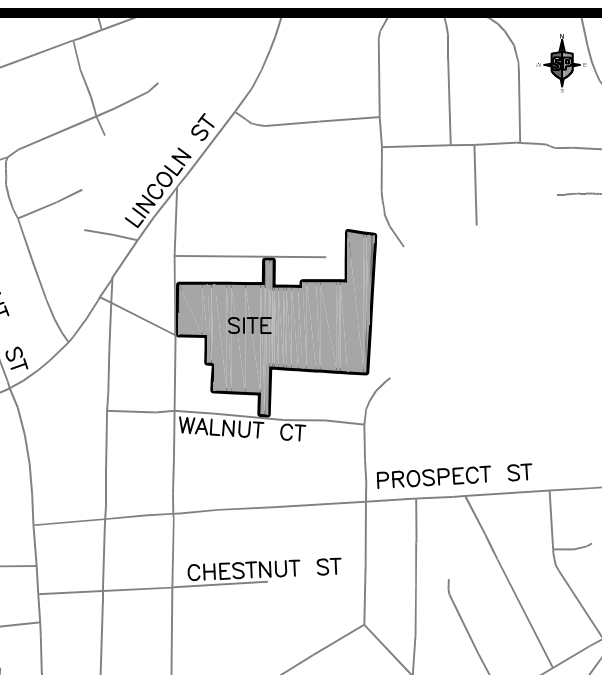
11. CONSERVATION MARKERS SHALL BE PLACED ALONG
THE 50' WETLAND BUFFER LINE GENERALLY LOCATED AS
SHOWN. SPACING SHALL NOT EXCEED 50' MARKERS
SHALL BE CONCRETE WITH MEDALLIONS DEMARCATING
THE 50' BUFFER ZONE AND SHALL EXTEND 24" ABOVE
THE GROUND SURFACE. FINAL LOCATION OF
CONSERVATION MARKERS SHALL BE COORDINATED WITH
THE CONSERVATION COMMISSION UPON FILING OF A
NOTICE OF INTENT FOR EACH INDIVIDUAL LOT REQUIRED.



DIMENSIONAL REQUIREMENTS RESIDENTIAL-URBAN DISTRICT

MIN. LOT SIZE:	25,000 SF
MIN. LOT FRONTAGE:	80 LF
MIN. LOT WIDTH:	80 LF
MIN. LOT DEPTH:	80 LF
MIN. FRONT YARD:	25 LF
MIN. SIDE YARD:	15 LF
MIN. REAR YARD:	40 LF
MAX. COVERAGE:	30%
MIN. OPEN SPACE:	50%
SHAPE FACTOR:	<30

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

REV	DESCRIPTION	DATE
5	CONSERVATION MARKERS	05/26/20
4	HYDRANT LOCATION	05/14/20
3	TOWN ENG & CON COM COMMENTS	03/09/20
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STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

PROPOSED
LAYOUT
PLAN

C-4

TOWN OF STOUGHTON PLANNING BOARD
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EXISTING FEATURES

- PROPERTY BOUNDARY
- ADJUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- SEWER LINE
- SEWER MANHOLE
- STONE WALL
- INDEX CONTOUR
- INTERMEDIATE CONTOUR

PROPOSED FEATURES

- LOT LINE
- CENTERLINE
- EDGE OF PAVEMENT
- SIDEWALK
- DRAINAGE DEPRESSION
- DRAIN PIPE
- CATCHBASIN
- DRAINAGE MANHOLE
- SEWER LINE
- SEWER MANHOLE
- WATER LINE
- TAPPING SLEEVE AND VALVE
- HYDRANT
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- EROSION CONTROL BARRIER/
LIMIT OF WORK (ROADWAY)

NOTES:

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- WETLAND INFORMATION AND EXISTING CONDITIONS SHOWN HERE TAKEN FROM PLAN ENTITLED "ABBREVIATED NOTICE OF RESOURCE AREA DELINEATION FOR JOHNSON AVE, STOUGHTON MA" PREPARED BY THIS OFFICE AND LAST REVISED JUNE 25, 2018, AND CONFIRMED VIA AN ORDER OF RESOURCE AREA DELINEATION ISSUED ON JUNE 7, 2018.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE TOWN OF STOUGHTON.
- INSTALLATION OF ALL STORM WATER UTILITIES SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF STOUGHTON DEPARTMENT OF PUBLIC WORKS AND/OR UTILITY AGENCY RESPONSIBLE FOR THEIR INSTALLATION AND MAINTENANCE. WHERE DISCREPANCIES EXIST BETWEEN THE INFORMATION PRESENTED HERE AND THOSE REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- PIPE MEASUREMENTS AND SLOPE CALCULATIONS ARE GIVEN CENTER-TO-CENTER OF STRUCTURES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS/AND OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON THE RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT NOR COMPLETE. THE LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- ALL SEWER LINES SHALL BE OF WATERTIGHT CONSTRUCTION WITH SEALED MANHOLES, BOLTED AND GASKETED.
- ALL ELEVATIONS SHOWN HERE REFERENCE NGVD 88.

- CONTRACTOR SHALL MAINTAIN EXISTING GUTTER FLOW AT THE PROPOSED INTERSECTION TO WALNUT STREET.
- WATER AND SEWER SERVICE TO #379 WALNUT STREET SHOWN BASED ON BEST AVAILABLE RECORD DATA. TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- THE EXISTING SHELF AT THE PROPOSED SEWER MANHOLE CONNECTION SHALL BE RECONSTRUCTED TO ACCOMMODATE THE PROPOSED CONNECTION.
- WATER SERVICES SHALL BE 1" TYPE-K COPPER OR APPROVED EQUAL.
- SEWER SERVICES SHALL BE 6" SDR-35 OR APPROVED EQUAL AND SHALL CONNECT TO THE PROPOSED MAIN VIA WYE CONNECTION.
- FINAL LOCATION OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE RESPONSIBLE UTILITY AGENCY.
- SEE SHEET C-8 FOR ROOF DRAIN REQUIREMENTS.
- SEE SHEET C-7 FOR ADDITIONAL NOTES.
- SEE SHEET C-6 FOR SEWER AND DRAINAGE TABLES.

BENCH MARK:
NAIL IN UP 31-30
ELEV.=284.73
NAVD88

START STA:
-0+24
CONNECT PR
ETC TO EX
OVERHEAD WIRES

WALNUT STREET
(PUBLIC--VARIABLE WIDTH)

EX. SMH
RIM=278.99
INV IN=269.58

WALNUT COURT
(PUBLIC--40' WIDE)

SMH
INV OUT=269.58

SMH
INV IN=266.65
INV OUT=262.21

GRAPHICAL SCALE: 1" = 40'

SUMMARY OF RESOURCE AREA DISTURBANCES (BY RESOURCE AREA)

BORDERING VEGETATED WETLAND (BVW)

SYMBOL	AREA	DESCRIPTION OF ACTIVITIES	NOTES
(A)	3,365 SF±	SEWER AND WATER UTILITY INSTALLATION	TEMPORARY DISTURBANCE
(B)	AS NEEDED	REMOVE DEBRIS FROM WETLAND AREAS	TEMPORARY DISTURBANCE, MITIGATION

0-50 FT NO-DISTURB BVW BUFFER (BY-LAW)

SYMBOL	AREA	DESCRIPTION OF ACTIVITIES	NOTES
(C)	5,535 SF±	SEWER AND WATER UTILITY INSTALLATION	TEMPORARY DISTURBANCE

50-100 FT BVW BUFFER

SYMBOL	AREA	DESCRIPTION OF ACTIVITIES	NOTES
(D)	2,250 SF±	SEWER AND WATER UTILITY INSTALLATION	TEMPORARY DISTURBANCE
(E)	6,160 SF±	STORMWATER BASIN	PERMANENT DISTURBANCE
(F)	1,800 SF±	ROADWAY SHOULDER GRADING	PERMANENT DISTURBANCE

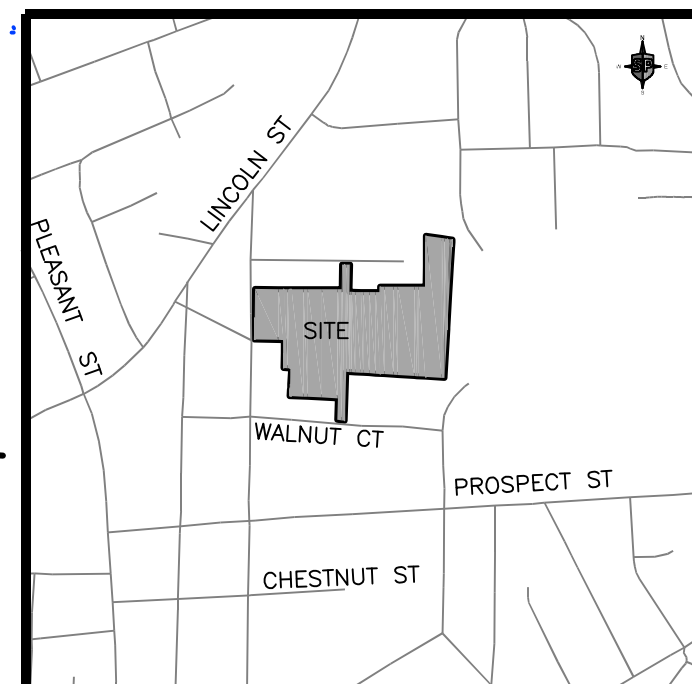
SUMMARY OF RESOURCE AREA DISTURBANCES (SITE TOTAL)

SYMBOL	TOTAL AREA	NATURE OF DISTURBANCE
(A)&(D)	11,150 SF±	TEMPORARY
(E)&(F)	7,960 SF±	PERMANENT

NOTE:

FOR EASE OF CALCULATION, DISTURBANCE AREAS HAVE BEEN ASSUMED TO THE EROSION CONTROL BOUNDARY/LIMIT OF CLEARING AT EACH RESOURCE AREA OR BUFFER ZONE NOTED.

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

REV	DESCRIPTION	DATE
4	hydrant location	05/14/20
3	town eng & com com comments	03/09/20
2	town eng & com com comments	02/05/20
1	town eng comments	12/09/19



PROJECT NUMBER: 1704-003
DATE OF ISSUE: SEPTEMBER 18, 2019
SCALE: AS NOTED
DESIGNED BY: SH CHECKED BY: ED
PREPARED ON BEHALF OF:
AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)
PROPOSED
GRADING &
UTILITY
PLAN
C-5

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW.

DATE:

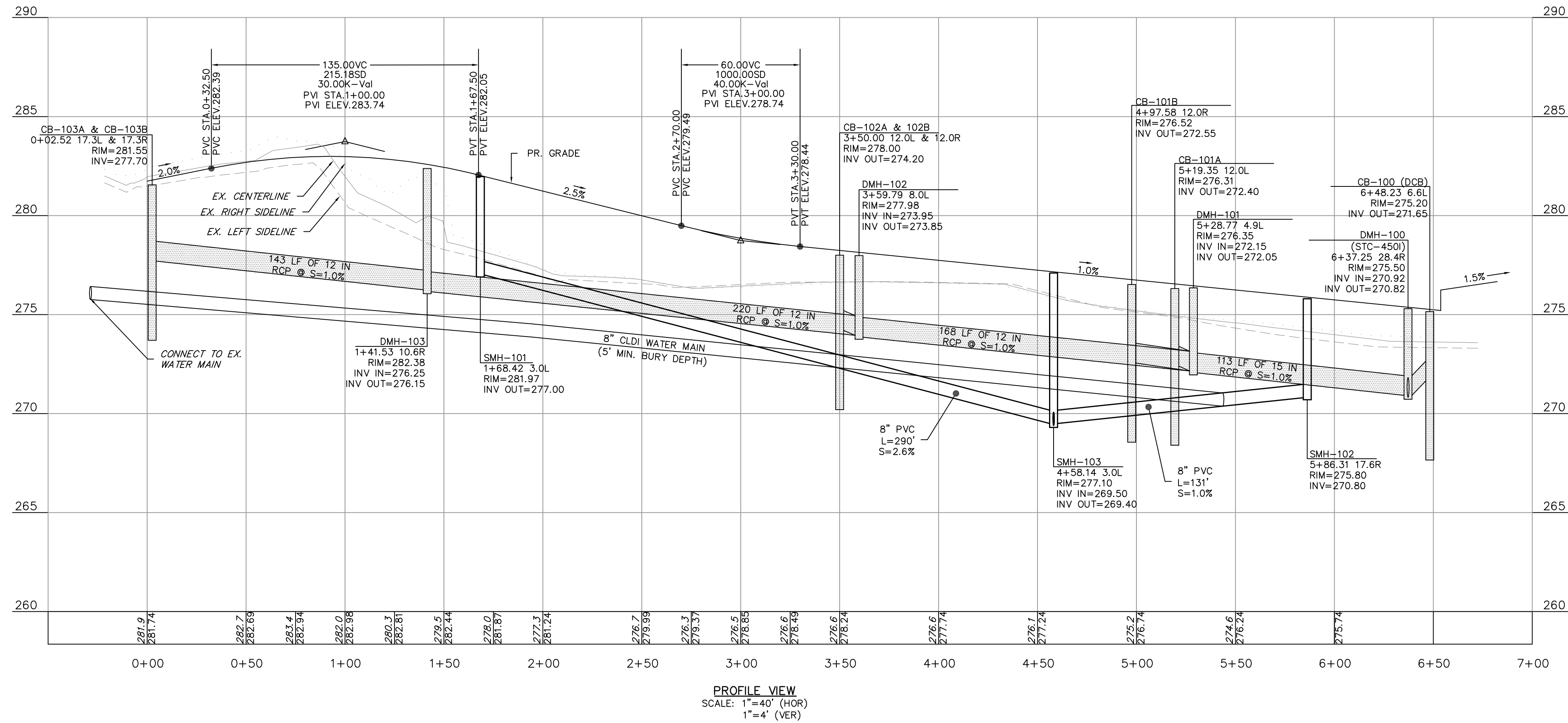
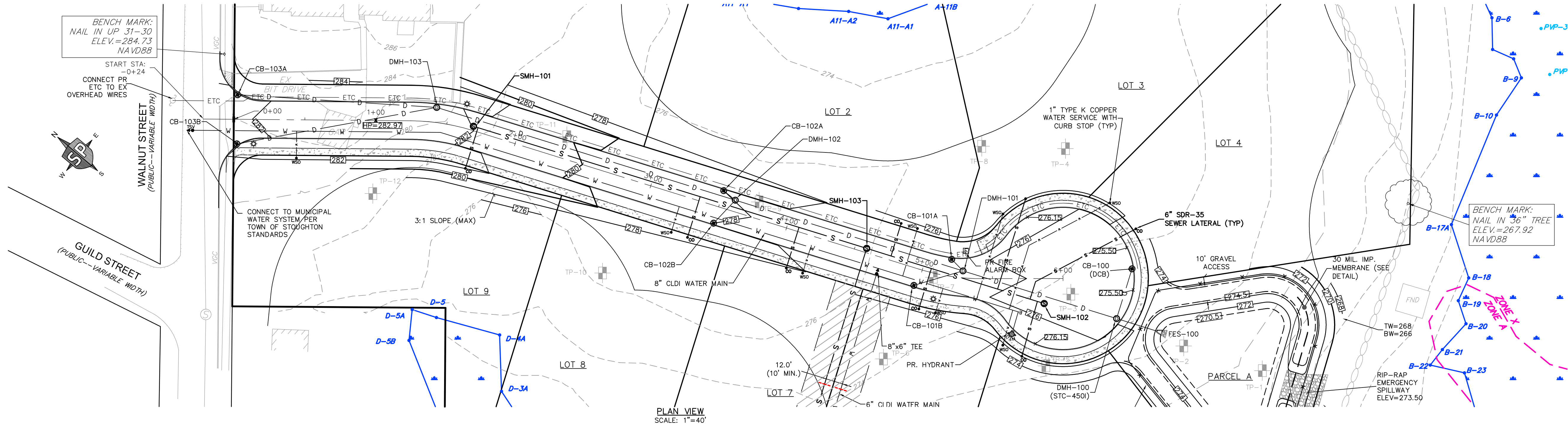
APPROVED _____, SUBJECT TO COVENANT
EXECUTED BY _____, DATE _____,
AND TO BE RECORDED HEREWITH.

APPROVED _____, SUBJECT TO CONDITIONS
SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH
THE TOWN CLERK ON _____.

