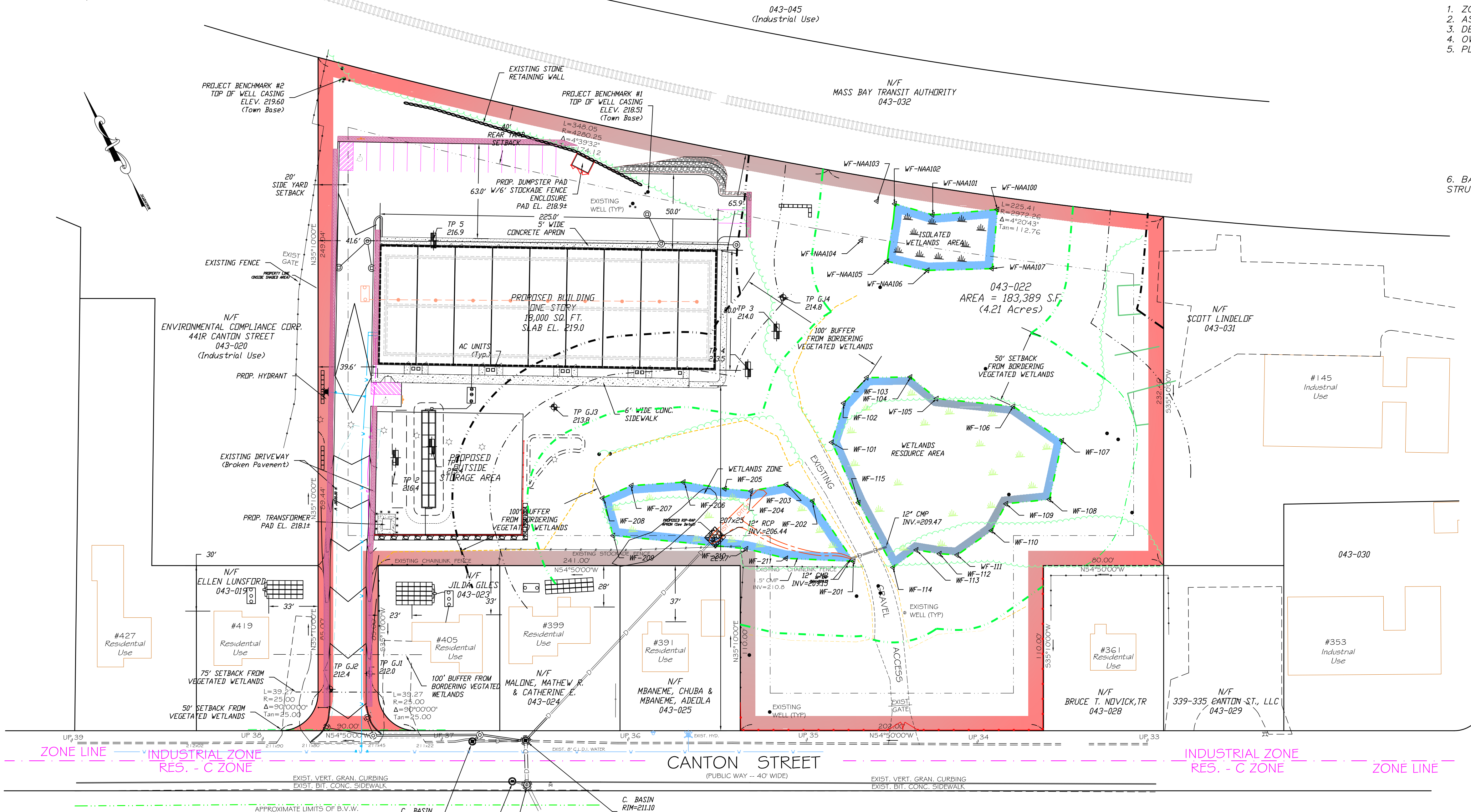


LOCUS PLAN
SCALE: 1"=400'
(STOUGHTON GIS MAP)



ZONE -- INDUSTRIAL		
	REQUIRED	PROVIDED
LOT AREA	80,000 S.F.	183,389 S.F.
FRONTAGE	150'	292'
WIDTH	125'	563'
FRONT YARD SETBACK	125'	229.7'
REAR YARD SETBACK	25'	65.1'
SIDE YARD SETBACK	20'	39.6'
BUILDING HEIGHT	40'	35'
MAXIMUM STORIES	2	1
MAXIMUM BUILDING AREA	50%	9.8%
MINIMUM OPEN SPACE	25%	73.1%
PARKING SPACES		
1 PER 1,000 SQ. FT.	18	20
HANDICAP SPACES	1	2

- NOTES --
- ZONING: INDUSTRIAL
 - ASSESSORS PLAN 43, PARCEL 022
 - DEED REFERENCE NORFOLK COUNTY REGISTRY BK 4982, PG 602
 - OWNER OF RECORD: HERSEE PROPERTIES, INC.
 - PLAN REFERENCES:
PLAN ENTITLED "SUBDIVISION OF PORTION OF LAND IN STOUGHTON, MASS" PREPARED BY RUPERT BATCHELOR, SURVEYOR, SCALE 1"=40', DATED JUNE 5, 1950 AND RECORDED AS PLAN No. 873 of 1950
PLAN ENTITLED "PLAN OF LAND IN STOUGHTON, MASSACHUSETTS" PREPARED FOR WARREN & HELENA BLUM BY EDWARD C. PETERSON, SURVEYOR SCALE 1"=50', DATED OCT. 14, 1971, AND RECORDED AS PLAN No. 901 of 1971
PLAN ENTITLED "PLAN OF LAND IN STOUGHTON, MASSACHUSETTS, PREPARED FOR ROBERT DEE, JR. BY AUSTIN ENGINEERING, CO. SCALE 1"=30', DATED OCT. 1, 1976 AND RECORDED AS PLAN No. 878 of 1976
 - BASE PLAN, INCLUDING PROPERTY LINE, TOPOGRAPHY AND ABUTTING STRUCTURES, PREPARED BY ARTHUR F. BORDEN & ASSOCIATES, INC.

ZONING REQUIREMENTS FOR SIGNS		
	REQUIRED	PROPOSED
SIZE	150 SQ. FT. (Max.)	48 SQ. FT.
HEIGHT	30' (Max.)	8'
SETBACK FROM STREET	15'	15.5'

IMPERVIOUS COVERAGE SUMMARY	
BUILDING	18,000 S.F.
PAVEMENT	22,723 S.F.
CONCRETE	2,025 S.F.
GRAVEL STORAGE	7,560 S.F.
	49,298 S.F.

OPEN SPACE	134,091 S.F.
	73.1%

OWNER/APPLICANT
HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

REVISIONS	
1	12/10/19 RESPONSE TO COMMENTS
2	12/18/19 added wetlands shading
3	01/25/20 Moved & reduced building
4	02/10/20 restored building size
5	02/29/20 response to con comm
6	05/06/20 moved dumpster
7	07/10/20 added decision

WAIVER REQUESTS
1. SECTION 10.6.10 OF THE ZONING BY LAWS - TO WAIVE THE REQUIREMENT FOR A DEVELOPMENT IMPACT REPORT.

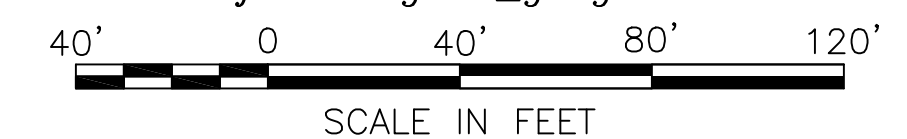
DRAWING LIST

TITLE	SHEET NO.
COVER SHEET	1 of 12
SIGNATURE SHEET	2 of 12
EXISTING CONDITIONS PLAN	3 of 12
SITE & UTILITY LAYOUT	4 of 12
GRADING SHEET	5 of 12
EROSION CONTROL PLAN	6 of 12
DRIVEWAY DETAILS	7 of 12
DRAINAGE DETAILS	8 of 12
CONSTRUCTION DETAILS	9 of 12
LANDSCAPING SHEET	10 of 12
LANDSCAPING DETAILS	11 of 12
SEPTIC DESIGN	12 of 12

COVER SHEET
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

SCALE: 1"=40' DATE: SEPTEMBER 5, 2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1- (781)-878-1795
email: jameseng125_gary@msn.com





TOWN OF STOUGHTON

Massachusetts
MA 02072

PLANNING BOARD

Site Plan Approval for
409 Canton Street
Case # 18-004

Date: May 14, 2020
Applicant: Hersee Properties, Inc.
1800 Bay Road
Stoughton, MA 02072
Owner: Hersee Properties, Inc.
1800 Bay Road
Stoughton, MA 02072
Representative: James Engineering,
125 Great Rock Road
Hanover, MA 02339
Property: 409 Canton Street (Assessor's Map 43, Portion of Lot 22)

I) Project Summary

The proposed project includes the construction of an 18,000 SF building to contain nine (9) units for commercial/light industrial use with associated infrastructure and surface parking with a total of 22 parking spaces in the Industrial (I) zoning district.

II) Procedural History

- A) Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on November 14, 2018.
- B) The Site Plan submitted for review to the Planning Board is titled "Site Plan, 409 Canton Street, Stoughton, MA" prepared by James Engineering, Inc., 125 Great Neck Road, Hanover, MA 02339, dated

12. Comment letter dated November 1, 2019 from Craig Horsfall, Assistant Town Engineer.
13. Revised comment letter dated November 14, 2019 from John Charbonneau, Town Planner.
14. Letter dated December 18, 2019 from James Engineering, Inc. summarizing revised plan submission.
15. Revised comment letter dated December 19, 2019 from John Charbonneau, Town Planner.
16. Second comment letter dated December 27, 2019 from Craig Horsfall, Assistant Town Engineer.
17. Letter dated January 28, 2020 from James Engineering, Inc. summarizing revised plan submission.
18. Letter dated February 15, 2020 from James Engineering, Inc. summarizing revised plan submission.
19. Comment letter dated February 24, 2020 from James Conlon, Environmental Affairs Officer.
20. Revised comment letter dated February 26, 2020 from John Charbonneau, Town Planner.
21. Third comment letter dated February 26, 2020 from Craig Horsfall, Assistant Town Engineer.
22. Email comments dated February 27, 2020 from Deputy Chief Scott Breen.
23. Email comments dated May 7, 2020 from Sanitarian Larry Perry.

IV) Findings

1. The Planning Board finds that the applicant has submitted the required information for determination of approval of the Site Plan.
2. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
3. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Conservation Commission, Department of Public Works and the Engineering Department, the Planning Board analyzed all the comments and reports received. There were several productive in-house meetings with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
4. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Approval" found that the Applicant has met the conditions and the project will not result in any substantial detriment to the district.

10. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
11. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
12. The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
13. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
14. The Applicant shall submit final construction plans to the Engineering Department and the Public Works Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
15. Required soil and erosion control measures shall be erected and serviceable prior to any site activity. For purposes of controlling erosion, all grades exposed for greater than a 30-day period shall be stabilized.
16. The Applicant shall be responsible for ensuring that any trucks involved in hauling materials onto or off-site are properly covered and otherwise secured from spilling material along any street outside the site. Violation of this condition may lead to the discontinuation of construction activities and/or permits and fines.
17. Wetting and stabilization of exposed grades shall occur as necessary to suppress dust generation. The use of municipal water for wetting of exposed grades and for other purposes associated with this approved operation shall require the prior written authorization of the Stoughton Public Works Department. Copies of said authorization must be filed by the Applicant with the Planning Board and the Building Commissioner prior to its use. Otherwise, the potable water shall be transported to the site from a lawful source outside of the Town of Stoughton or provided by private well.
18. A Final As-Built Plan that is stamped and signed by the fully-licensed project engineer shall be submitted to the Engineering Department and the Planning Department along with a letter that details any differences between the as-built

VI) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan based on the above stated facts, findings and conditions. They also voted to authorize the Chairman to endorse the decision on their behalf.

On the day of May 14, 2020.

Joseph Scardino, Chairman

Daniel Kelly, Vice Chairman

Lynne Jardin

Jonathan Garland

Senesie Kabba

Co: Town Clerk:
Applicant:
Interested Parties:

CERTIFICATION:

The Planning Board certifies that a copy of this decision was filed with the Town Clerk of the Town of Stoughton on May 18, 2020.

FOR THE PLANNING BOARD
Joseph Scardino, Chairman

September 5, 2019 and revised through May 6, 2020.

- C) The land shown on the Site Plan is located off of Canton Street and shown on Assessor's Map 43, Lot 22 (the "Property") and is located in the Industrial (I) zoning district and consists of approximately 4.21 acres of lot area.
- D) A public hearing on the Site Plan Application was held on January 30, 2019, April 25, 2019, June 27, 2019, July 18, 2019, August 8, 2020, October 10, 2019, November 14, 2019, December 12, 2019, January 9, 2020, February 13, 2020, February 27, 2020 and May 14, 2020.

II) Application Submittals

1. The Site Plan submitted for review to the Planning Board is titled "Site Plan, 409 Canton Street, Stoughton, MA" prepared by James Engineering, Inc., 125 Great Rock Road, Hanover, MA 02339, dated September 5, 2019 and revised through May 6, 2020.
2. SWPPP Plan dated September 5, 2019.

III) Related Documents

1. Copy of the Legal Public Hearing notice from the edition of the Journal-Sun dated January 11, 2019 and January 18, 2019.
2. Certified List of Abutters dated November 16, 2018.
3. Stormwater Report dated March 7, 2018 prepared by Arthur F. Bordon & Associates, Inc.
4. "Drainage Calculations for 409 Canton Street" dated September 10, 2019 and revised through February 13, 2020 and prepared by James Engineering, Inc.
5. Comment letter from James Conlon, Environmental Affairs Officer, dated December 12, 2018.
6. Comment letter from Sergeant James O'Connor dated November 20, 2018.
7. Comment letter from Phil McNulty, of the DPW dated December 6, 2018.
8. Comment letter from Larry Perry, BOH Agent dated December 5, 2018.
9. Comment letter from Deputy Chief Scott Breen dated November 20, 2018.
10. Comment letter dated June 1, 2019 from John Charbonneau, Town Planner.
11. Letter dated September 30, 2019 from James Engineering, Inc. summarizing revised plan submission.

V) Decision

A) General Conditions

1. This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
2. Prior to commencement of construction, a revised full set of approved plans and calculations, showing any required changes to the Site Plan required by this decision shall be submitted to the Planning Board for its records. The Planning Board decision shall be scanned onto and incorporated into the approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
3. Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
4. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
5. The Applicant is responsible for the filing of this decision with the Registry of Deeds.
6. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
7. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
8. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
9. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.

plan and the approved plan prior to the issuance any certificate of occupancy.

19. The Applicant shall record the "Operation and Maintenance Plan," and provide proof of recording to the Planning Board and the Engineering Department prior to the issuance of a Building Permit and pursuant to special condition #34 of the Order of Conditions.
20. The Planning Board will require cash surety in the amount to cover the full replacement cost of all landscaping prior to the issuance of any Certificate of Occupancy. The cash will be held for one (1) complete growing season after the landscaping is installed to ensure survival.
- B) Special Conditions
1. The project shall be built in compliance with the Order of Conditions DEP # 298-0801 issued by the Conservation Commission and dated March 5, 2020.
2. During construction, the hours of operation shall be from 7:00 am until 6:00 pm Monday through Friday and 8:00 am until 5:00 pm on Saturday. No machinery shall be started or run prior to those start times. There shall be no construction activities on Sunday or any state or federal holiday.
3. The applicant shall clean the entire drainage system at the end of construction and prior to the issuance of any Certificate of Occupancy.
4. Prior to the commencement of construction on the building, the applicant shall apply for a Water Connection Permit with the Public Works Department.
5. Pursuant to special condition # 30 of the Order of Conditions, prior to the issuance of a building permit, the applicant is responsible to televise and record an inspection of the 180-foot length of 12" RCP subsurface drain line serving the site crossing the property located at #391 and #399 Canton Street discharging into the street drainage system of Canton Street and eventually discharging into Lipsky's Field in its present location.

OWNER/APPLICANT

HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

SIGNATURE SHEET
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

DATE: SEPTEMBER 5, 2019

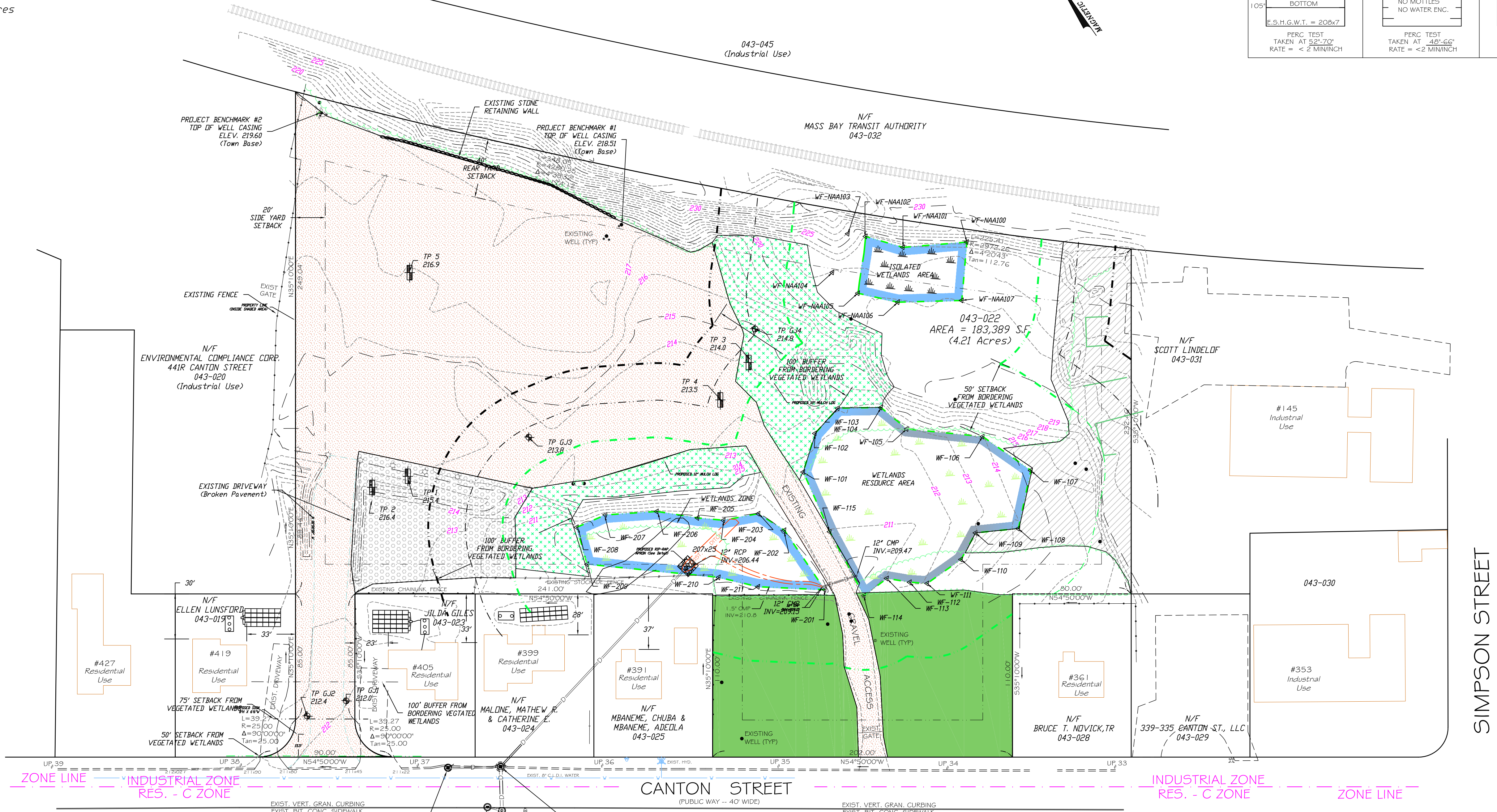
JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1- (781)-878-1795

email: jameseng125_gary@msn.com

REVISIONS	
1	12/10/19 RESPONSE TO COMMENTS
2	12/18/19 added wetlands shading
3	01/25/20 Moved & reduced building
4	02/10/20 restored building size
5	02/29/20 response to con comm
6	05/06/20 moved dumpster

LAND USE LEGEND table with 3 columns: Land Use, Area, and Symbol. Includes categories like EXPOSED EARTH & GRAVEL DRIVE, INVASIVE SPECIES MANAGEMENT AREA, DEBRIS CLEAN UP AREA, FORESTED AREAS STRIPPED BY PRIOR ACTIVITY, FRONT LOTS CLEANED BY OWNER, TOTAL AREA ALTERED, WETLANDS, and LOT AREA.

SOIL EXAMINATION REPORT DATE: 03/06/2014. TEST CONDUCTED BY: FRANK J. GALLAGHER, P.E., C.S.E. BOARD OF HEALTH WITNESS: LAWRENCE PERRY. Table with 5 columns: TEST PIT NO., SURFACE ELEV., and soil profile details for pits 1 through 5.



NOTES:
1. WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED BY NOVER-ARMSTRONG, IN APRIL 2013 AND SHOWN ON AN ANDRAD PLAN PREPARED BY THIS OFFICE, DECEMBER 31, 2013 AND REVISED PER CONSERVATION COMMISSION COMMENTS ON MARCH 13, 2014.
2. EXISTING SEPTIC SYSTEMS ON ADJUTING LOTS TAKEN FROM AS BUILT PLANS ON RECORD AT THE BOARD OF HEALTH

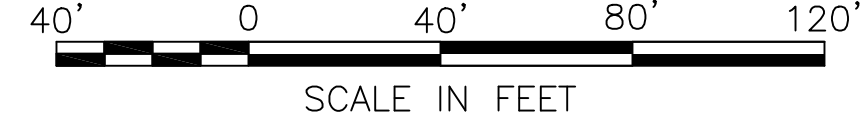
LEGEND table with 2 columns: Symbol and Description. Includes symbols for IRON PIPE OR ROD FOUND, GAS VALVE, FIRE HYDRANT, UTILITY POLE, LIGHT POLE, SEWER MANHOLE, CATCH BASIN, EXTERIOR SIGN, OBSERVATION WELL, FENCE, STONE WALL, CURB, OVERHEAD WIRES, UNDERGROUND ELECTRIC, TELEPHONE LINES, WATER SERVICE, GAS SERVICE, SANITARY SEWER SERVICE, STORM DRAIN, EXISTING CONTOURS, SPOT SHOT ELEVATIONS, TREE LINE, and WETLAND DELINEATION FLAG.

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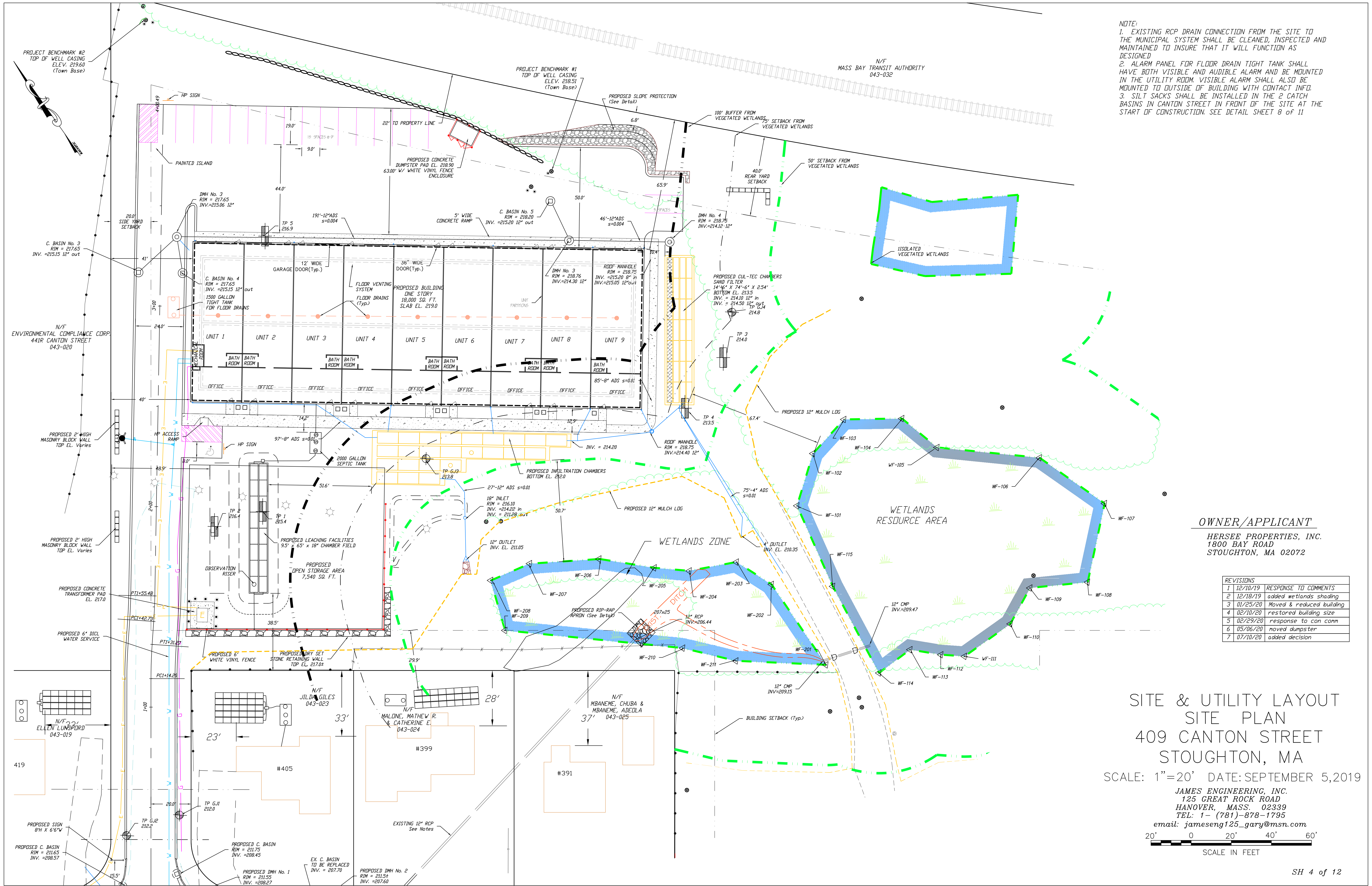
EXISTING CONDITIONS
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

SCALE: 1"=40' DATE; SEPTEMBER 05,,2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1-(781)-878-1795
email: jameseng125_gary@msn.com



REVISIONS table with 2 columns: Revision Number and Description. Includes revisions for RESPONSE TO COMMENTS, added wetlands shading, Moved & reduced building, restored building size, response to can comm, moved dumpster, and added decision.



- NOTE:
- 1. EXISTING RCP DRAIN CONNECTION FROM THE SITE TO THE MUNICIPAL SYSTEM SHALL BE CLEANED, INSPECTED AND MAINTAINED TO INSURE THAT IT WILL FUNCTION AS DESIGNED.
 - 2. ALARM PANEL FOR FLOOR DRAIN TIGHT TANK SHALL HAVE BOTH VISIBLE AND AUDIBLE ALARM AND BE MOUNTED IN THE UTILITY ROOM. VISIBLE ALARM SHALL ALSO BE MOUNTED TO OUTSIDE OF BUILDING WITH CONTACT INFO.
 - 3. SILT SACKS SHALL BE INSTALLED IN THE 2 CATCH BASINS IN CANTON STREET IN FRONT OF THE SITE AT THE START OF CONSTRUCTION. SEE DETAIL SHEET 8 OF 11

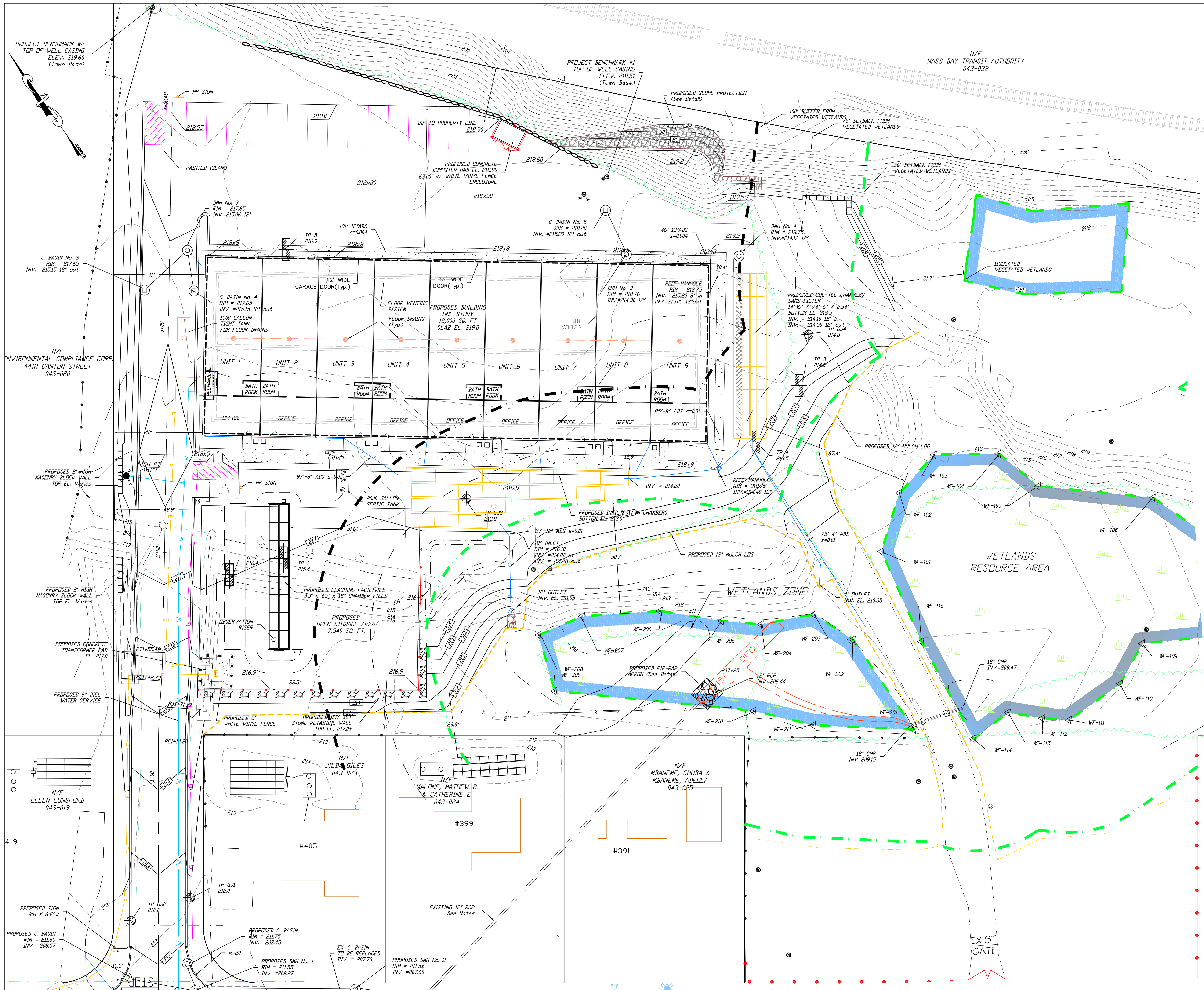
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1800 BAY ROAD
STOUGHTON, MA 02072

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5	02/29/20	response to con comm
6	05/06/20	moved dumpster
7	07/10/20	added decision

SITE & UTILITY LAYOUT
SITE PLAN
409 CANTON STREET
STOUGHTON, MA
SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

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20' 0 20' 40' 60'
SCALE IN FEET



WETLANDS RESOURCE AREA SUMMARY

BORDERING VEGETATED WETLANDS	
No. 1	12,576.8 S.F.
No. 2	5,876.3 S.F.
ISOLATED WETLANDS	2,635.9 S.F.
TOTAL	21,089.0 S.F.
50' BUFFER	53,885.4 S.F.
100' BUFFER	46,000.7 S.F.
PROPOSED ACTIVITY INSIDE	
50' BUFFER	4,896 S.F.
100' BUFFER	19,755 S.F.