I, _____, TOWN CLERK OF THE TOWN
OF STOUGHTON, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD WAS RECEIVED AND
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NO NOTICE OF APPEAL WAS RECEIVED DURING
THETWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE



PROPOSED DRAINAGE STRUCTURE SCHEDULE

CB-103A RIM=281.55 INV OUT=277.70	DMH-102 RIM=277.98 INV IN=273.95 INV OUT=273.85	CB-100 (DCB) RIM=275.20 INV OUT=271.65
CB-103B RIM=281.55 INV OUT=277.70	CB-101A RIM=276.31 INV OUT=272.40	DMH-100 (STC-450) RIM=275.50 INV IN=270.92 INV OUT=270.82
DMH-103 RIM=282.38 INV IN=276.25 INV OUT=276.15	CB-101B RIM=276.52 INV OUT=272.55	FES-100 INV IN=270.50
CB-102A RIM=278.0 INV OUT=274.20	DMH-101 RIM=276.35 INV IN=272.15 INV OUT=272.05	FES-200 INV IN=265.00
CB-102B RIM=278.0 INV OUT=274.20		

PROPOSED DRAINAGE PIPE SCHEDULE

FROM	TO	LENGTH	SLOPE	DIA	MAT
CB-103A	DMH-103	140 LF	1.0%	12"	RCP
CB-103B	DMH-103	143 LF	1.0%	12"	RCP
DMH-103	DMH-102	220 LF	1.0%	12"	RCP
CB-102A	DMH-102	10 LF	2.5%	12"	RCP
CB-102B	DMH-102	20 LF	1.23%	12"	RCP
DMH-102	DMH-101	168 LF	1.0%	12"	RCP
CB-101A	DMH-101	10 LF	2.5%	12"	RCP
CB-101B	DMH-101	35 LF	1.1%	12"	RCP
DMH-101	DMH-100	113 LF	1.0%	15"	RCP
CB-100	DMH-100	37 LF	2.0%	12"	RCP
DMH-100	FES-100	33 LF	1.0%	18"	RCP
OCS	FES-200	50 LF	10.0%	12"	RCP

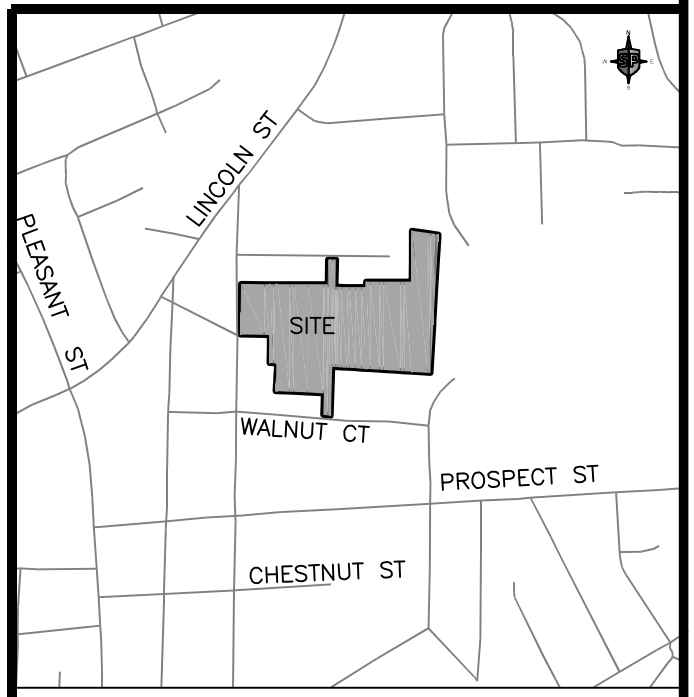
SEWER STRUCTURE SCHEDULE

SMH-101 RIM=281.97 INV OUT=277.00	SMH-104 RIM: MATCH EX. INV IN=262.58 INV OUT=262.48
SMH-102 RIM=275.80 INV OUT=270.80	SMH-105 RIM: MATCH EX. INV IN=261.87 INV OUT=261.77
SMH-103 RIM=277.10 INV IN=269.50 INV OUT=269.40	

PROPOSED SEWER PIPE SCHEDULE

	TO	LENGTH	SLOPE	DIA	MAT
SMH-101	SMH-103	290 LF	2.6%	8"	SDR 35
SMH-102	SMH-103	131 LF	1.0%	8"	SDR 35
SMH-103	SMH-104	223 LF	3.1%	8"	SDR 35
SMH-104	SMH-105	61 LF	1.0%	8"	SDR 35
SMH-105	EX SMH	86 LF	1.0%		SDR 35

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

REV	DESCRIPTION	DATE
4	hydrant location	05/14/20
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PROJECT NUMBER:		1704-003	
DATE OF ISSUE:		SEPTEMBER 18, 2019	
SCALE:		AS NOTED	
DESIGNED BY:		SH	CHECKED BY: ED

PREPARED ON BEHALF OF:
AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072
**DEFINITIVE
SUBDIVISION PLAN**
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

PLAN & PROFILE	C-6
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ISSUED FOR REVIEW: SEPTEMBER 18, 2019

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TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW.

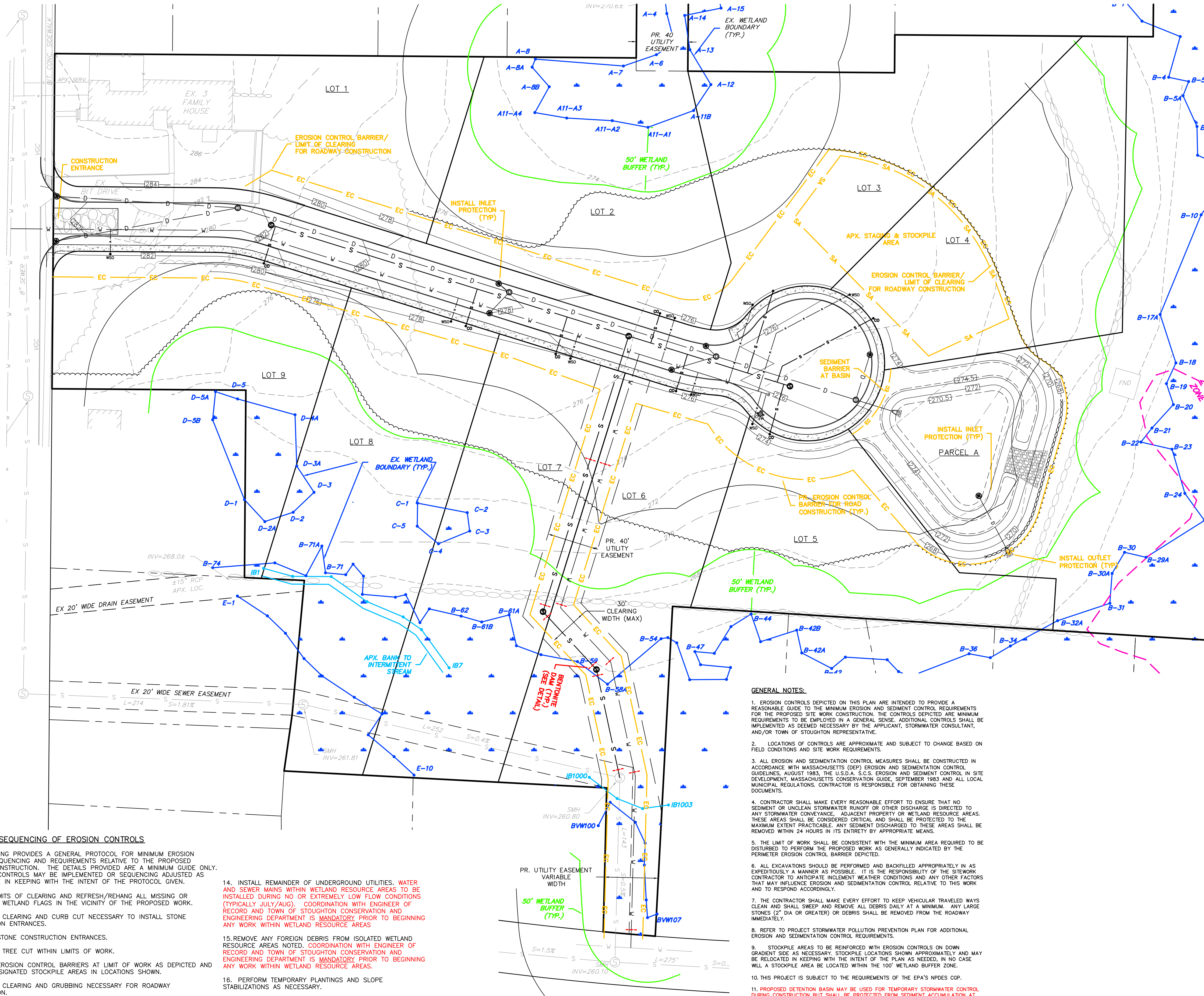
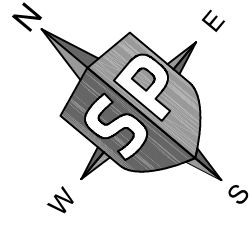
DATE:

APPROVED _____, SUBJECT TO COVENANT
EXECUTED BY _____, DATE _____,
AND TO BE RECORDED HEREWITH.

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TOWN CLERK DATE



EXISTING FEATURES

- PROPERTY BOUNDARY
- ABUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- SEWER LINE
- SEWER MANHOLE
- STONE WALL
- INDEX CONTOUR
- INTERMEDIATE CONTOUR

PROPOSED FEATURES

- LOT LINE
- EDGE OF PAVEMENT
- SIDEWALK
- DRAINAGE DEPRESSION
- DRAIN PIPE
- CATCHBASIN
- DRAINAGE MANHOLE
- SEWER LINE
- SEWER MANHOLE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- EROSION CONTROL BARRIER/
LIMIT OF WORK (ROADWAY)
- STOCKPILE AREA

GENERAL SEQUENCING OF EROSION CONTROLS

THE FOLLOWING PROVIDES A GENERAL PROTOCOL FOR MINIMUM EROSION CONTROL SEQUENCING AND REQUIREMENTS RELATIVE TO THE PROPOSED ROADWAY CONSTRUCTION. THE DETAILS PROVIDED ARE A MINIMUM GUIDE ONLY. ADDITIONAL CONTROLS MAY BE IMPLEMENTED OR SEQUENCING ADJUSTED AS APPROPRIATE IN KEEPING WITH THE INTENT OF THE PROTOCOL GIVEN.

- STAKE LIMITS OF CLEARING AND REFRESH/REHANG ALL MISSING OR UNREADABLE WETLAND FLAGS IN THE VICINITY OF THE PROPOSED WORK.
- PERFORM CLEARING AND CURB CUT NECESSARY TO INSTALL STONE CONSTRUCTION ENTRANCES.
- INSTALL STONE CONSTRUCTION ENTRANCES.
- PERFORM TREE CUT WITHIN LIMITS OF WORK.
- INSTALL EROSION CONTROL BARRIERS AT LIMIT OF WORK AS DEPICTED AND PREPARE DESIGNATED STOCKPILE AREAS IN LOCATIONS SHOWN.
- PERFORM CLEARING AND GRUBBING NECESSARY FOR ROADWAY CONSTRUCTION.
- STRIP AND STOCKPILE LOAM.
- PERFORM EARTHWORK CUTS AND FILLS FOR ROUGH GRADE.
- STOCKPILE AND SCREEN CUT MATERIAL AS APPROPRIATE.
- ROUGH GRADE STORMWATER BASIN AND ADD BARRIER CONTROLS TO LIMIT SEDIMENT ACCUMULATION.
- INSTALL INLET FILTERS AT BASIN TO REMAIN UNTIL CONTRIBUTING AREAS ARE STABILIZED.
- INSTALL DRAINAGE STRUCTURES AND PIPEWORK STARTING DOWN GRADIENT AND WORKING UP AS APPROPRIATE.
- INSTALL INLET CONTROLS AT ANY PROPOSED STRUCTURAL STORMWATER CONVEYANCE WITH THE POTENTIAL TO ACCEPT RUNOFF.

- INSTALL REMAINDER OF UNDERGROUND UTILITIES. WATER AND SEWER MAINS WITHIN WETLAND RESOURCE AREAS TO BE INSTALLED DURING NO OR EXTREMELY LOW FLOW CONDITIONS (TYPICALLY JULY/AUG). COORDINATION WITH ENGINEER OF RECORD AND TOWN OF STOUGHTON CONSERVATION AND ENGINEERING DEPARTMENT IS MANDATORY PRIOR TO BEGINNING ANY WORK WITHIN WETLAND RESOURCE AREAS.
- REMOVE ANY FOREIGN DEBRIS FROM ISOLATED WETLAND RESOURCE AREAS NOTED. COORDINATION WITH ENGINEER OF RECORD AND TOWN OF STOUGHTON CONSERVATION AND ENGINEERING DEPARTMENT IS MANDATORY PRIOR TO BEGINNING ANY WORK WITHIN WETLAND RESOURCE AREAS.
- PERFORM TEMPORARY PLANTINGS AND SLOPE STABILIZATIONS AS NECESSARY.
- FINISH GRADE ROADWAY FOR PAVEMENT PREP.
- PLACE SUB-BASE AND BINDER COURSE PAVEMENT.
- COMPLETE ROADWAY CONSTRUCTION.
- PERFORM LOT CONSTRUCTION IMPLEMENTING ADDITIONAL CONTROLS ON A CASE-BY-CASE BASIS AS NECESSARY.
- PLACE TOP COURSE PAVEMENT.
- REMOVE ANY ACCUMULATED SEDIMENT FROM THE PROPOSED STORMWATER BASINS.
- LOAM AND SEED DISTURBED AREAS.
- REMOVE REMAINING EROSION CONTROL DEVICES UPON COMPLETE STABILIZATION.

STREAM CROSSING INSTALLATION NOTE

THE EXISTING STREAM BANK IS LOCATED SOUTH OF THE EXISTING SEWER MANHOLE PROPOSED FOR CONNECTION AND HAS A FULL BANK WIDTH OF APPROXIMATELY 6 FEET.

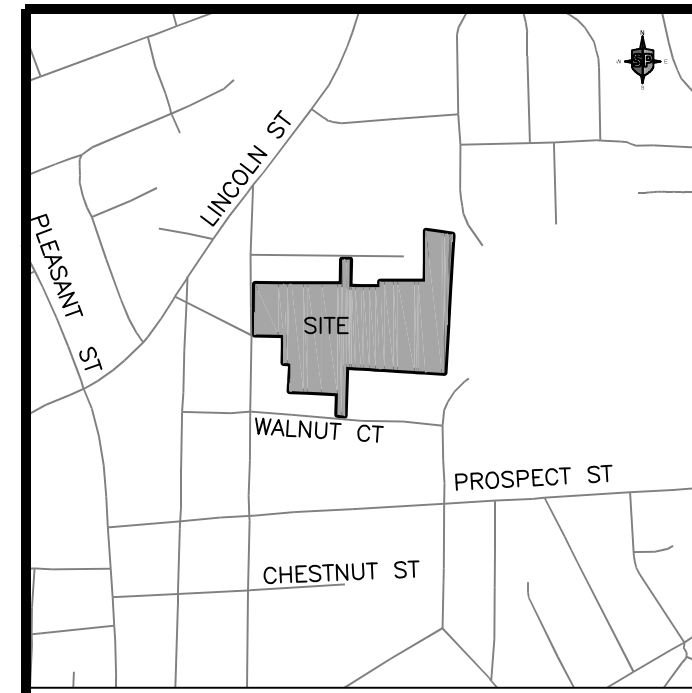
GIVEN THE NARROWNESS OF THE BANK JACKING IS THE PREFERRED METHOD OF UTILITY MAIN INSTALLATION UNDER THE EXISTING BANK TO LIMIT DISTURBANCES AND NEGATE THE NEED FOR DIVERSION TO THE MAXIMUM EXTENT POSSIBLE.

FINAL MEANS AND METHOD OF INSTALLATION SHALL BE DETERMINED BASED ON FIELD CONDITIONS AT THE TIME OF INSTALLATION AND SHALL BE COORDINATED WITH THE ENGINEER OF RECORD, CONSERVATION AGENT, AND TOWN ENGINEER PRIOR TO GROUNDBREAK.

GENERAL NOTES:

- EROSION CONTROLS DEPICTED ON THIS PLAN ARE INTENDED TO PROVIDE A REASONABLE GUIDE TO THE MINIMUM EROSION AND SEDIMENT CONTROL REQUIREMENTS FOR THE PROPOSED SITE WORK CONSTRUCTION. THE CONTROLS DEPICTED ARE MINIMUM REQUIREMENTS TO BE EMPLOYED IN A GENERAL SENSE. ADDITIONAL CONTROLS SHALL BE IMPLEMENTED AS DEEMED NECESSARY BY THE APPLICANT, STORMWATER CONSULTANT, AND/OR TOWN OF STOUGHTON REPRESENTATIVE.
- LOCATIONS OF CONTROLS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON FIELD CONDITIONS AND SITE WORK REQUIREMENTS.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASSACHUSETTS (DEP) EROSION AND SEDIMENTATION CONTROL GUIDELINES, AUGUST 1983, THE U.S.D.A. S.C.S. EROSION AND SEDIMENT CONTROL IN SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983 AND ALL LOCAL MUNICIPAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE DOCUMENTS.
- CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO ENSURE THAT NO SEDIMENT OR UNCLEAN STORMWATER RUNOFF OR OTHER DISCHARGE IS DIRECTED TO ANY STORMWATER CONVEYANCE, ADJACENT PROPERTY OR WETLAND RESOURCE AREAS. THESE AREAS SHALL BE CONSIDERED CRITICAL AND SHALL BE PROTECTED TO THE MAXIMUM EXTENT PRACTICABLE. ANY SEDIMENT DISCHARGED TO THESE AREAS SHALL BE REMOVED WITHIN 24 HOURS IN ITS ENTIRETY BY APPROPRIATE MEANS.
- THE LIMIT OF WORK SHALL BE CONSISTENT WITH THE MINIMUM AREA REQUIRED TO BE DISTURBED TO PERFORM THE PROPOSED WORK AS GENERALLY INDICATED BY THE PERIMETER EROSION CONTROL BARRIER DEPICTED.
- ALL EXCAVATIONS SHOULD BE PERFORMED AND BACKFILLED APPROPRIATELY IN AS EXPEDITIOUS A MANNER AS POSSIBLE. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO ANTICIPATE INCLEMENT WEATHER CONDITIONS AND ANY OTHER FACTORS THAT MAY INFLUENCE EROSION AND SEDIMENTATION CONTROL RELATIVE TO THIS WORK AND TO RESPOND ACCORDINGLY.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO KEEP VEHICULAR TRAVELED WAYS CLEAN AND SHALL SWEEP AND REMOVE ALL DEBRIS DAILY AT A MINIMUM. ANY LARGE STONES (2" DIA OR GREATER) OR DEBRIS SHALL BE REMOVED FROM THE ROADWAY IMMEDIATELY.
- REFER TO PROJECT STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.
- STOCKPILE AREAS TO BE REINFORCED WITH EROSION CONTROLS ON DOWN GRADIENT SIDE AS NECESSARY. STOCKPILE LOCATIONS SHOWN APPROXIMATELY AND MAY BE RELOCATED IN KEEPING WITH THE INTENT OF THE PLAN AS NEEDED, IN NO CASE WILL A STOCKPILE AREA BE LOCATED WITHIN THE 100' WETLAND BUFFER ZONE.
- THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE EPA'S NPDES COP.
- PROPOSED DETENTION BASIN MAY BE USED FOR TEMPORARY STORMWATER CONTROL DURING CONSTRUCTION BUT SHALL BE PROTECTED FROM SEDIMENT ACCUMULATION AT ALL TIMES. ANY ACCUMULATED SEDIMENT OBSERVED WITHIN THE BASIN SHALL BE REMOVED BY APPROPRIATE MEANS IMMEDIATELY. CONTRACTOR SHALL TAKE THE UTMOST CARE TO ENSURE THE INFILTRATIVE CAPABILITY OF THE PROPOSED BASIN IS NOT COMPROMISED DURING THE CONSTRUCTION PROCESS, INCLUDING BUT NOT LIMITED TO INTRODUCTION OF EXCESSIVE SEDIMENT AND OR COMPACTION.

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

REV	DESCRIPTION	DATE
4	hydrant location	05/14/20
3	town eng & com com comments	03/09/20
2	town eng & com com comments	02/05/20
1	town eng comments	12/09/19



PROJECT NUMBER:	1704-003
DATE OF ISSUE:	SEPTEMBER 18, 2019
SCALE:	AS NOTED
DESIGNED BY:	SH
CHECKED BY:	ED

PREPARED ON BEHALF OF:
AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

**DEFINITIVE
SUBDIVISION PLAN**
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

PROPOSED EROSION CONTROL PLAN	C-7
-------------------------------------	-----

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW.

DATE:

APPROVED _____, SUBJECT TO COVENANT
EXECUTED BY _____, DATE _____,
AND TO BE RECORDED HERewith.

APPROVED _____, SUBJECT TO CONDITIONS
SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH
THE TOWN CLERK ON _____.

I, _____, TOWN CLERK OF THE TOWN
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THE TWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE

EXISTING FEATURES

- PROPERTY BOUNDARY
- ABUTTER PROPERTY LINE
- EASEMENT
- WETLAND BOUNDARY
- 100' WETLAND BUFFER
- BUILDING
- FEMA FLOOD ZONE BOUNDARY
- EDGE OF PAVEMENT
- SEWER LINE
- SEWER MANHOLE
- STONE WALL
- INDEX CONTOUR
- INTERMEDIATE CONTOUR

PROPOSED FEATURES

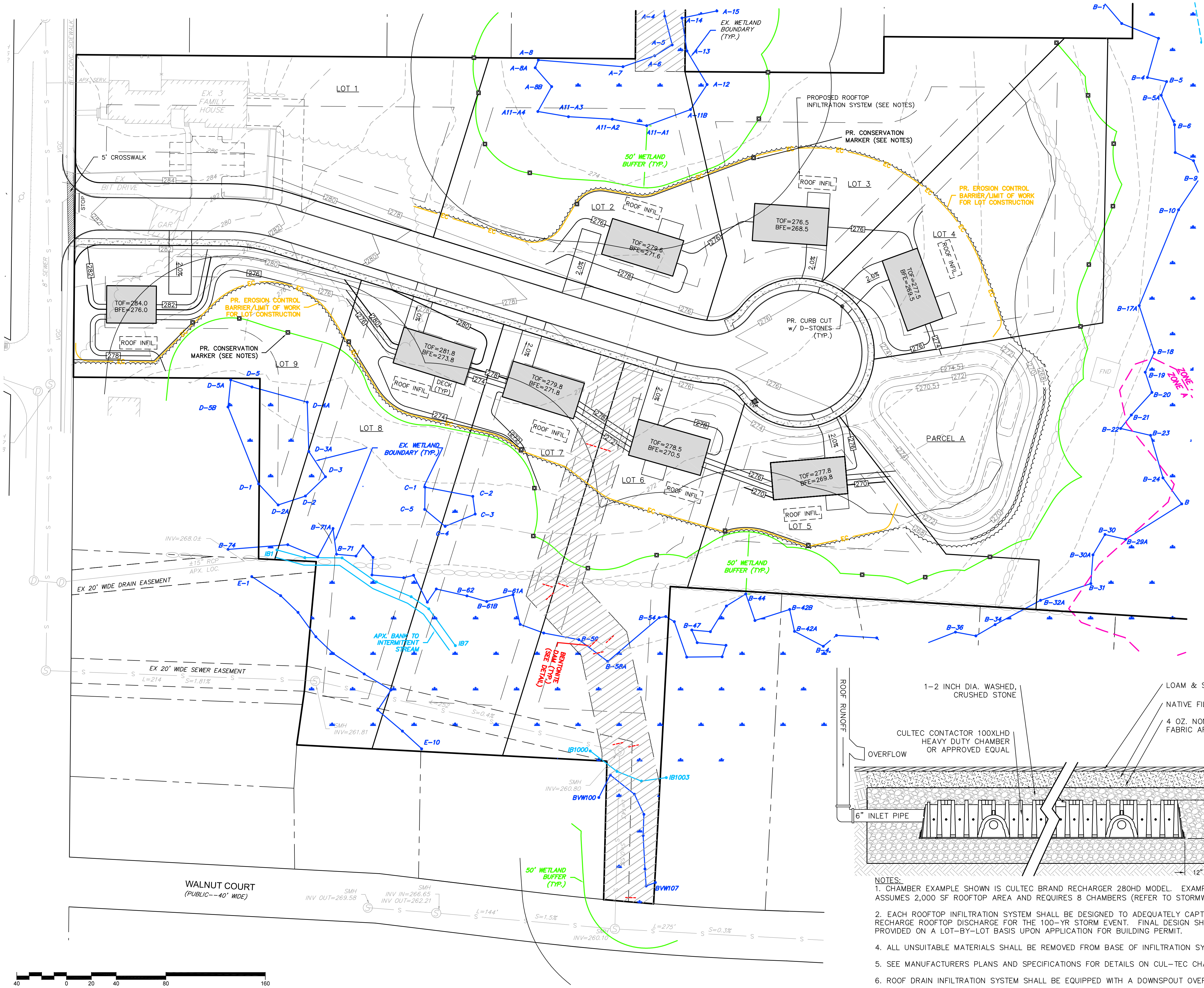
- LOT LINE
- EDGE OF PAVEMENT
- SIDEWALK
- INDEX CONTOUR (ROADWAY)
- INTERMEDIATE CONTOUR (ROADWAY)
- INDEX CONTOUR (LOTS)
- INTERMEDIATE CONTOUR (LOTS)
- TREELINE/LIMIT OF WORK (LOT)
- SPLIT RAIL FENCE (LOTS)
- FIELD STONE RETAINING WALL

NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW CONCEPTUAL LOT DESIGN IN ORDER TO DESIGN THE OVERALL DRAINAGE OF THE SITE. HOUSE FOOTPRINTS AND DRIVEWAYS ARE CONCEPTUAL ONLY AND SHOULD NOT BE CONSIDERED FINAL. FINAL LOT DESIGN WILL BE SUBJECT TO BUILDING PERMITS AND NOTICES OF INTENT WHERE APPLICABLE.

2. EACH PROPOSED ROOFTOP SHALL BE EQUIPPED WITH A SUBSURFACE INFILTRATION SYSTEM CAPABLE OF PROPERLY MITIGATING THE 100-YR STORM EVENT. FINAL DESIGN FOR EACH LOT SHALL BE DETERMINED UPON APPLICATION FOR BUILDING PERMIT.

3. CONSERVATION MARKERS SHALL BE PLACED ALONG THE 50' WETLAND BUFFER LINE GENERALLY LOCATED AS SHOWN. SPACING SHALL NOT EXCEED 50'. MARKERS SHALL BE CONCRETE WITH MEDALLIONS DEMARCATING THE 50' BUFFER ZONE AND SHALL EXTEND 24" ABOVE THE GROUND SURFACE. FINAL LOCATION OF CONSERVATION MARKERS SHALL BE COORDINATED WITH THE CONSERVATION COMMISSION UPON FILING OF A NOTICE OF INTENT FOR EACH INDIVIDUAL LOT REQUIRED.



GRAPHICAL SCALE: 1" = 40'

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

REV	DESCRIPTION	DATE
5	CONSERVATION MARKERS	05/26/20
4	HYDRANT LOCATION	05/14/20
3	TOWN ENG & CON COM COMMENTS	03/09/20
2	TOWN ENG & CON COM COMMENTS	02/05/20
1	TOWN ENG COMMENTS	12/09/19

STRONGPOINT
ENGINEERING SOLUTIONS, INC.
340 MAIN STREET, UNIT 2
WEST BRIDGEWATER, MA 02719
(508) 882-0209

PROJECT NUMBER: 1704-003

DATE OF ISSUE: SEPTEMBER 18, 2019

SCALE: AS NOTED

DESIGNED BY: SH CHECKED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.

1667 CENTRAL STREET
STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN

FOR

LAWLER LANE
STOUGHTON, MA

(FORMERLY JOHNSON AVE)

PROPOSED
CONCEPTUAL LOT
GRADING PLAN

C-8

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

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DATE:

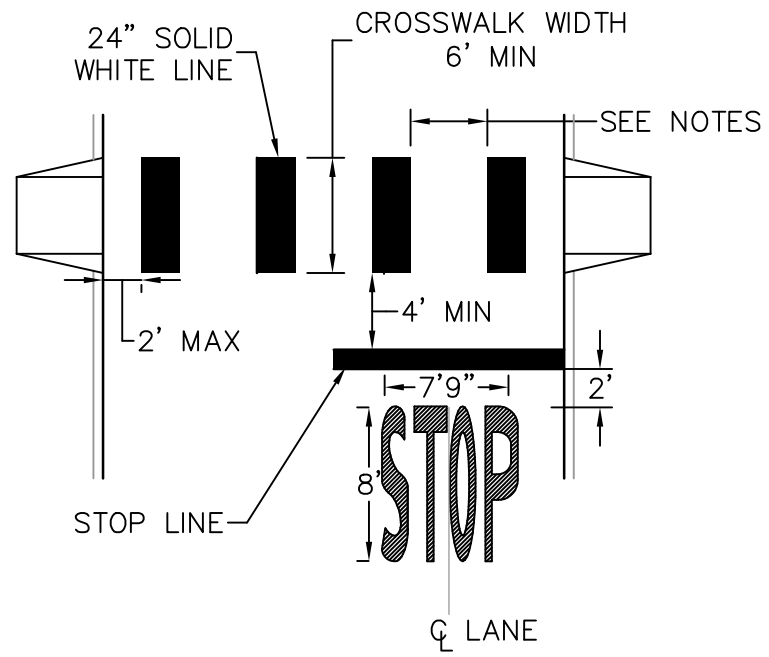
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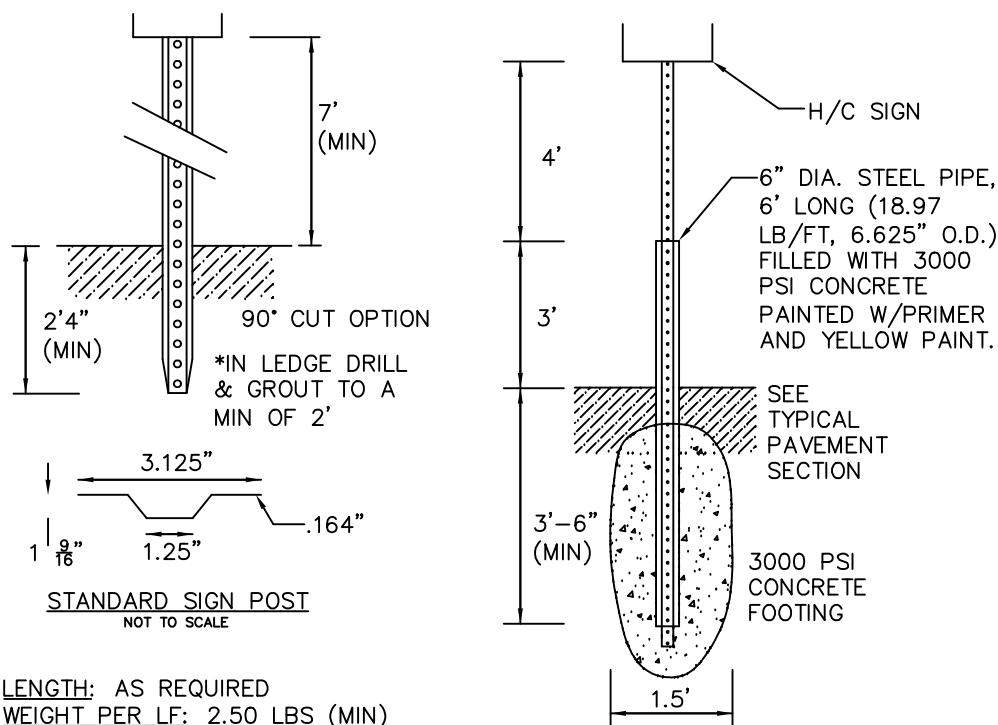
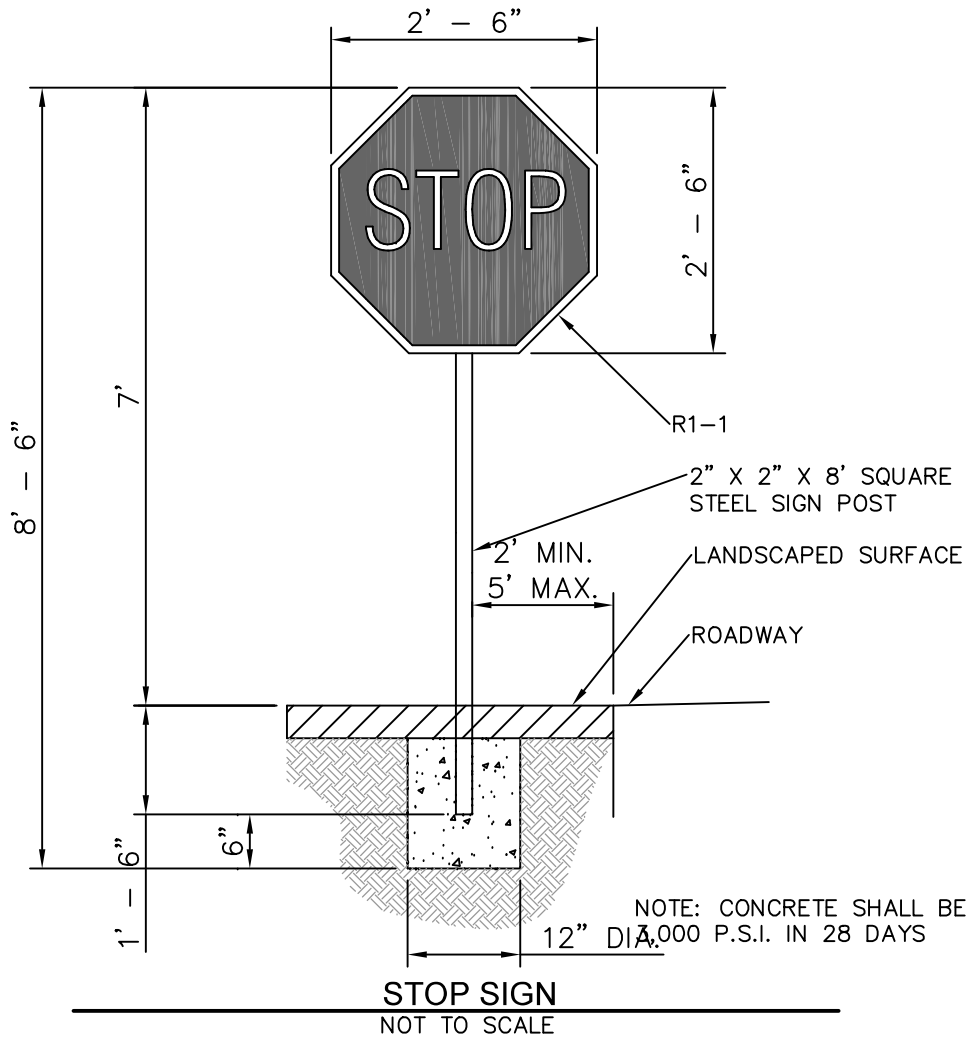