OWNER/APPLICANT

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1800 BAY ROAD
STOUGHTON, MA 02072

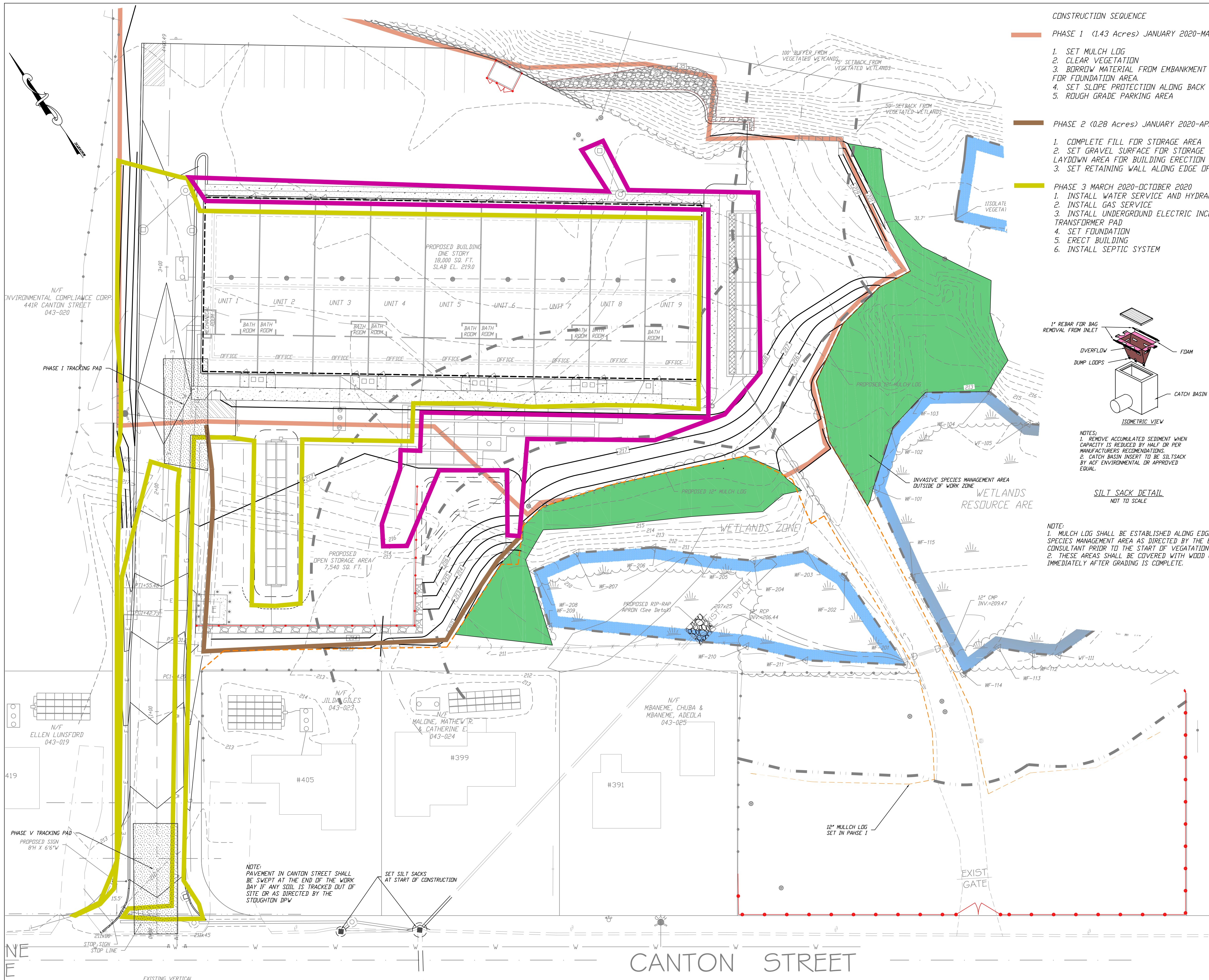
REVISIONS	RESPONSE TO COMMENTS
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7 07/10/20	

GRADING SHEET
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

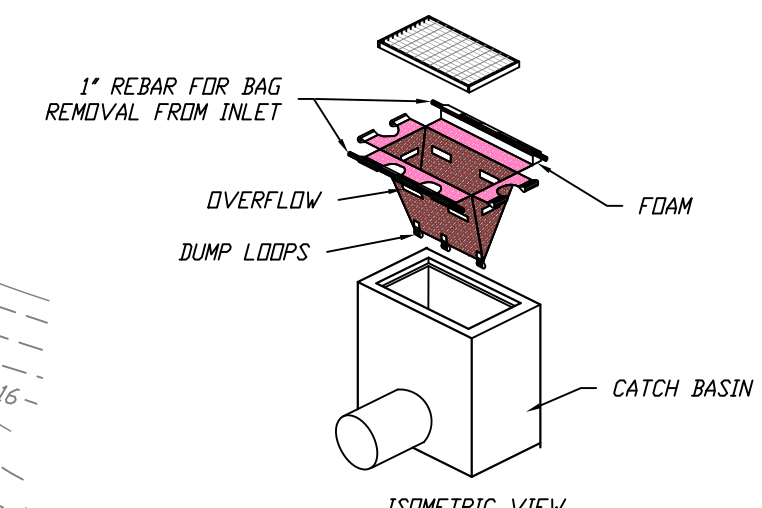
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CONSTRUCTION SEQUENCE

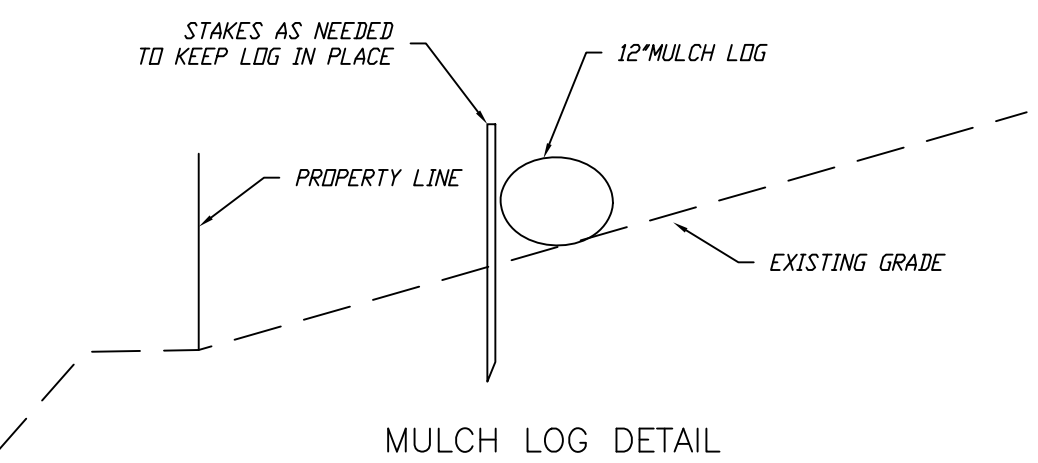
- PHASE 1 (1.43 Acres) JANUARY 2020-MARCH 2020**
1. SET MULCH LOG
 2. CLEAR VEGETATION
 3. BORROW MATERIAL FROM EMBANKMENT TO RAISE GRADE FOR FOUNDATION AREA.
 4. SET SLOPE PROTECTION ALONG BACK OF ACTIVITY AREA.
 5. ROUGH GRADE PARKING AREA
- PHASE 2 (0.28 Acres) JANUARY 2020-APRIL 2020**
1. COMPLETE FILL FOR STORAGE AREA
 2. SET GRAVEL SURFACE FOR STORAGE AREA AND USE AS LAYDOWN AREA FOR BUILDING ERECTION
 3. SET RETAINING WALL ALONG EDGE OF STORAGE AREA
- PHASE 3 MARCH 2020-OCTOBER 2020**
1. INSTALL WATER SERVICE AND HYDRANT
 2. INSTALL GAS SERVICE
 3. INSTALL UNDERGROUND ELECTRIC INCLUDING TRANSFORMER PAD
 4. SET FOUNDATION
 5. ERECT BUILDING
 6. INSTALL SEPTIC SYSTEM
- PHASE 4 MAY 2020-AUGUST 2020**
1. INSTALL DRAINAGE SYSTEM
 2. INSTALL CUL-TEC CHAMBER FIELD
 3. INSTALL INFILTRATION CHAMBERS
 4. INSTALL GUTTER COLLECTION SYSTEM
 5. INSTALL CONCRETE SIDEWALK AND DRIVEWAY APPROACH AT REAR OF BUILDING
 6. INSTALL DRAINAGE SYSTEM AT DRIVEWAY ENTRANCE, INCLUDING SILT SACKS
 7. COMPLETE RAIN GARDEN
- PHASE 5 JULY 2020-OCTOBER 2020**
1. GRADE DRIVEWAY COMPLETE
 2. PLACE PAVEMENT BASE COURSE
 3. INSTALL FENCING ALONG SOUTHERLY PROPERTY LINE AND LOAM & SEED DRIVEWAY SHOULDER
 4. COMPLETE LANDSCAPING
 5. SET DUMPSTER PAD & FENCE
 6. FINISH PAVE
 7. SET SIGNS AND PAINT TRAFFIC & PARKING LINES
 8. AS BUILT PLANS



NOTES:
1. REMOVE ACCUMULATED SEDIMENT WHEN CAPACITY IS REDUCED BY HALF OR PER MANUFACTURERS RECOMMENDATIONS.
2. CATCH BASIN INSERT TO BE SILTSACK BY ACP ENVIRONMENTAL OR APPROVED EQUAL.

SILT SACK DETAIL
NOT TO SCALE

NOTE:
1. MULCH LOG SHALL BE ESTABLISHED ALONG EDGE OF INVASIVE SPECIES MANAGEMENT AREA AS DIRECTED BY THE ENVIRONMENTAL CONSULTANT PRIOR TO THE START OF VEGETATION REMOVAL.
2. THESE AREAS SHALL BE COVERED WITH WOOD CHIPS IMMEDIATELY AFTER GRADING IS COMPLETE.