NOTES:

1. CROSSWALKS SHALL ALIGN WITH CURB RAMP AND BE AT LEAST AS WIDE AS THE LEVEL LANDING AREA OF THE CURB RAMP.
2. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THESE STANDARDS AND THE MUTCD.
3. LINES SHALL BE PARALLEL TO TRAFFIC FLOW.
4. GAPS BETWEEN LONGITUDINAL LINES SHALL BE BETWEEN 2-5 FEET. GAP SPACING MAY VARY IN ORDER TO ALIGN LINES SUCH THAT THEY ARE OUTSIDE THE WHEEL PATHS OF THRU TRAFFIC. THE FIRST AND LAST LINES SHALL BE 2' MAXIMUM FROM EDGE OF THE SHOULDER OR EDGE OF GUTTER PAN.
5. STOP LINE SHALL BE 12 TO 24 INCHES WIDE.
6. STOP LINE LENGTH SHALL BE THE WIDTH OF THE TRAVEL LANE. CENTER STOP TEXT ON STOP LINE.

CONTINENTAL STYLE CROSSWALK WITH STOP LINE

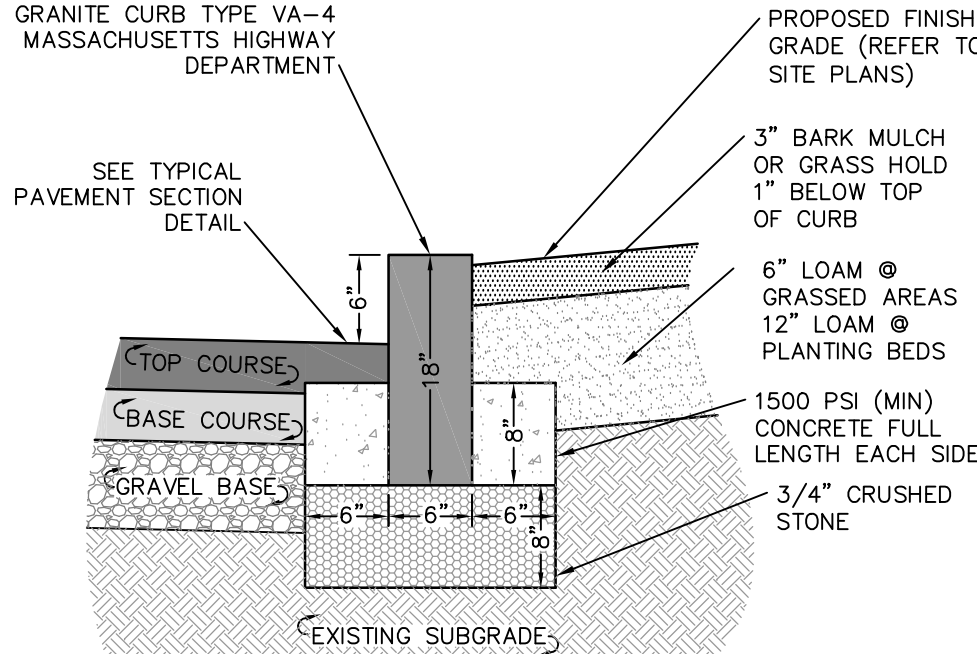
NOT TO SCALE



LENGTH: AS REQUIRED
WEIGHT PER LF: 2.50 LBS (MIN)
HOLES: 1/8" DIAMETER, 1" O-C FULL
LENGTH
STEEL: SHALL CONFORM TO ASTM
A-499 OR ASTM A-576
FINISH: SHALL BE PAINTED WITH 2
COATS OF AN APPROVED MEDIUM
GREEN, BAKED ON OR AIR DRIED,
PAINT OF WEATHER RESISTANT
QUALITY.

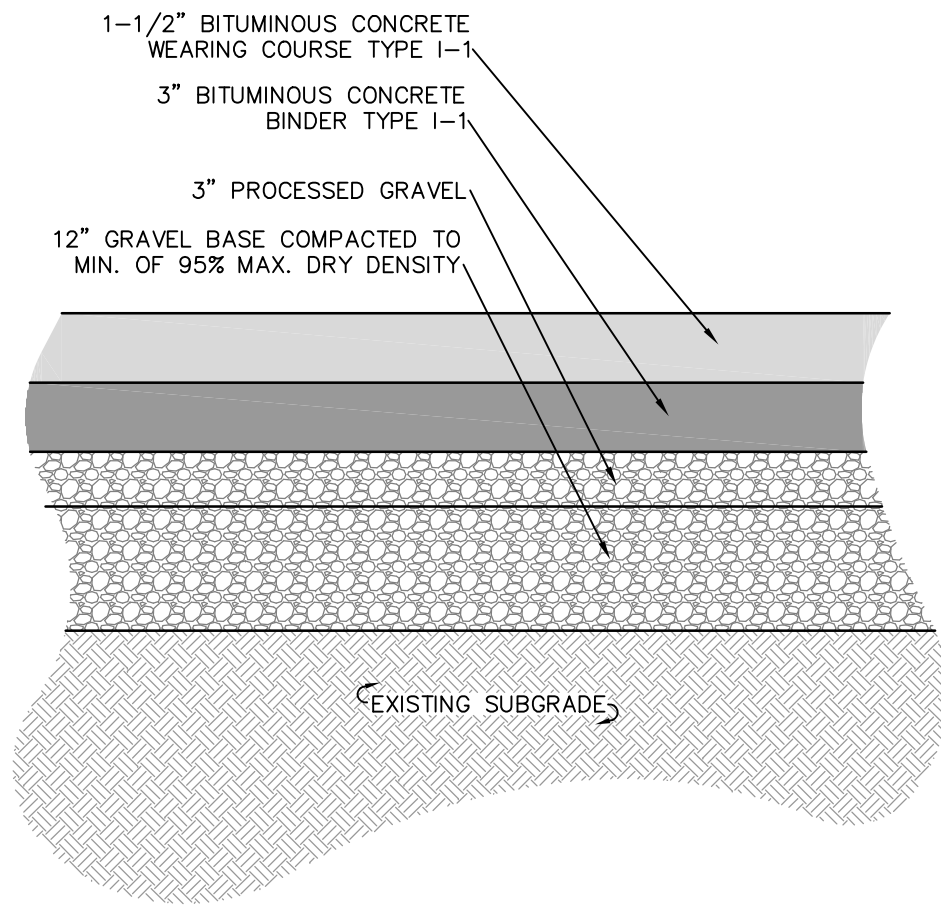
SIGN POST DETAILS

NOT TO SCALE



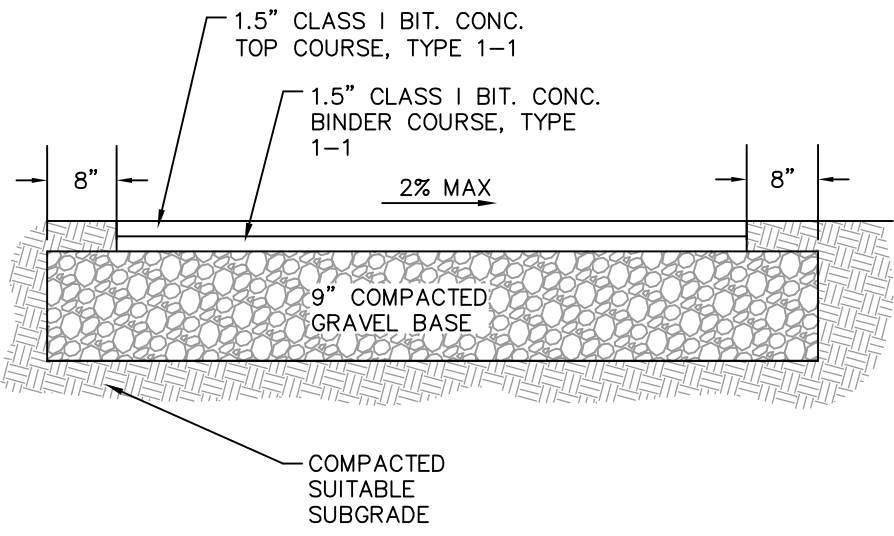
VERTICAL GRANITE CURB DETAIL

NOT TO SCALE



TYPICAL STANDARD PAVEMENT SECTION

NOT TO SCALE

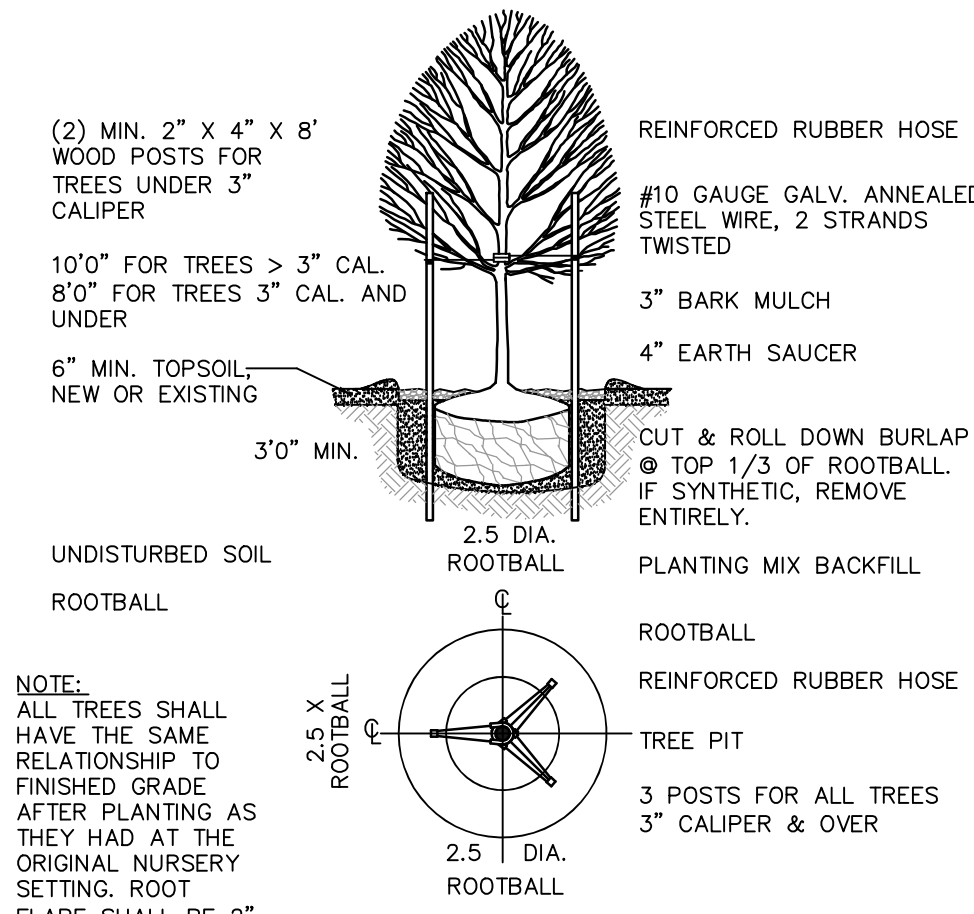


NOTES:

1. SIDEWALK TO HAVE TOLLED JOINTS IN A 5' X 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PREMOLDED FILLER.
2. TOLLED JOINT 6" FROM FACE OF CURB
3. SEE PLAN FOR ELEVATIONS AT CURB