OWNER/APPLICANT

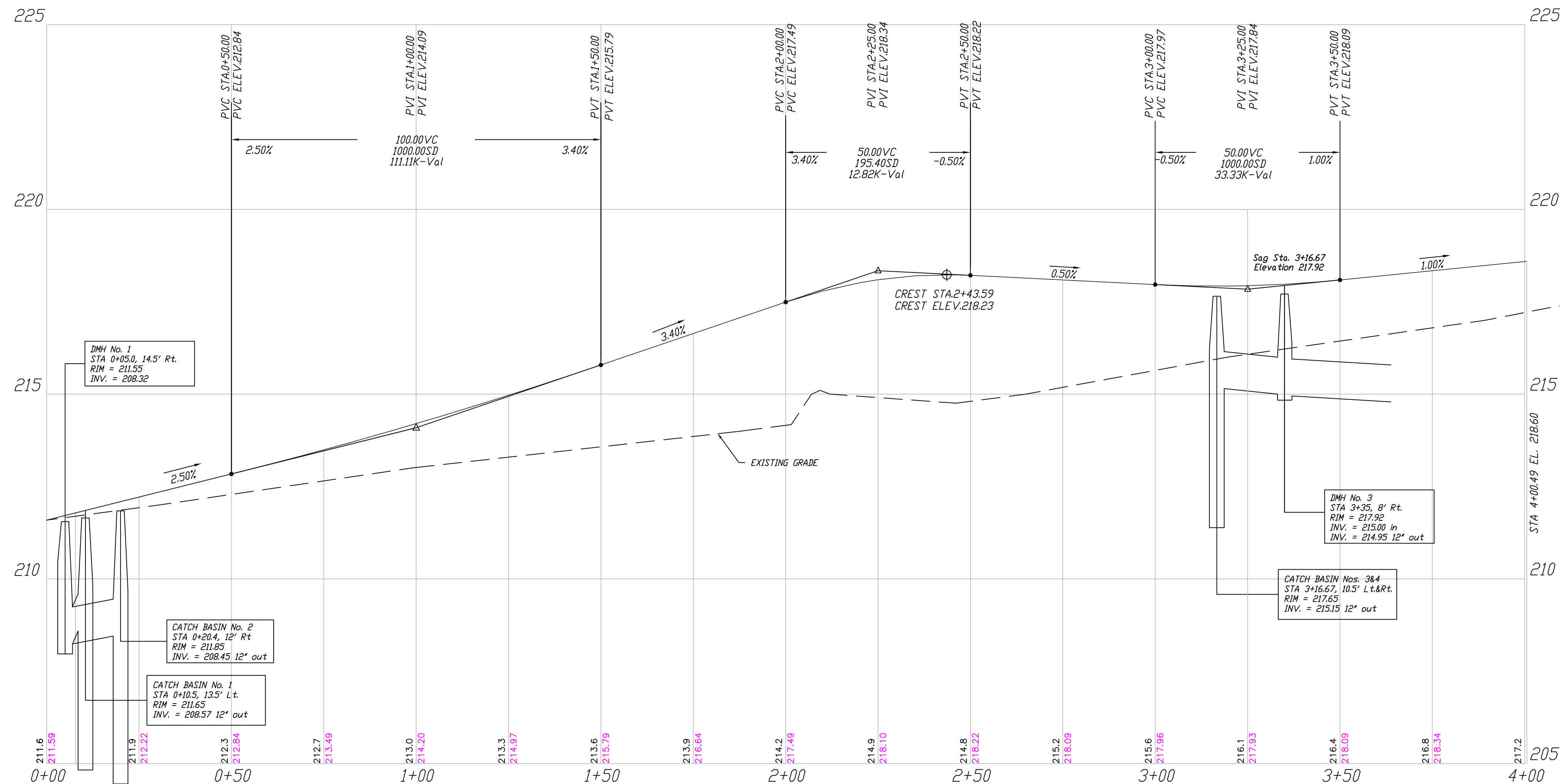
HERSEE PROPERTIES, INC.
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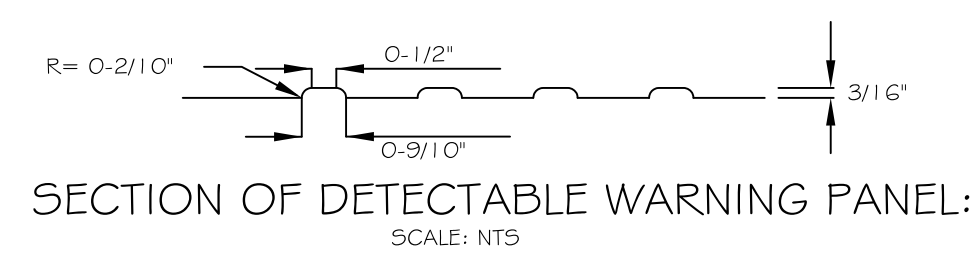
EROSION CONTROL PLAN
SITE PLAN
409 CANTON STREET
STOUGHTON, MA
SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

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125 GREAT ROCK ROAD
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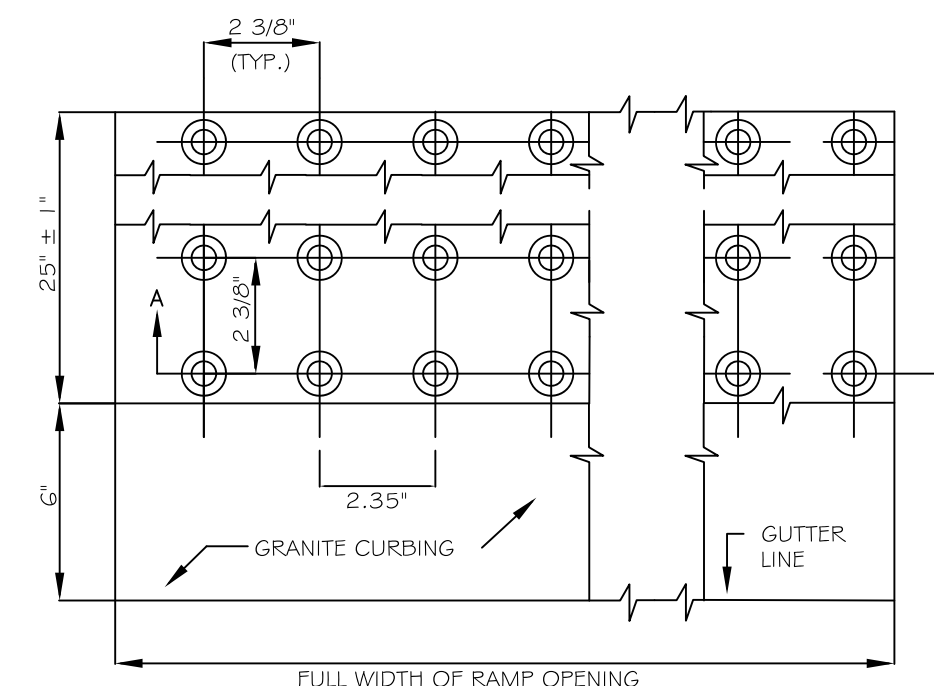




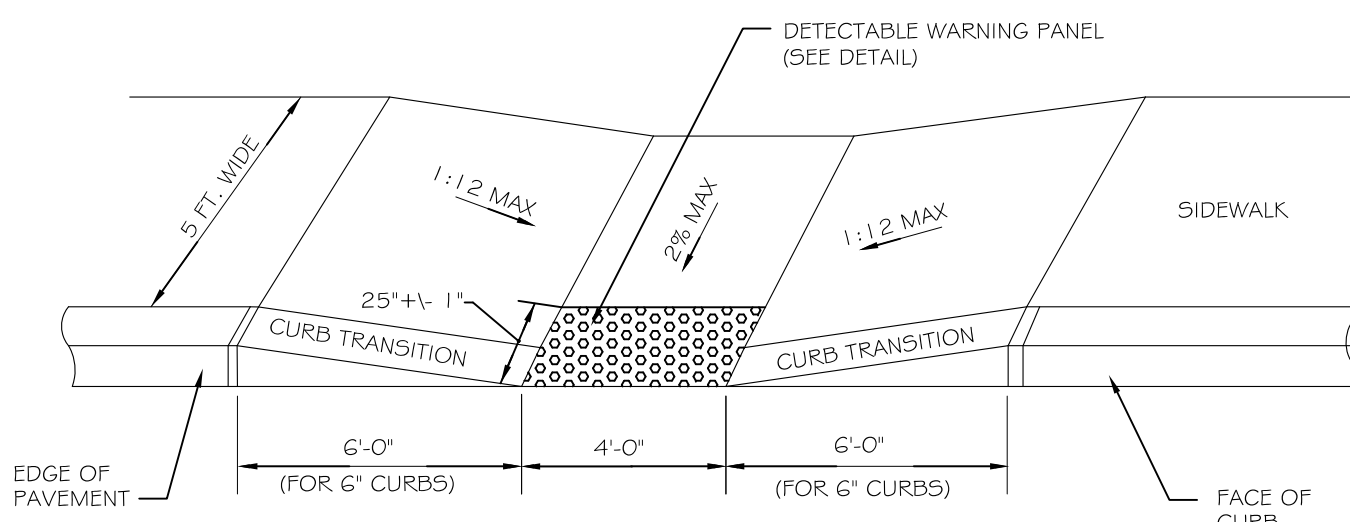
DRIVEWAY PROFILE
SCALE 1"=20' hor.



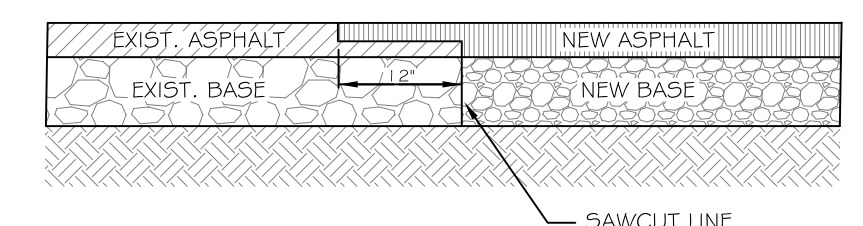
NOTE:
1. THERE MUST BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTING BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
2. PANEL COLOR: BRICK/RED



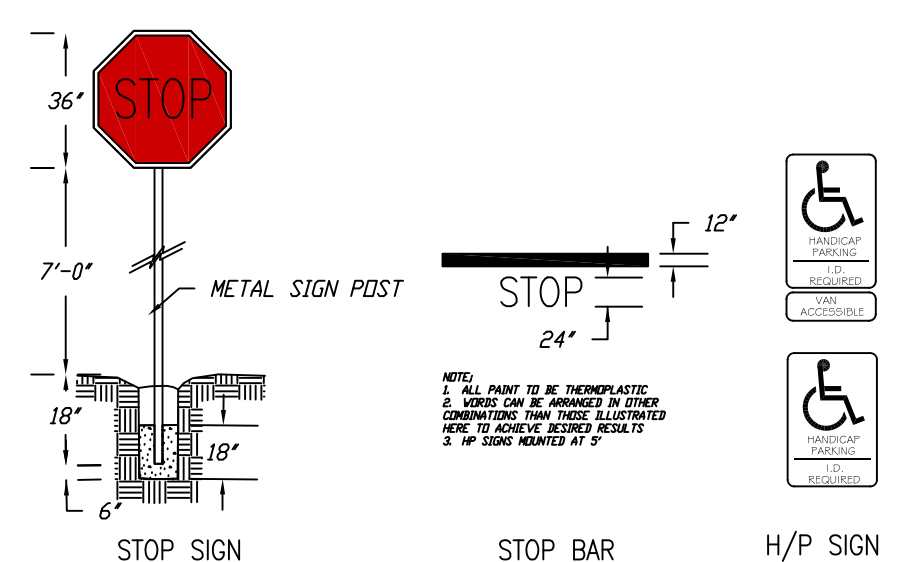
PLAN OF DETECTABLE WARNING PANEL:
SCALE: NTS



ACCESSIBLE CURB CUT
NOT TO SCALE

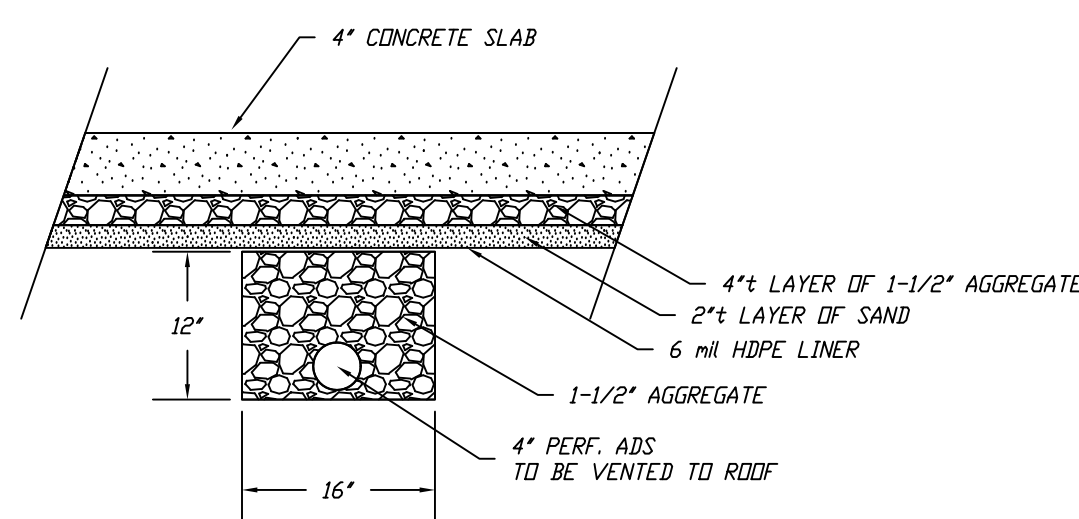


Sawcut Detail
NOT TO SCALE

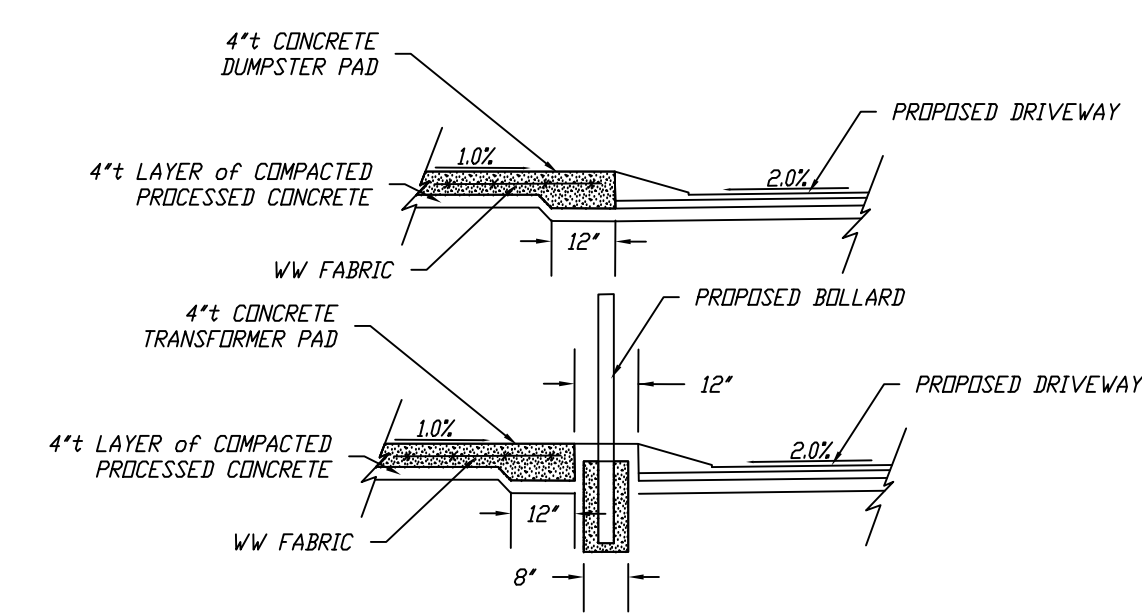


OWNER/APPLICANT

HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072



FOUNDATION VENT SYSTEM DETAIL



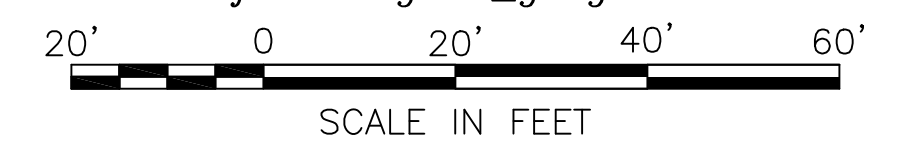
CONCRETE PAD DETAIL
NOT TO SCALE

REVISIONS		
1	12/10/19	RESPONSE TO COMMENTS
2	12/18/19	added wetlands shading
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4	02/10/20	restored building size
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6	05/06/20	moved dumpster
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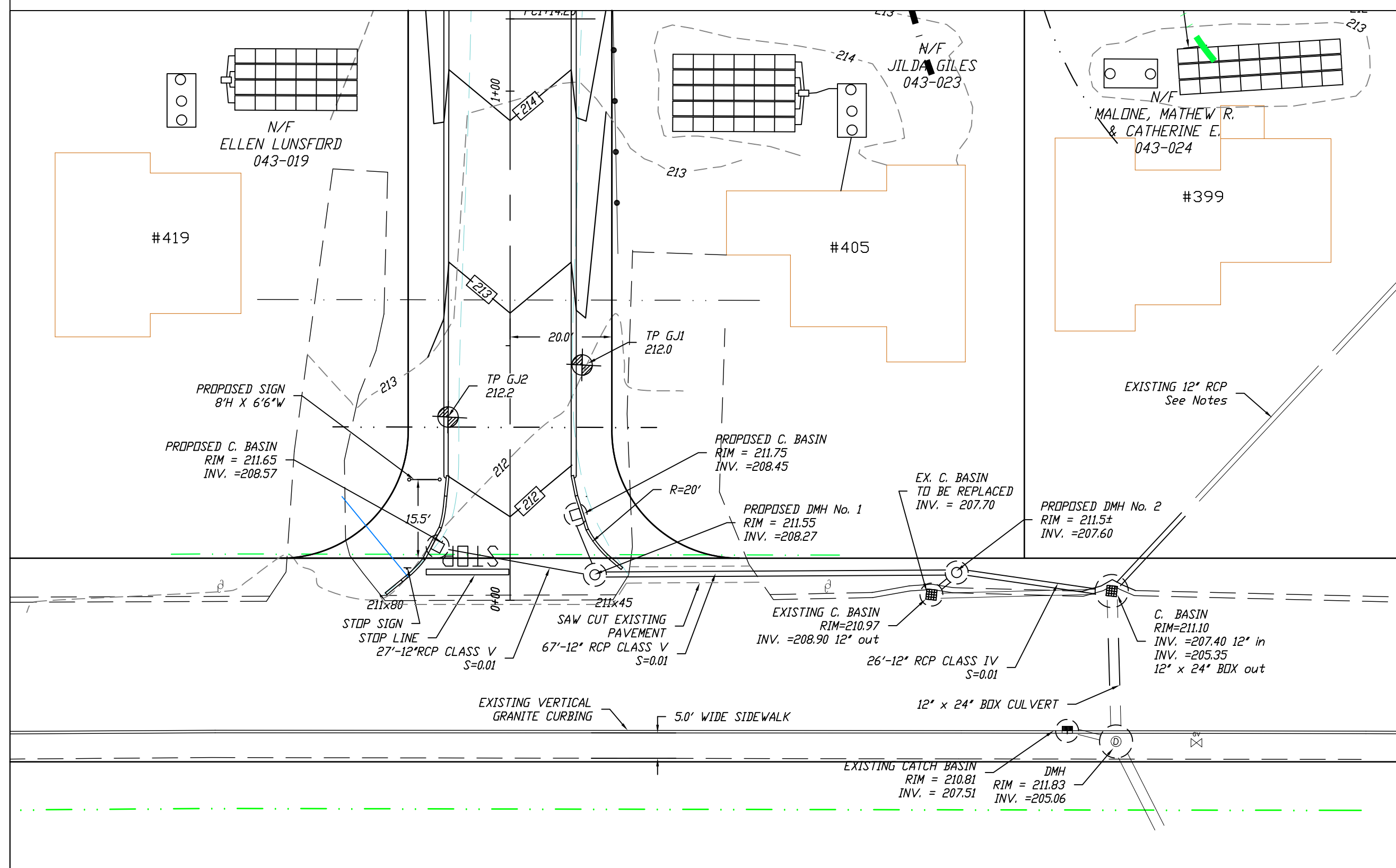
DETAIL SHEET SITE PLAN 409 CANTON STREET STOUGHTON, MA

SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1- (781)-878-1795
email: jameseng125_gary@msn.com