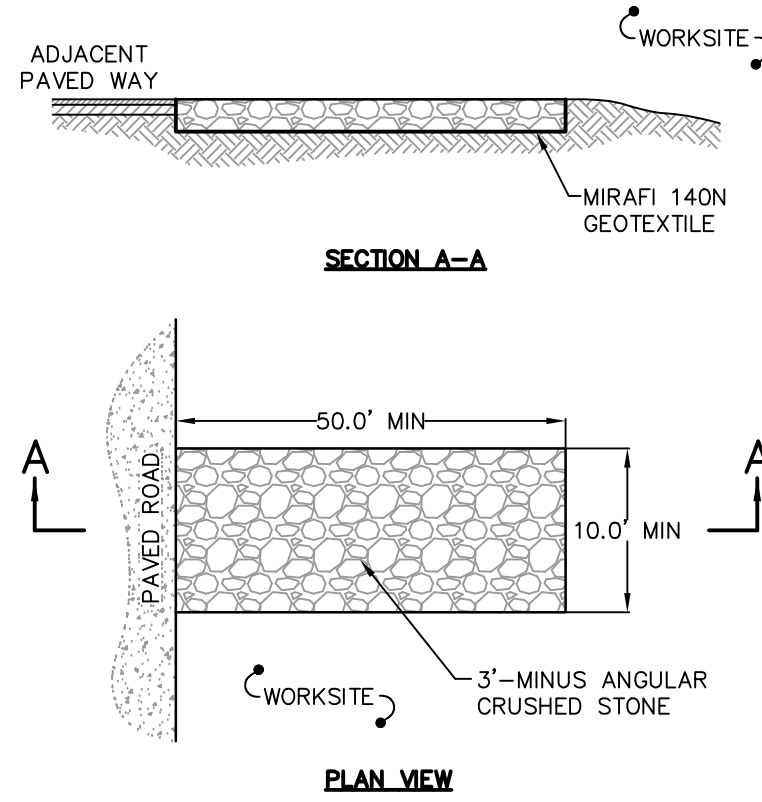
SIDEWALK DETAIL

NOT TO SCALE



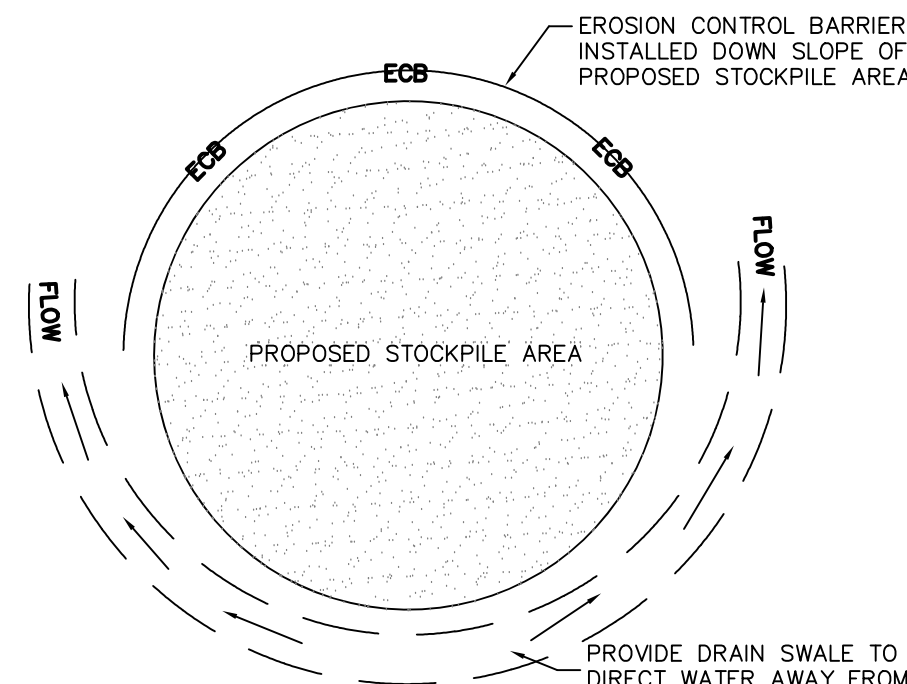
TREE PLANTING DETAIL

NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

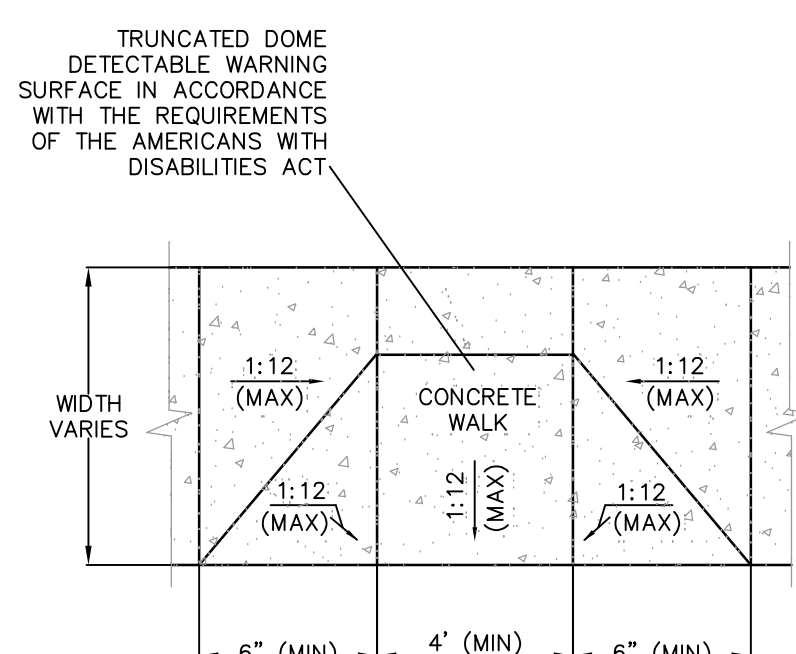


NOTES:

1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

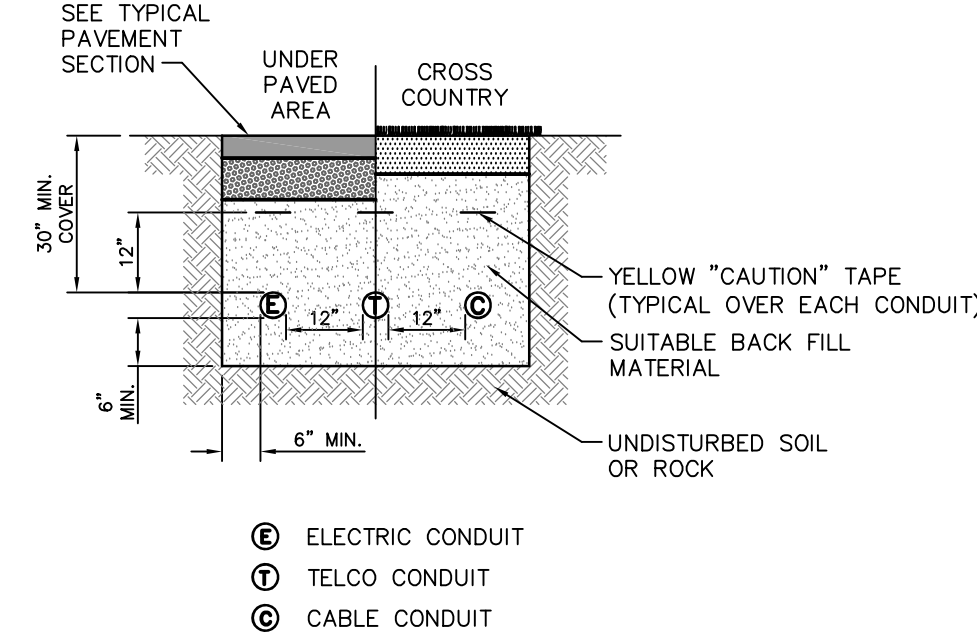
STOCKPILE PROTECTION DETAIL

NOT TO SCALE



ACCESSIBLE RAMP DETAIL

NOT TO SCALE

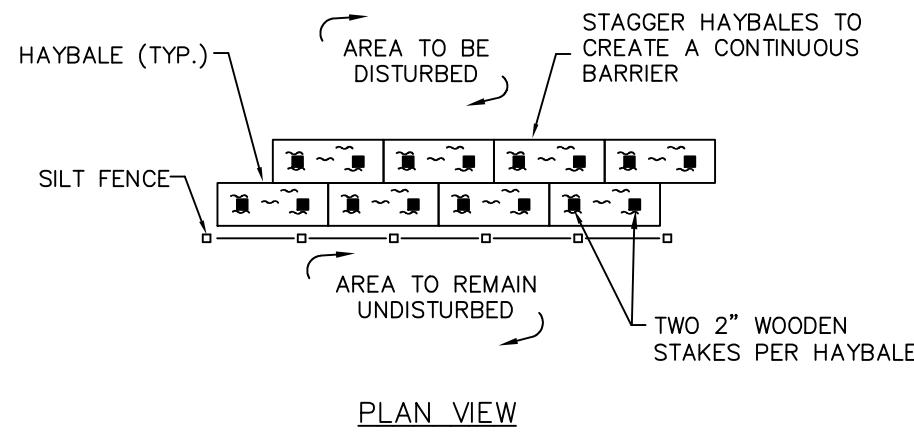


NOTES:

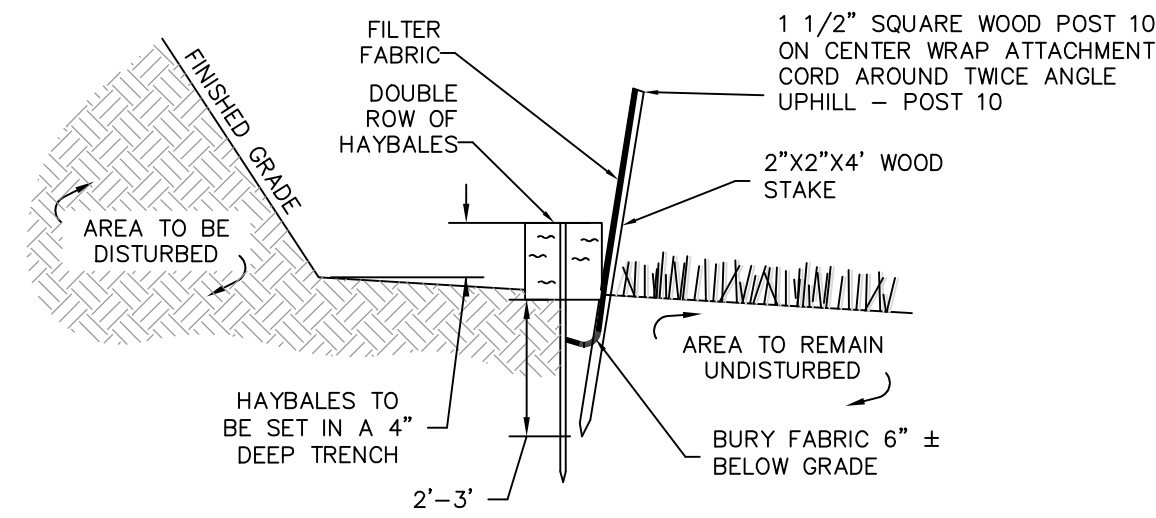
1. SCHEDULE 80 PVC CONDUIT REQUIRED UNDER ROAD AND DRIVEWAY SURFACES.
2. ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
3. SEE SITE ELECTRICAL PLAN FOR SPECIFIC DETAILS

BURIED CONDUIT DETAIL

NOT TO SCALE



PLAN VIEW

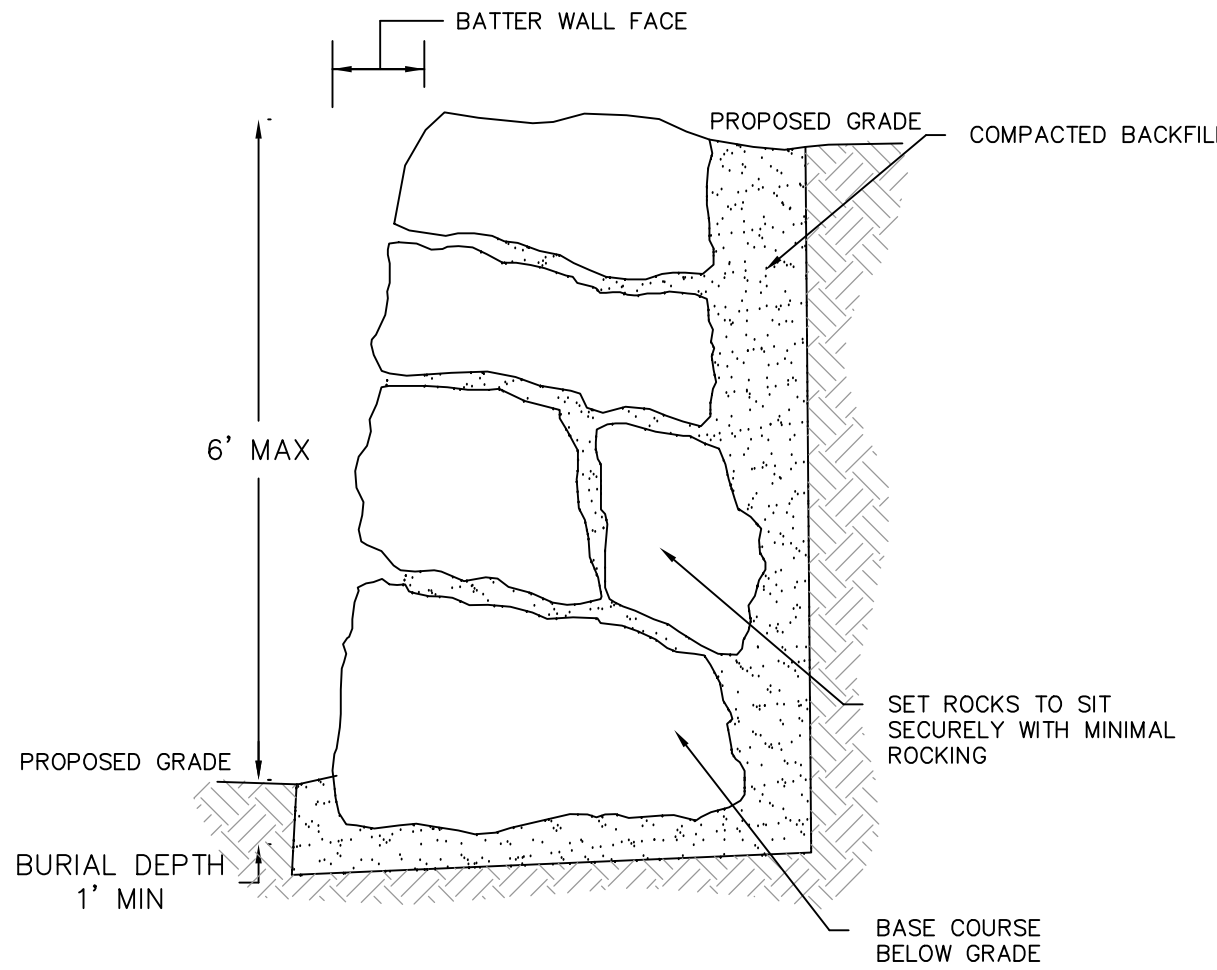


SECTION

- NOTE:
1. DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.
 2. EROSION CONTROL BARRIER SHALL COMPLY WITH ALL APPLICABLE TOWN OF STOUGHTON REQUIREMENTS.

SILT FENCE AND HAYBALE DETAIL

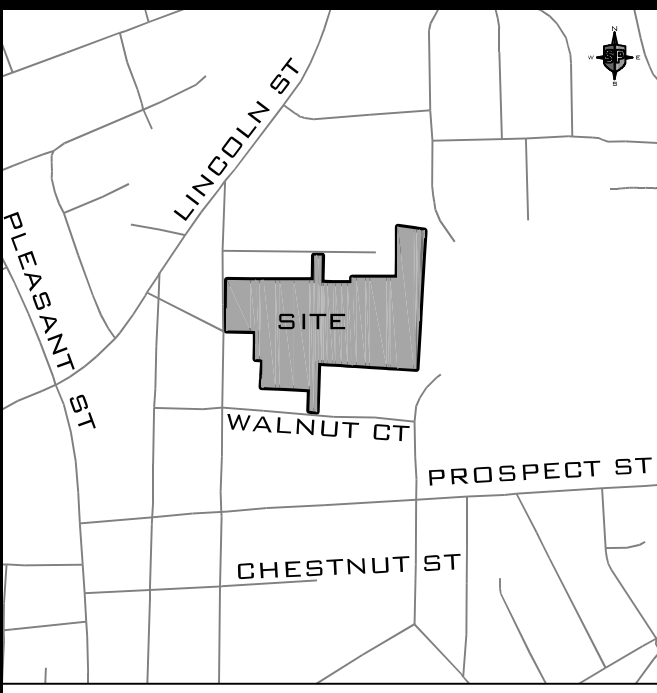
NOT TO SCALE



BOULDER WALL DETAIL

NOT TO SCALE

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



REV	DESCRIPTION	DATE
3	TOWN ENG & CON COM COMMENTS	03/09/20
2	TOWN ENG & CON COM COMMENTS	02/05/20
1	TOWN ENG COMMENTS	12/09/19



PROJECT NUMBER: 1704-003

DATE OF ISSUE: SEPTEMBER 18, 2019

DESIGNED BY: SH

CHECKED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.

1667 CENTRAL STREET
STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN
FOR

LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

DETAIL
SHEET

D-1

TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW.