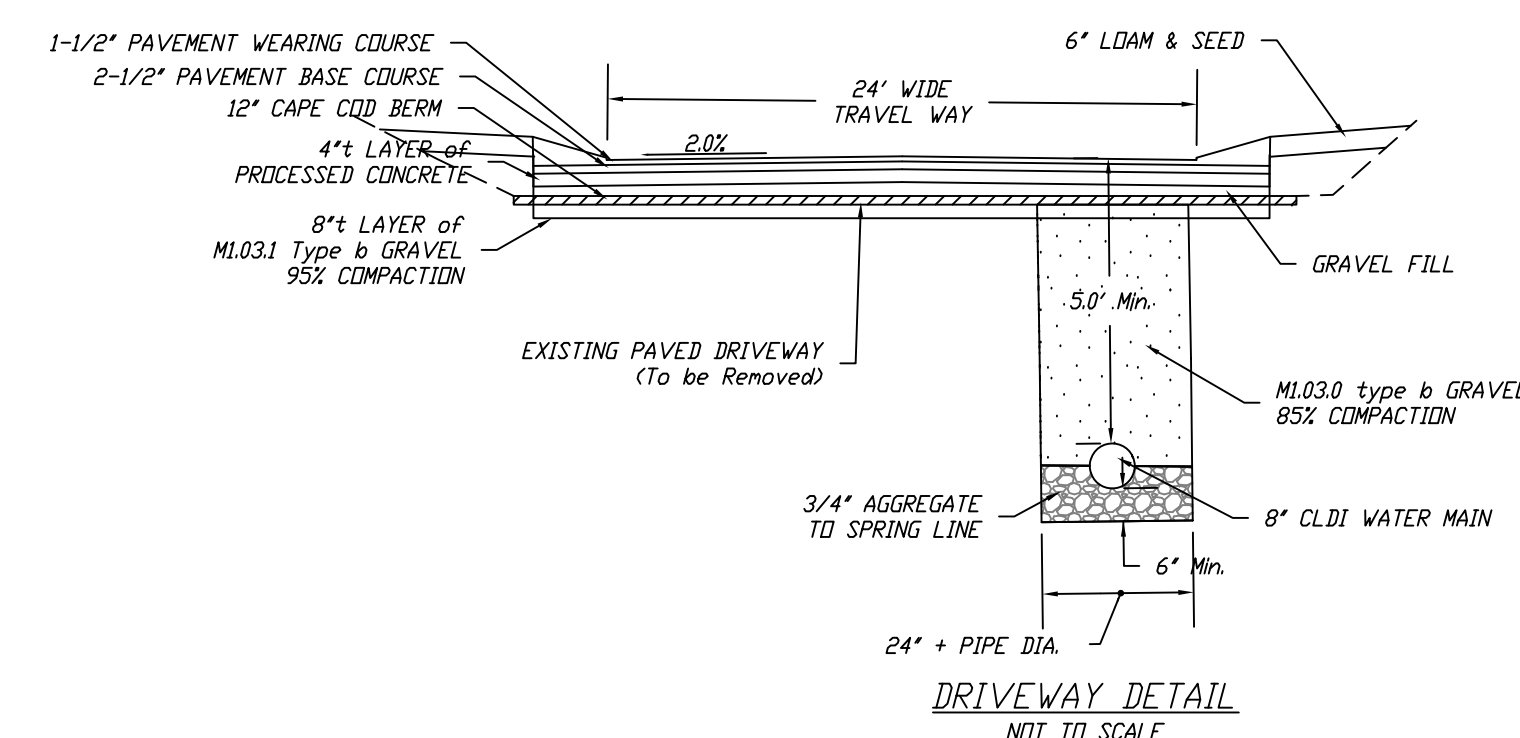


SCALE IN FEET

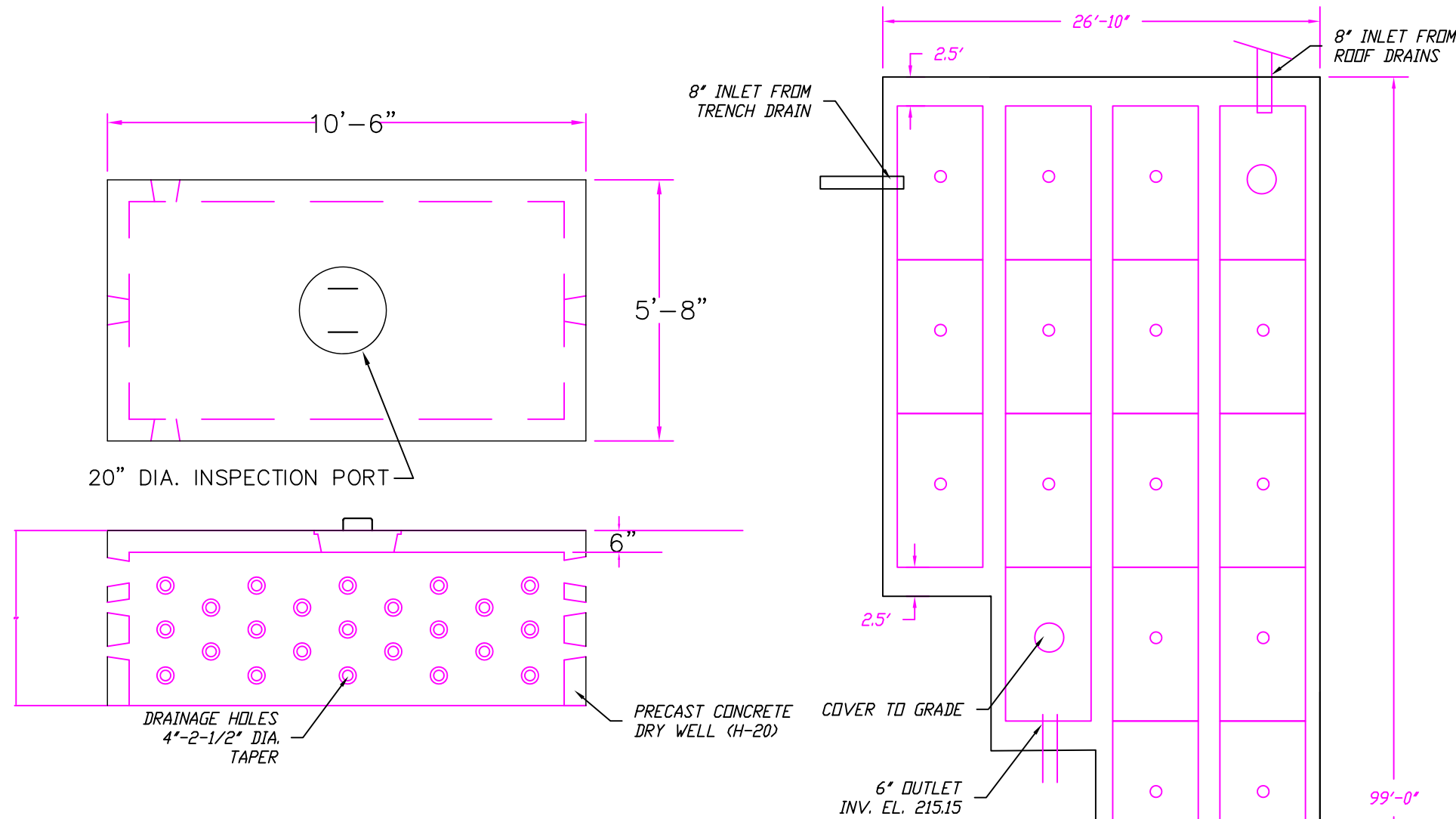


DRIVEWAY ENTRANCE DETAIL
SCALE: 1"=20'

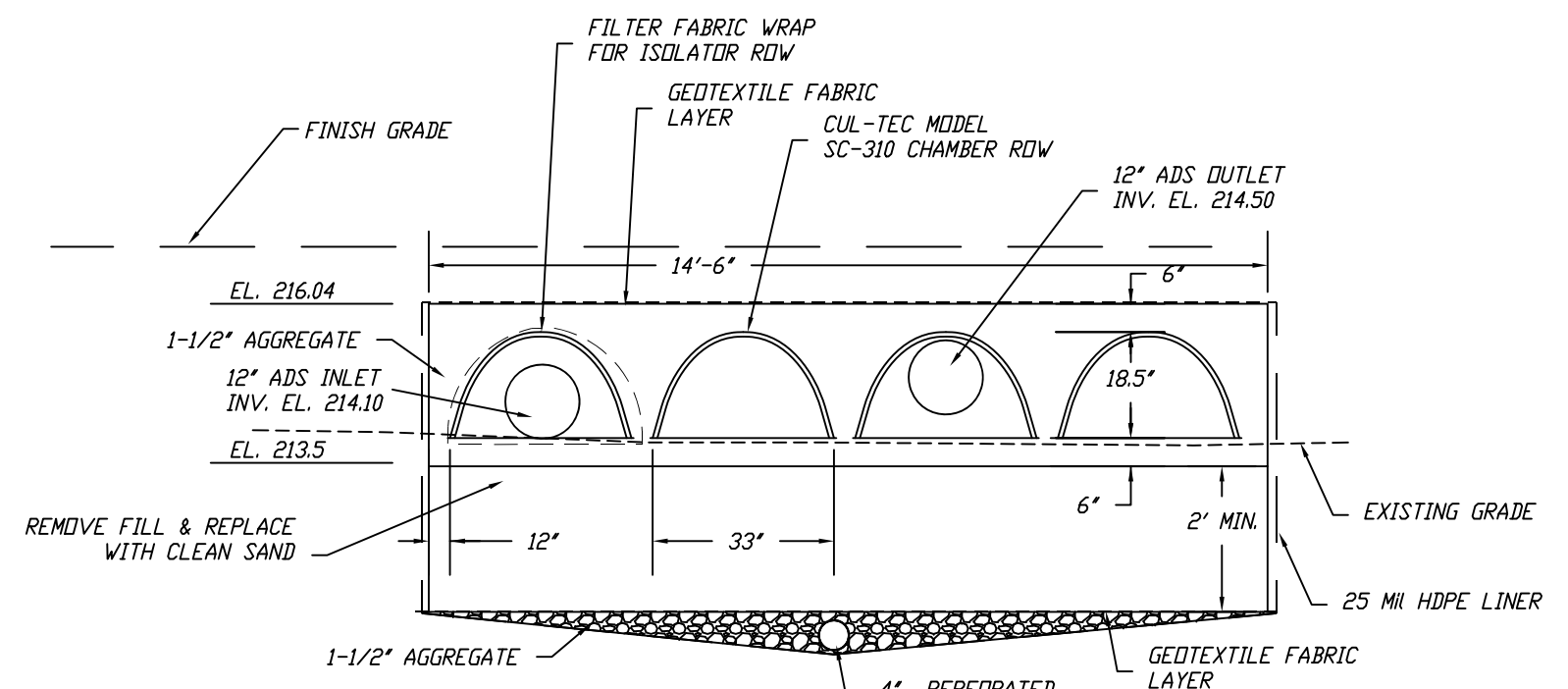
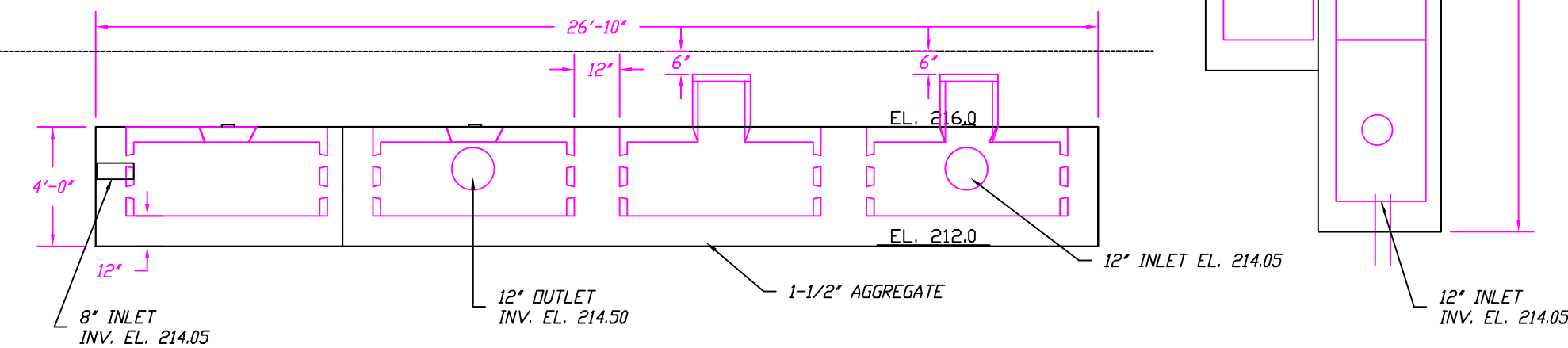
NOTE:
SILT SACKS SHALL BE INSTALLED IN THE 3 CATCH BASINS IN CANTON STREET AT THE START OF CONSTRUCTION. SEE DETAIL SHEET 8 OF 11