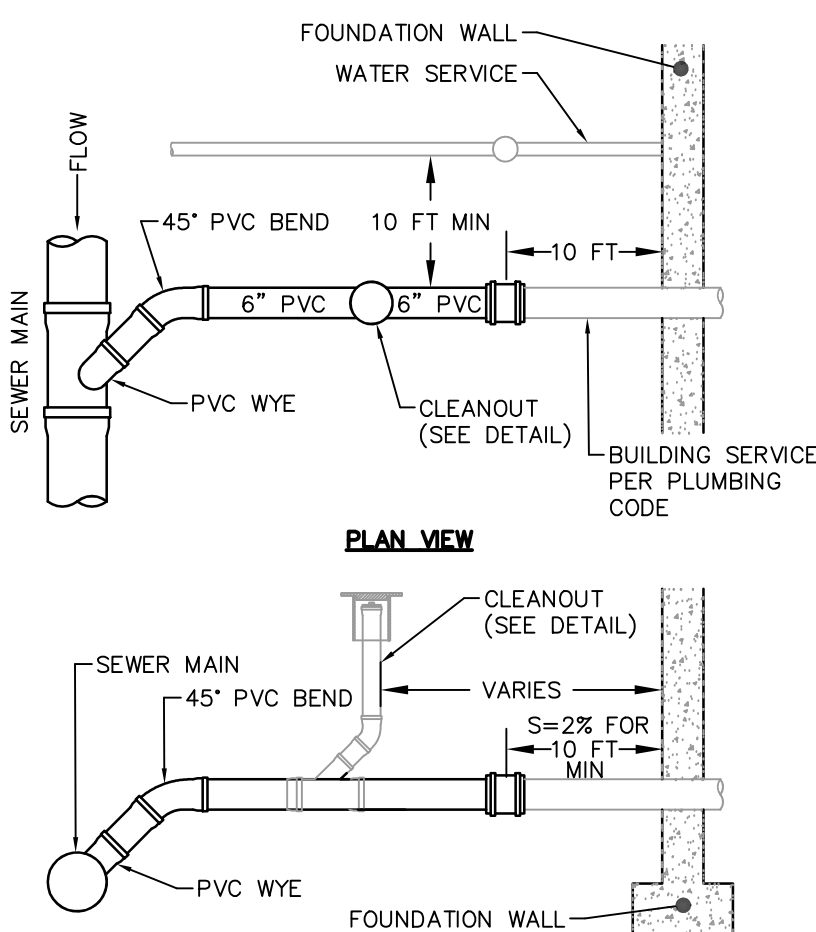
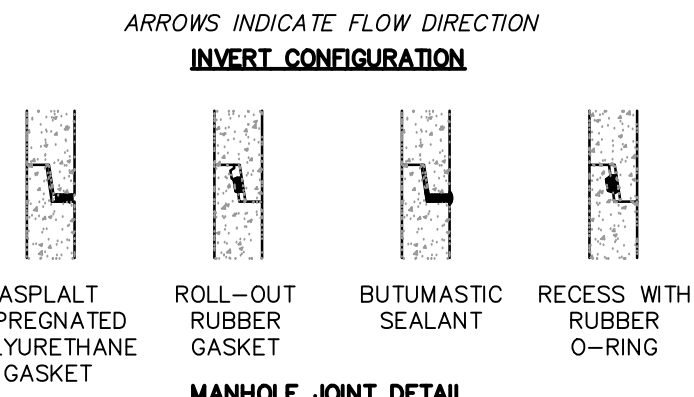
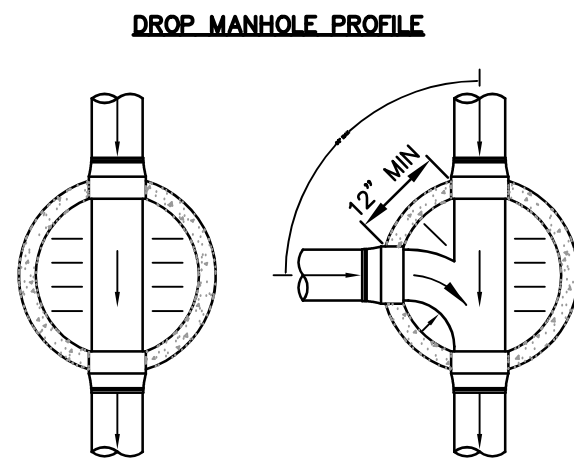
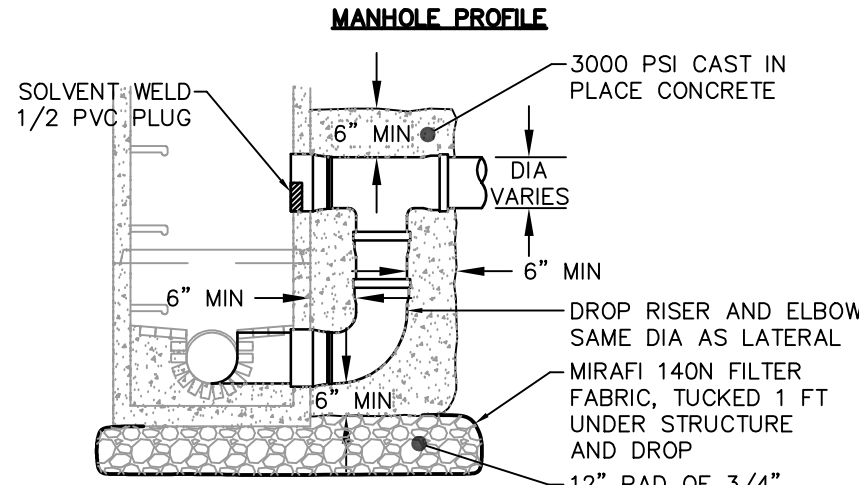
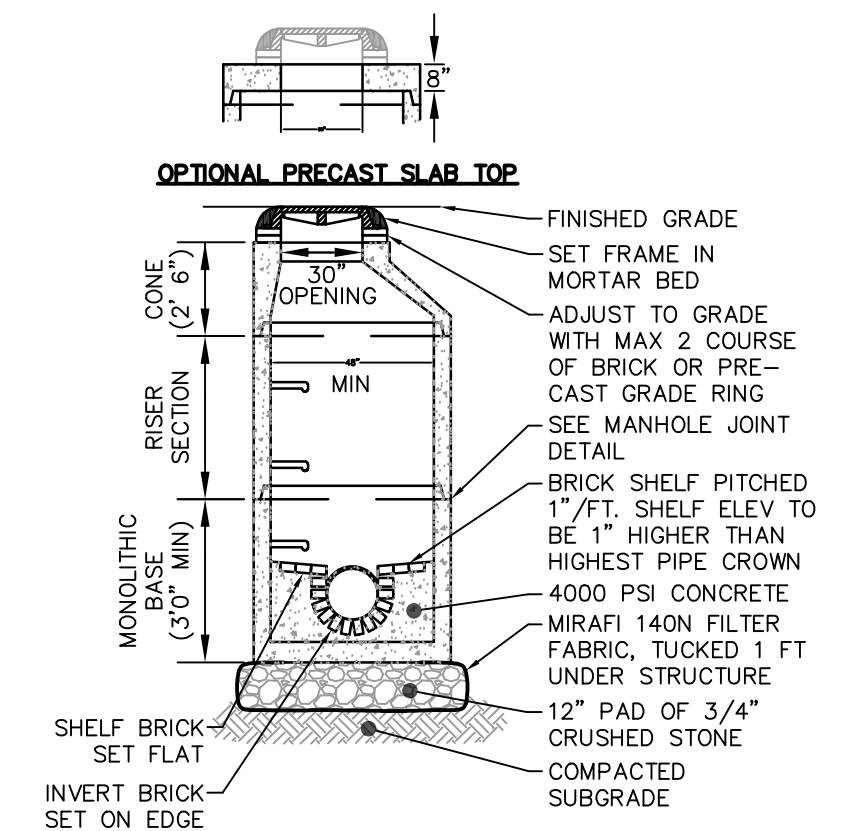
DATE:

APPROVED _____, SUBJECT TO COVENANT
EXECUTED BY _____, DATE _____
AND TO BE RECORDED HERewith.

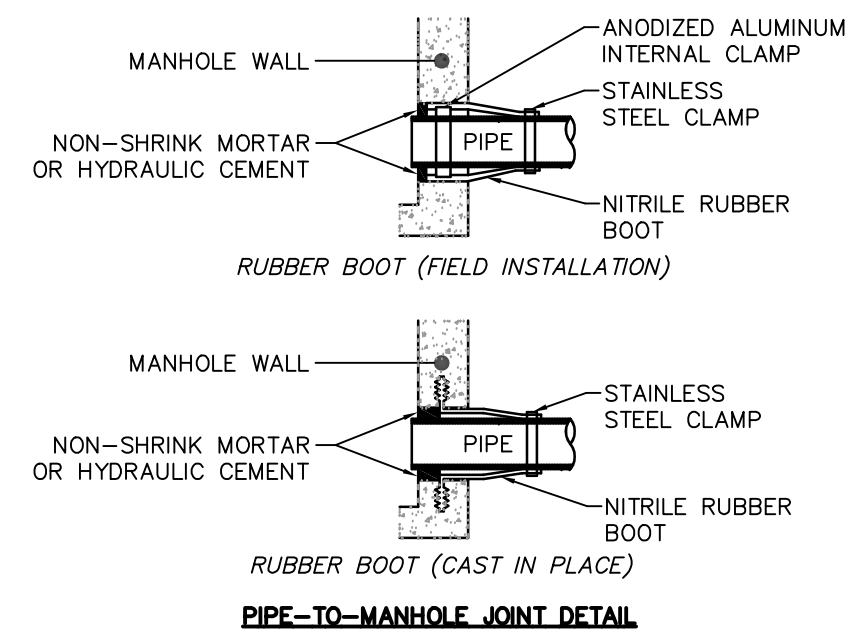
APPROVED _____, SUBJECT TO CONDITIONS
SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH
THE TOWN CLERK ON _____

I, _____, TOWN CLERK OF THE TOWN
OF STOUGHTON, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD WAS RECEIVED AND RECORDED
AT THIS OFFICE ON _____. NO NOTICE
OF APPEAL WAS RECEIVED DURING THETWENTY
DAYS NEXT FOLLOWING SUCH RECEIPT AND
RECORDING OF SAID NOTICE.

TOWN CLERK DATE

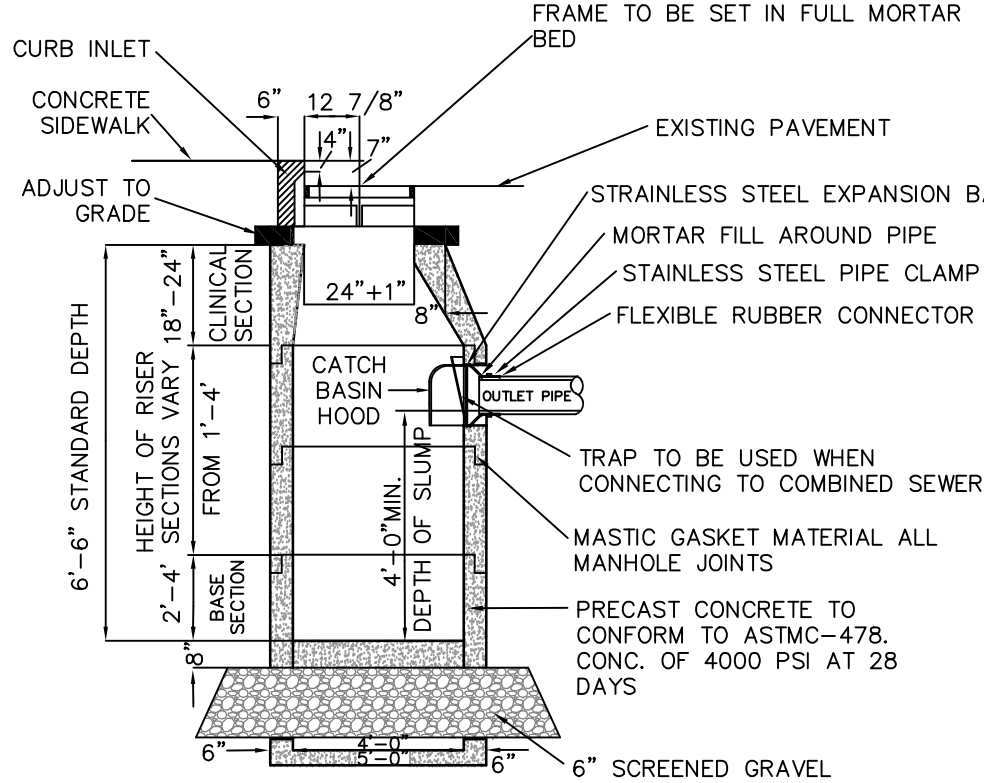


SEWER SERVICE
NOT TO SCALE

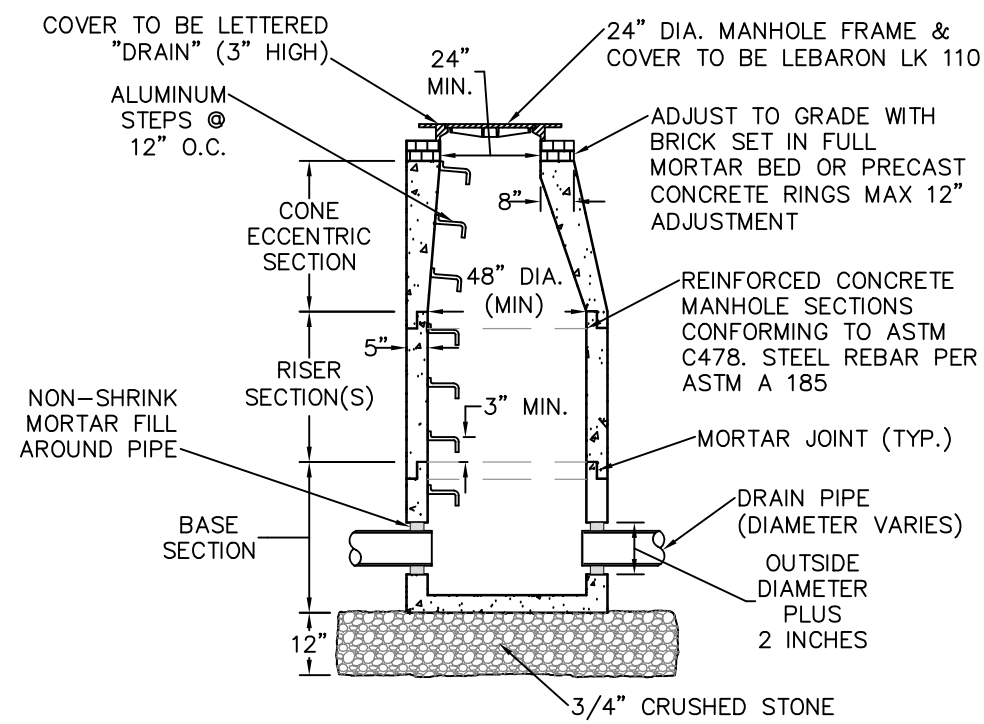


NOTES:
1. MANHOLES AND CASTINGS SHALL BE DESIGNED TO WITHSTAND H-20 LOADING CONDITIONS.
2. PRECAST H-20 SLAB TOP MAY BE USED IN PLACE OF CONE SECTION IF WARRANTED BY FIELD CONDITIONS.
3. FRAME AND COVER SHALL BE LEBARON LK-110 OR APPROVED EQUAL AND SHALL HAVE THE WORD "SEWER" CAST IN 3" HIGH LETTERS.
4. MINIMUM DISTANCE FROM OUTSIDE WALL OF PIPE TO NEAREST MANHOLE JOINT IS 6".
5. MINIMUM DISTANCE FROM OUTSIDE WALL OF PIPE TO TOP OF MANHOLE BASE SLAB IS 6".

PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

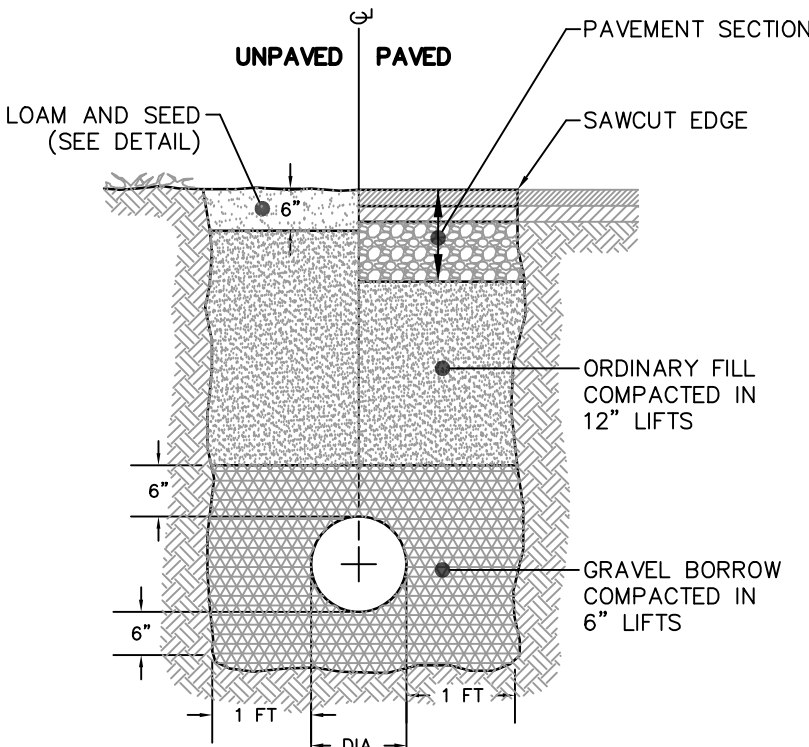


PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



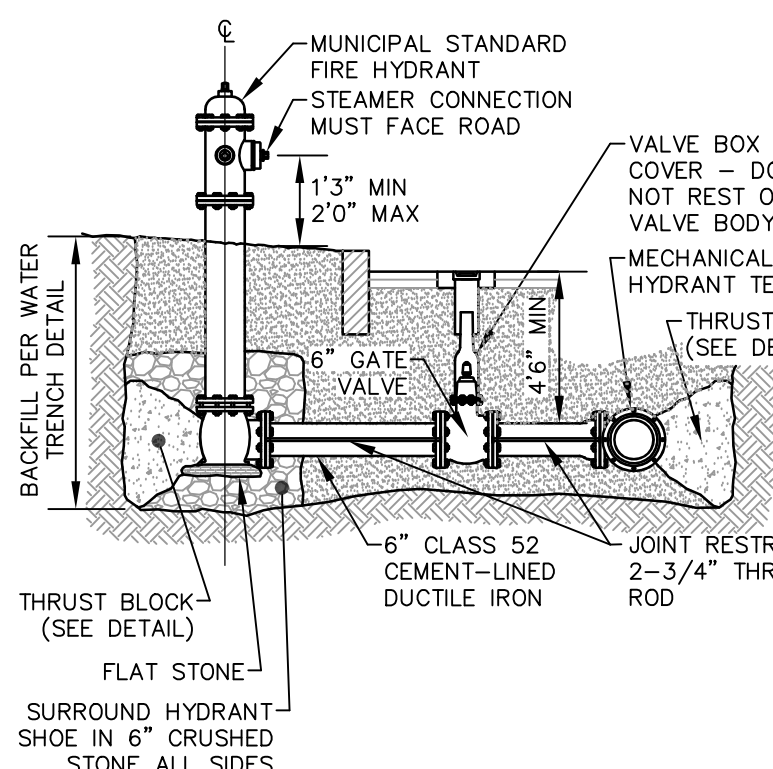
NOTE:
THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE AND STRENGTH QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND (H-20 LOADING) WITHOUT FAILURE.

PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



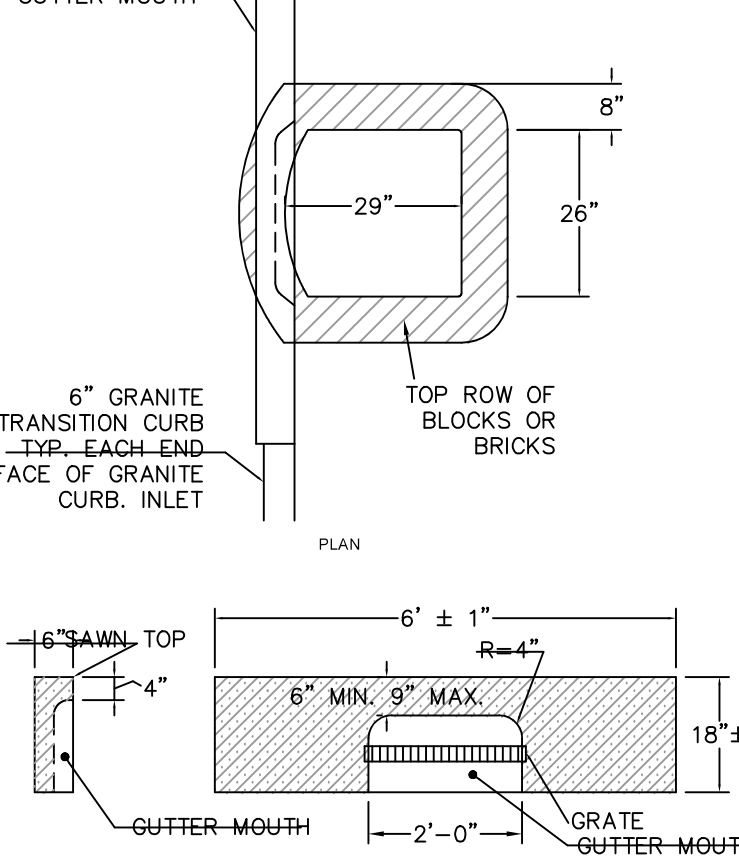
NOTES:
1. GRAVEL BORROW SHALL BE 3-INCH MINUS, FREELY DRAINING, WELL-GRADED GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
2. ORDINARY FILL SHALL BE 6-INCH MINUS GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
3. ALL BACKFILL MATERIALS SHALL BE FREE OF STICKS, ROOTS, CLAY, AND SILT.

DRAIN TRENCH
NOT TO SCALE

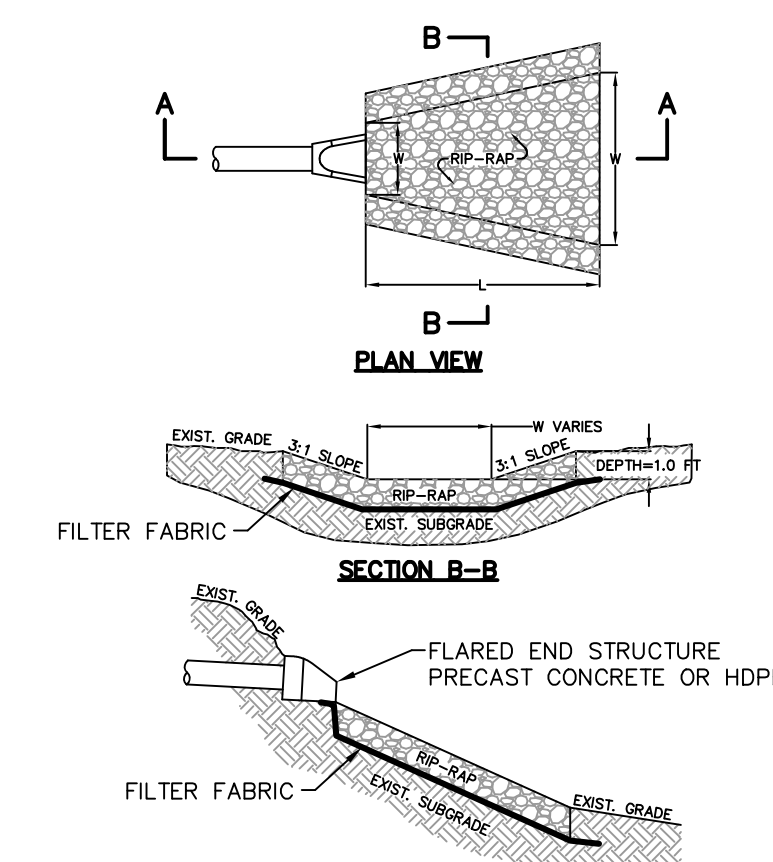


NOTES:
1. CONTRACTOR SHALL ENSURE THAT THE HYDRANT SHOE THRUST BLOCK DOES NOT BLOCK THE HYDRANT DRAIN.
2. ALL HYDRANTS, VALES AND CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE MUNICIPALITY.

FIRE HYDRANT CONNECTION
NOT TO SCALE

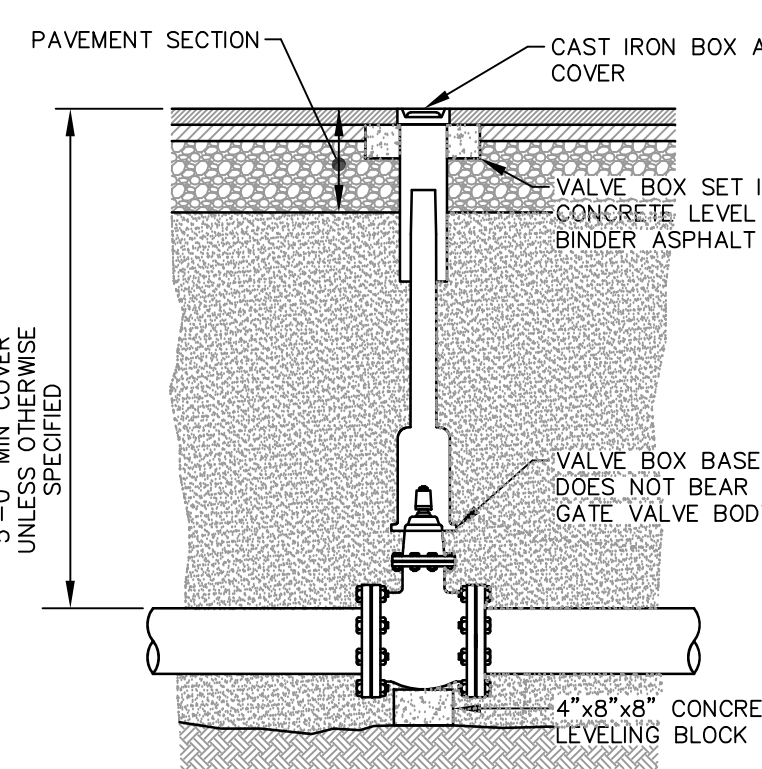


GRANITE VERTICAL CURB INLET
NOT TO SCALE



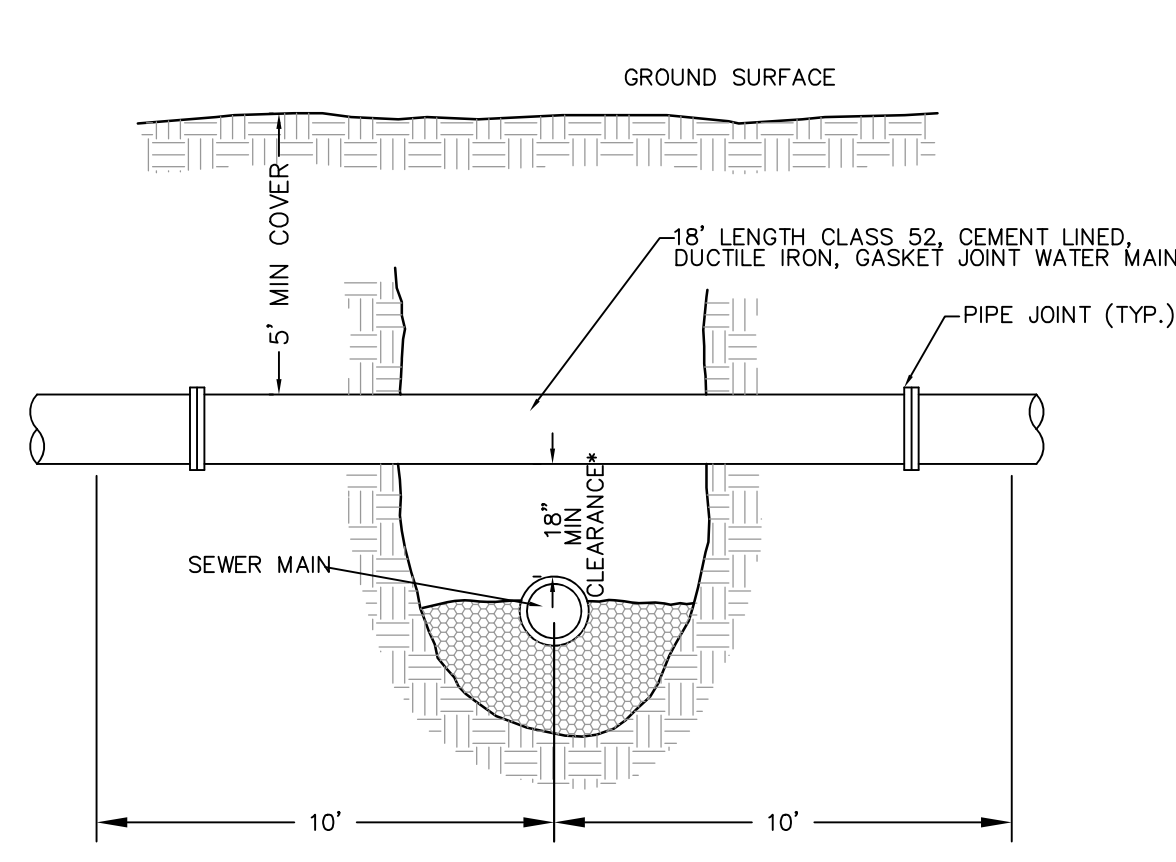
NOTES:
1. STONE SIZE: D₅₀=12\"/>

RIP-RAP OUTLET PROTECTION
NOT TO SCALE



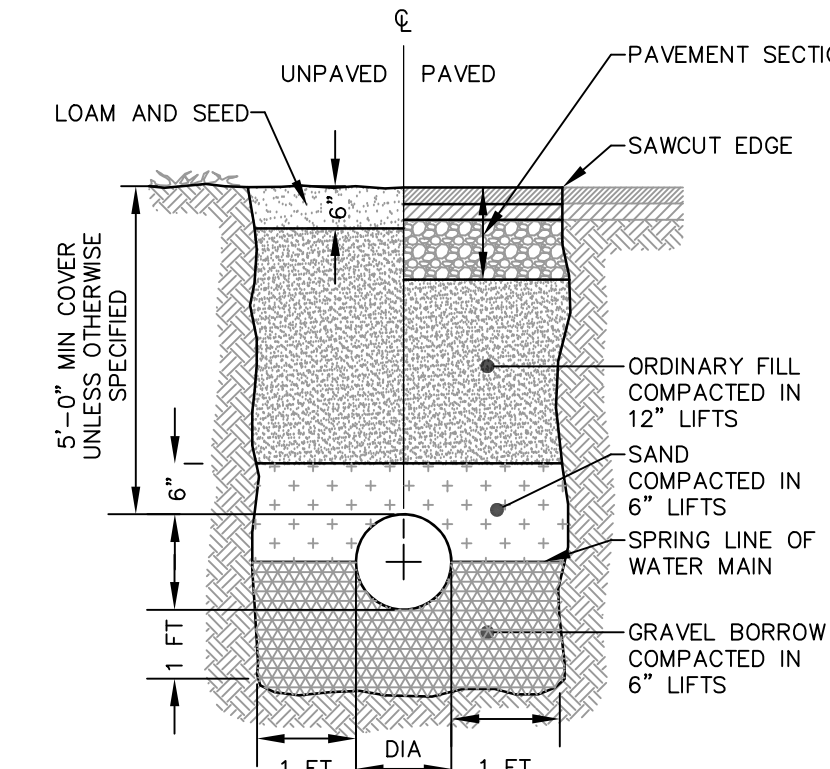
NOTES:
1. VALVE BOX COVER SHALL HAVE THE WORD \"WATER\" CAST IN 1\" LETTERS.
2. VALVE BOX AND COVER SHALL BE RATED BY THE MANUFACTURER FOR H-20 LOADING CONDITIONS.
3. VALVE MANUFACTURER, MODEL AND OPENING DIRECTION AS PER MUNICIPAL REQUIREMENTS.

GATE VALVE
NOT TO SCALE



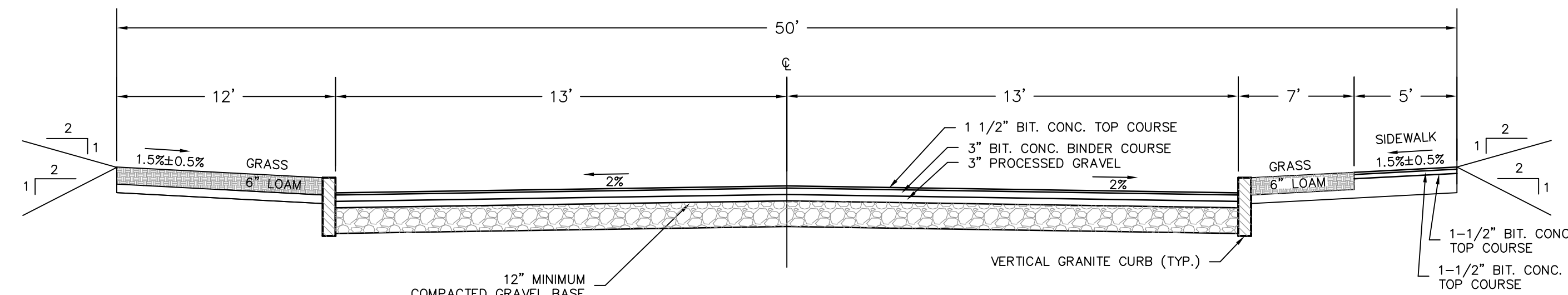
* WHEN THE CROSSING AS SHOWN IS LESS THAN 18\"/>

TYPICAL WATER CROSSING
NOT TO SCALE

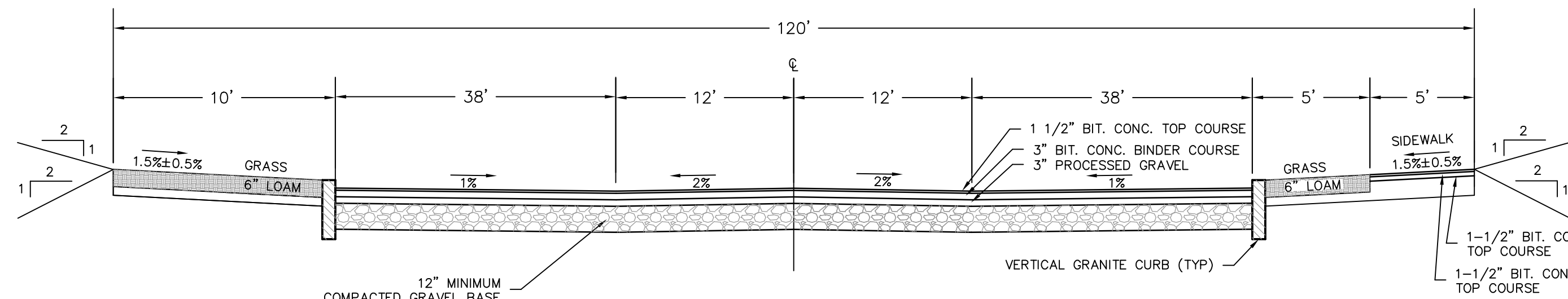


NOTES:
1. GRAVEL BORROW SHALL BE 3-INCH MINUS, FREELY DRAINING, WELL-GRADED GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
2. ORDINARY FILL SHALL BE 6-INCH MINUS GRAVEL OR AS OTHERWISE DEFINED IN THE TECHNICAL SPECIFICATIONS.
3. ALL BACKFILL MATERIALS SHALL BE FREE OF STICKS, ROOTS, CLAY, AND SILT.

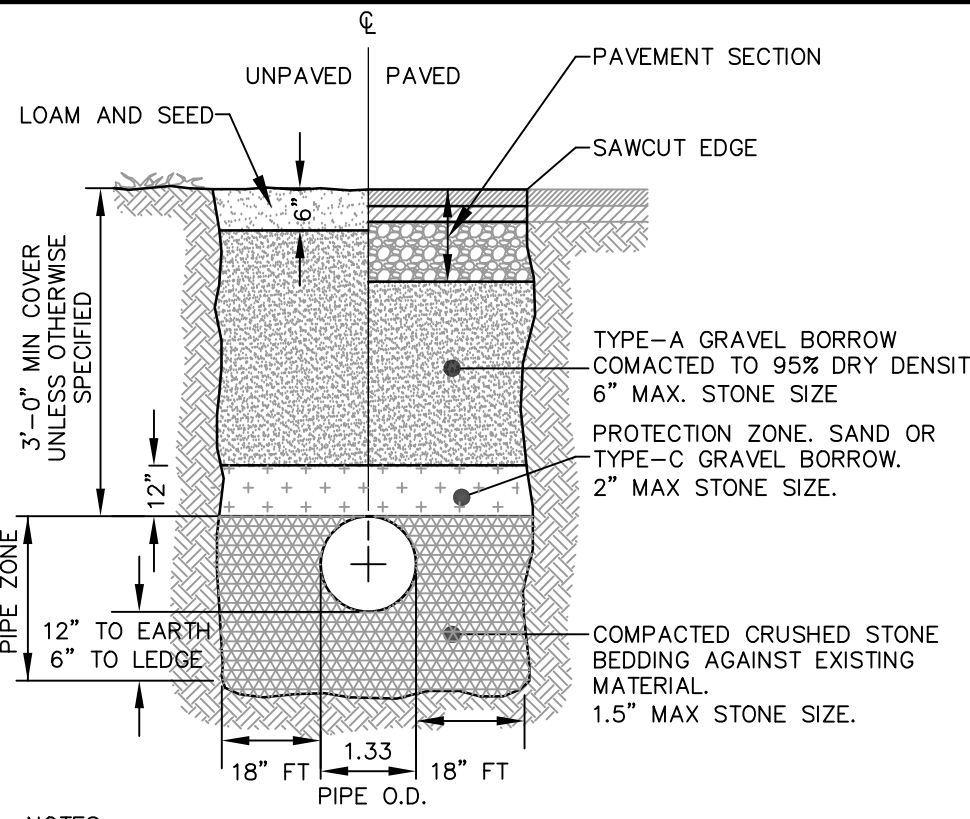
WATER TRENCH
NOT TO SCALE



TYPICAL RIGHT OF WAY SECTION
NOT TO SCALE



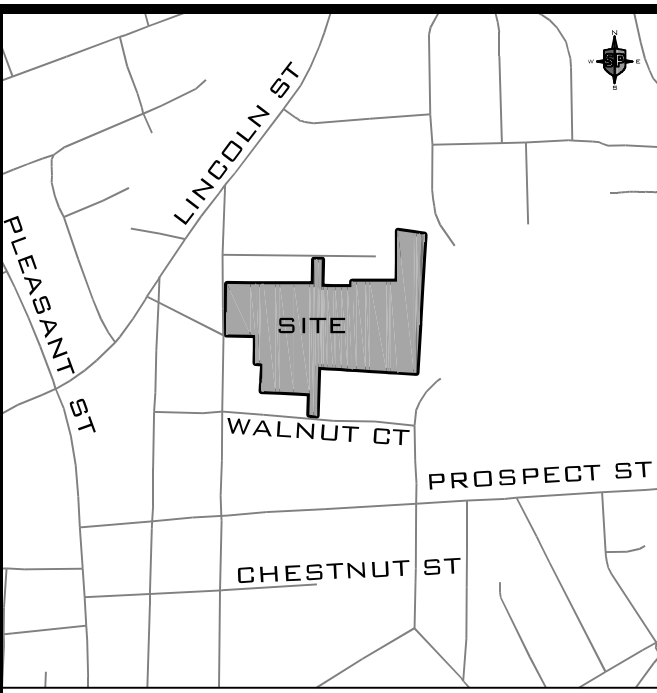
TYPICAL CUL-DE-SAC RIGHT OF WAY SECTION
NOT TO SCALE



NOTES:
1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0.
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1.
3. CONTRACTOR SHALL CONTACT STOUGHTON DPW FOR FLOWABLE FILL REQUIREMENTS. THESE REQUIREMENTS SHALL SUPERCEDE WHAT IS PRESENTED HERE AS APPLICABLE.
4. ANY REQUIRED SHEETING IS TO BE CUT OFF 1 FOOT ABOVE TOP OF PIPE AND ANY WOOD SHEETING DRIVEN BELOW PIPE SONE SHALL BE LEFT IN PLACE.

SEWER TRENCH
NOT TO SCALE

PROFESSIONAL ENGINEER FOR
STRONG POINT ENGINEERING SOLUTIONS, INC.



LOCUS SCALE: 1"=1,000'

REV	DESCRIPTION	DATE
3	TOWN ENG & CON COM COMMENTS	03/09/20
2	TOWN ENG & CON COM COMMENTS	02/05/20
1	TOWN ENG COMMENTS	12/09/19



PROJECT NUMBER: 1704-003

DATE OF ISSUE: SEPTEMBER 18, 2019

SCALE: AS NOTED

DESIGNED BY: SH CHECKED BY: ED

PREPARED ON BEHALF OF:

AMP DEVELOPMENT, LLC.
1667 CENTRAL STREET
STOUGHTON, MA 02072

DEFINITIVE
SUBDIVISION PLAN
FOR
LAWLER LANE
STOUGHTON, MA
(FORMERLY JOHNSON AVE)

DETAIL SHEET D-2

ISSUED FOR REVIEW: SEPTEMBER 18, 2019

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TOWN OF STOUGHTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW.

APPROVED _____, SUBJECT TO COVENANT
EXECUTED BY _____, DATE _____,
AND TO BE RECORDED HERewith.

APPROVED _____, SUBJECT TO CONDITIONS
SET FORTH IN THE CERTIFICATE OF ACTION FILED WITH
THE TOWN CLERK ON _____.

I, _____, TOWN CLERK OF THE TOWN
OF STOUGHTON, HEREBY CERTIFY THAT THE
NOTICE OF APPROVAL OF THIS PLAN BY THE
PLANNING BOARD WAS RECEIVED AND
RECORDED AT THIS OFFICE ON _____.
NO NOTICE OF APPEAL WAS RECEIVED DURING
THETWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE

RESOURCE AREA AND BUFFER ZONE RESTORATION PLAN

THE FOLLOWING REPRESENTS MINIMUM REQUIREMENTS FOR RESTORATION OF
WETLAND RESOURCE AREAS AND BUFFER ZONES ASSOCIATED WITH THE UTILITY
INSTALLATION PROPOSED. ANY CONDITIONS ENCOUNTERED IN THE FIELD THAT MAY
REQUIRE REVISION OR ADDITION TO THE REQUIREMENTS GIVEN SHALL BE
COORDINATED WITH THE ENGINEER OF RECORD PRIOR TO ANY WORK BEING
PERFORMED RELATIVE TO SAID CONDITION.

ALL WORK RELATIVE TO THE PROPOSED WETLAND DISTURBANCE AND RESTORATION
SHALL BE COORDINATED WITH THE ENGINEER OF RECORD AND TOWN OF STOUGHTON
CONSERVATION AND ENGINEERING DEPARTMENTS AND AN INSPECTION/MONITORING
SCHEDULE SHALL BE ESTABLISHED BEFORE PROCEEDING WITH ANY WORK.

1. STAKE EXTENTS OF LIMIT OF WORK THOUGH WETLAND RESOURCE AREA AND
BUFFER ZONES.
2. RE-ESTABLISH ANY WETLAND FLAGS THAT ARE LOST OR UNREADABLE IN
VICINITY OF PROPOSED WORK.
3. CUT AND CLEAR TREES WITHIN LIMIT OF WORK. ALL STOCKPILE AREAS SHALL
BE LOCATED IN AREA SHOWN ON SHEET C-7 OF THE PLAN SET.
4. INSTALL EROSION CONTROL BARRIERS WITHIN LIMIT OF WORK.
5. GRUB LIMIT OF WORK.

6. STAKE CENTERLINE OF WATER AND SEWER MAIN INSTALLATION THROUGH WETLAND
RESOURCE AREA AND BUFFER ZONES.

7. EXCAVATE WATER AND SEWER TRENCH AS APPROPRIATE (INCLUDING JACKING
PITS FOR WATER MAIN INSTALLATION BENEATH STREAM BED). ALL TOP AND
SUBSOIL (A- AND B- LAYERS) SHALL BE SEPARATED AND STOCKPILED SEPARATELY
IN THE DESIGNATED STOCKPILE AREA FOR INDIVIDUAL REUSE. TOP AND SUB SOIL
SHALL NOT BE EXCESSIVELY SCREENED. C-HORIZON SOILS SHALL BE SCREENED AS
APPROPRIATE AND STOCKPILED SEPARATELY FOR REUSE.

8. INSTALL UTILITIES AND BACKFILL AS APPROPRIATE TO SUBSOIL LEVEL.

9. BACKFILL SUB AND TOPSOIL WITH UNSCREENED STOCKPILED MATERIAL TO DEPTH
MATCHING THOSE AT EACH SIDE OF THE TRENCH EXCAVATION. TAKE CARE NOT
TO COMPACT EXCESSIVELY.

10. INSTALL APPROVED GEOTEXTILE MATTING FOR STABILIZATION IN ANY AREAS
EXCEEDING 3:1 SLOPE OR AS OTHERWISE DETERMINED APPROPRIATE BY THE
ENGINEER OF RECORD.

11. SEED ALL DISTURBED AREAS WITH AN APPROPRIATE SEED MIX AS FOLLOWS:

WETLAND RESOURCE AREAS:
NEW ENGLAND WET MIX, APPLICATION RATE 2,500 SF/LB
NEW ENGLAND EROSION CONTROL/RESTORATION MIX, APPLICATION RATE
1,250 SF/LB
BUFFER ZONE AREAS:
NEW ENGLAND EROSION CONTROL/RESTORATION MIX, APPLICATION RATE
1,250 SF/LB

12. MONITOR AREA FOR VEGETATION ESTABLISHMENT AND GENERAL EROSION
CONTROL MAINTENANCE.

13. REMOVE EROSION CONTROL BARRIERS WHEN ALL DISTURBED AREAS ARE FULLY
STABILIZED AS DETERMINED BY THE ENGINEER OF RECORD.

IN PERFORMANCE OF THE ABOVE, THE CONTRACTOR SHALL ALSO OBSERVE AND
INCLUDE ANY AND ALL REQUIREMENTS OF ANY INVASIVE SPECIES MANAGEMENT
PLAN THAT MAY BE ASSOCIATED WITH THIS PROJECT.

STREAM CROSSING INSTALLATION NOTE

THE EXISTING STREAM BANK IS LOCATED SOUTH OF THE EXISTING
SEWER MANHOLE PROPOSED FOR CONNECTION AND HAS A FULL BANK
WIDTH OF APPROXIMATELY 6 FEET.

GIVEN THE NARROWNESS OF THE BANK JACKING IS THE PREFERRED
METHOD OF UTILITY MAIN INSTALLATION UNDER THE EXISTING BANK TO
LIMIT DISTURBANCES AND NEGATE THE NEED FOR DIVERSION TO THE
MAXIMUM EXTENT POSSIBLE.

FINAL MEANS AND METHOD OF INSTALLATION SHALL BE DETERMINED
BASED ON FIELD CONDITIONS AT THE TIME OF INSTALLATION AND SHALL
BE COORDINATED WITH THE ENGINEER OF RECORD, CONSERVATION
AGENT, AND TOWN ENGINEER PRIOR TO GROUND BREAK.

STANDARD DEWATERING PROTOCOL

THE FOLLOWING REPRESENTS MINIMUM REQUIREMENTS FOR DEWATERING
ASSOCIATED WITH THE PROPOSED UTILITY INSTALLATION AS
APPLICABLE. ADDITIONAL REQUIREMENTS OR CONDITIONS ARE
ALLOWABLE BY THE ENGINEERING OF RECORD BASED UPON CONDITIONS
ENCOUNTERED IN THE FIELD.

1. IF DEWATERING IS REQUIRED AT ANY TIME DURING CONSTRUCTION
ASSOCIATED WITH THE PROPOSED WORK, IT SHALL BE PERFORMED BY
MECHANICAL MEANS AND ALL DISCHARGES SHALL BE UPSLOPE OF THE
BORDERING VEGETATED WETLAND (BVW).

2. DISCHARGES SHALL BE NO LESS THAN 50 FT. FROM THE BOUNDARY
OF THE BVW, WHENEVER POSSIBLE. CONTRACTOR SHALL MAKE EVERY
EFFORT TO ENSURE THAT EFFLUENT FROM THE DEWATERING SOURCE IS
DISSIPATED OVERLAND RATHER THAN CONCENTRATED AS A POINT
SOURCE DISCHARGE. POINT SOURCE DISCHARGES ARE STRICTLY
PROHIBITED.

3. EFFLUENT SHALL BE ALLOWED TO FLOW OVERLAND TOWARD THE
BVW PROVIDED THAT PROPER FILTRATION IS PROVIDED TO REMOVE ANY
SUSPENDED SEDIMENTS TO THE MAXIMUM EXTENT POSSIBLE PRIOR TO
REACHING THE BVW.

4. PROPER FILTRATION WILL BE CONSIDERED, AT MINIMUM, TO INCLUDE
THE USE OF A SUMP PIT AT THE DEWATERING SOURCE AND FILTRATION
CONTROLS AT THE DISCHARGE SOURCE.
5. AT MINIMUM, SUMP PITS SHALL CONSIST OF A 12 IN. DIAMETER
PERFORATED VERTICAL STANDPIPE BACKFILLED WITH WASHED CRUSHED
STONE POSITIONED ON A 2 IN. WASHED CRUSHED STONE BASE. A
SUBMERSIBLE PUMP OR SUCTION LINE SHALL BE LOCATED WITHIN THE
STAND PIPE AND SHALL PUMP FILTERED WATER TO THE FILTRATION
CONTROLS AT THE DISCHARGE SOURCE.

6. MINIMUM FILTRATION CONTROLS AT THE DISCHARGE SOURCE SHALL
CONSIST OF EROSION CONTROL MATERIALS FORMED IN A U-SHAPE
AROUND THE DISCHARGE POINT WITH A MINIMUM DIAMETER OR 6 FT.
THE DISCHARGE POINT SHALL BE POSITIONED MIDWAY BETWEEN THE
ENDS OF THE FILTRATION CONTROLS IN A STRAIGHT LINE TO ALLOW
FOR ADEQUATE DISBURSEMENT OF EFFLUENT.

7. DISCHARGE SHALL BE LOCATED SUCH THAT EFFLUENT IS NOT
DIRECTED OVER AREAS THAT ARE UNSTABLE DUE TO THE REQUIRED
WORK WHENEVER POSSIBLE.

8. ALL DISCHARGES SHALL BE MONITORED FOR TURBIDITY.
ADJUSTMENTS FOR SETTLING SHALL BE MADE AND SECONDARY
CONTROLS SHALL BE ADJUSTED AS NECESSARY.

9. ANY ACCUMULATED SEDIMENT RESULTING FROM DEWATERING
FILTRATION SHALL BE REMOVED PRIOR TO REUSE OF THE PRACTICE.