DRIVEWAY DETAIL
NOT TO SCALE

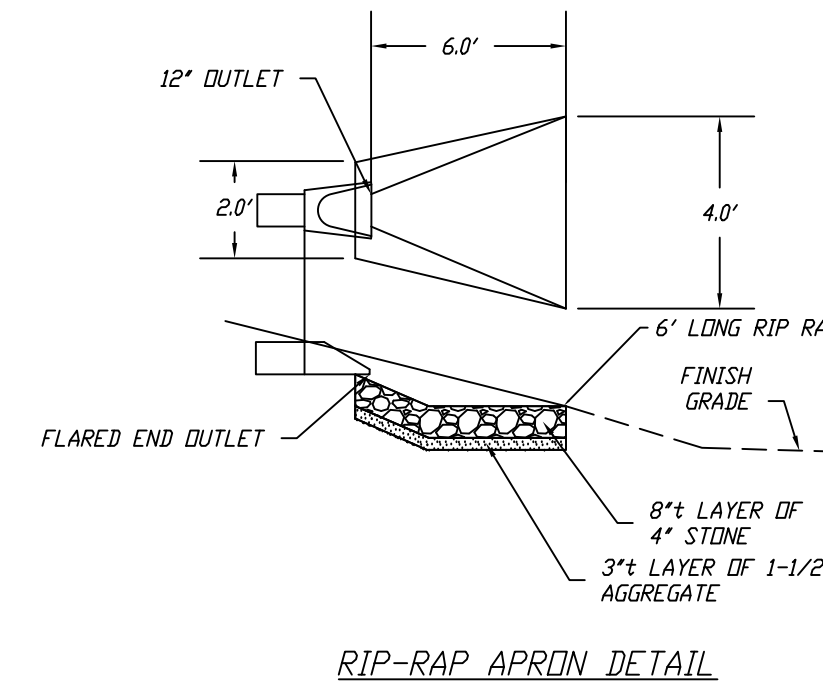
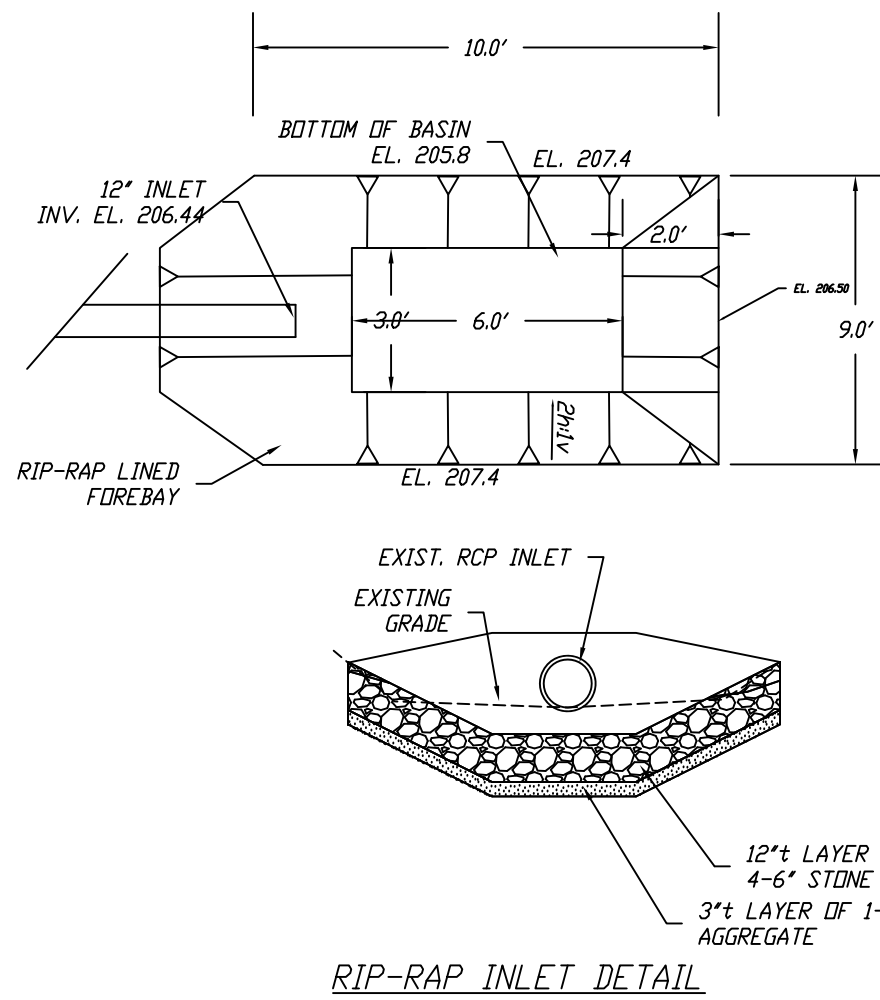


1000 GAL. DRYWELL (H-20)



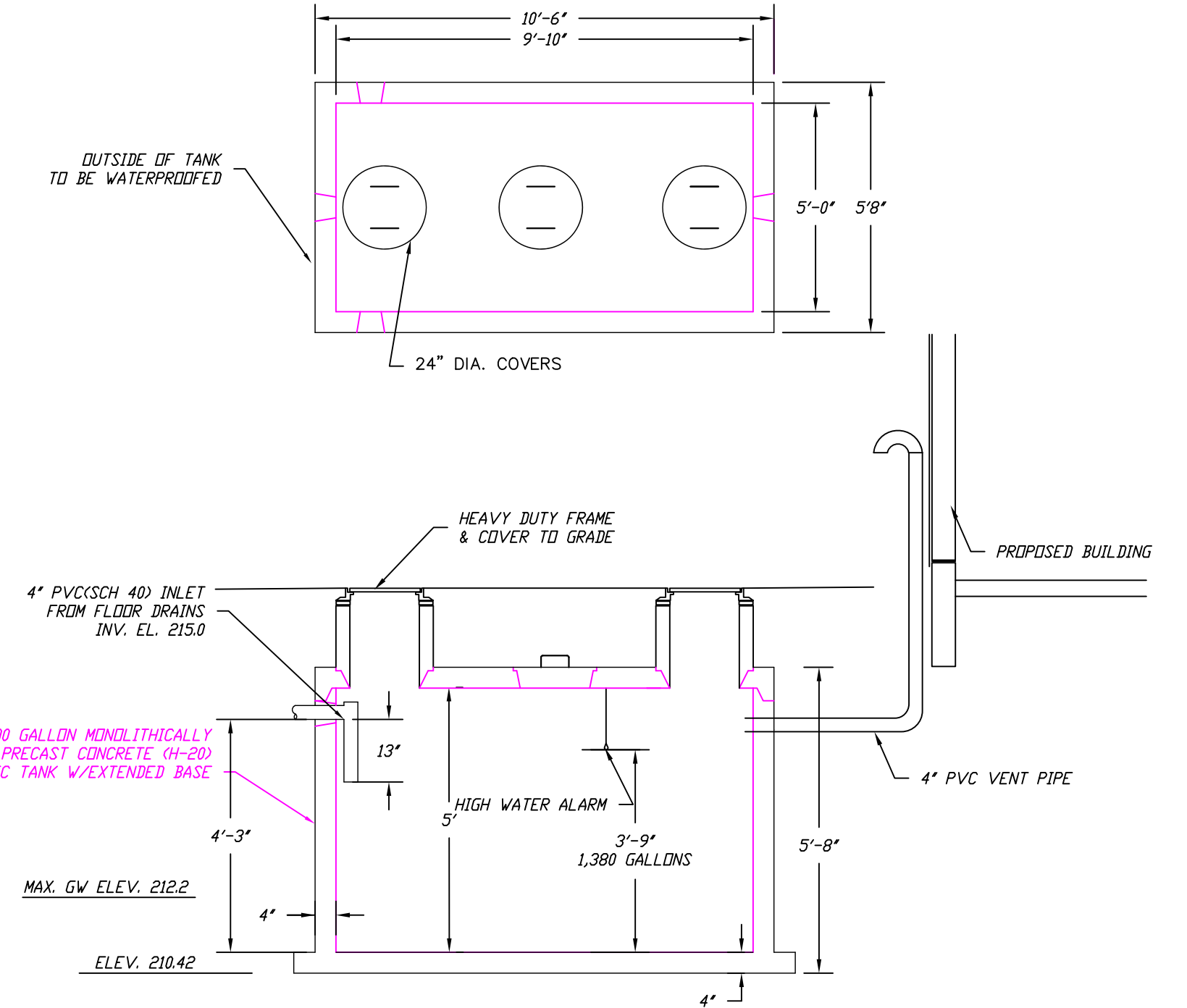
Assume Void Ratio in Sand = 15%
Equivalent height = $0.15 \times 24 = 3.6'$
Infiltration Rate = 2" per hour
Time to travel = $3.6 / 2 = 1.8$ hours
108 minutes

STORAGE PROVIDED
CHAMBERS 768 CU. FT.
STONE 291 CU. FT.
TOTAL 1559# CU. FT.
IMPERVIOUS AREA
ROOF 9000
PADS 120
CONCRETE 1125
PAVED 12882
TOTAL 27,547 SQ. FT.
WATER QUALITY VOLUME 1147.8 CU. FT. (0.5')



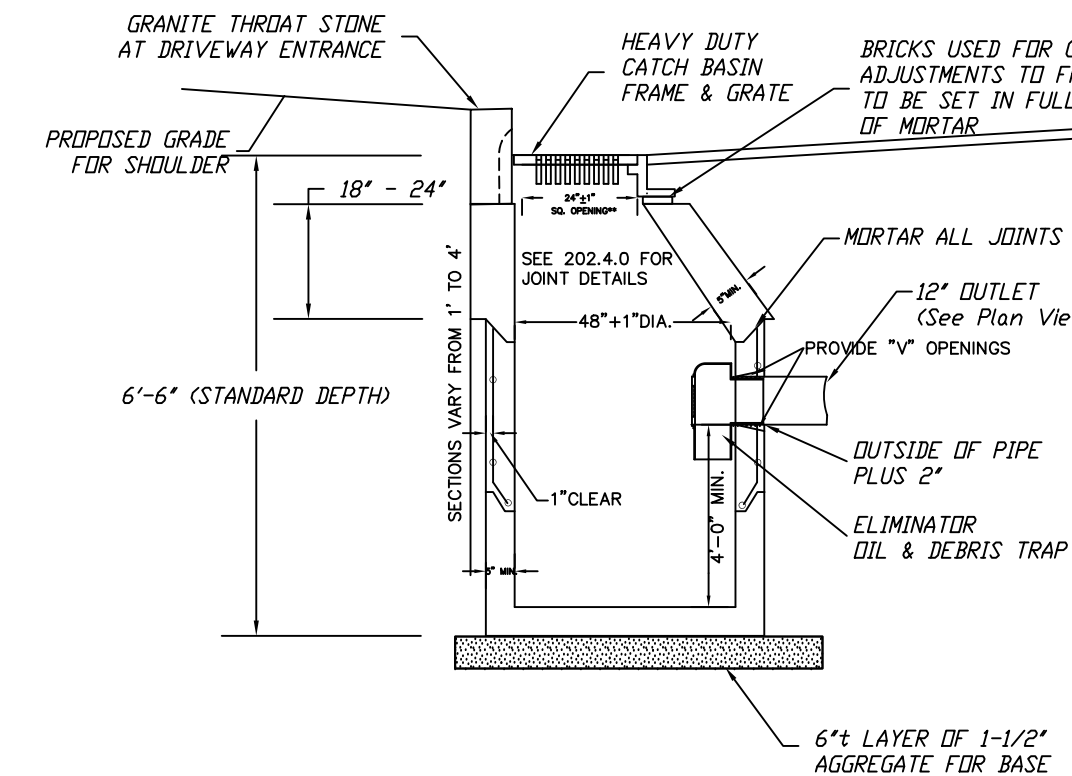
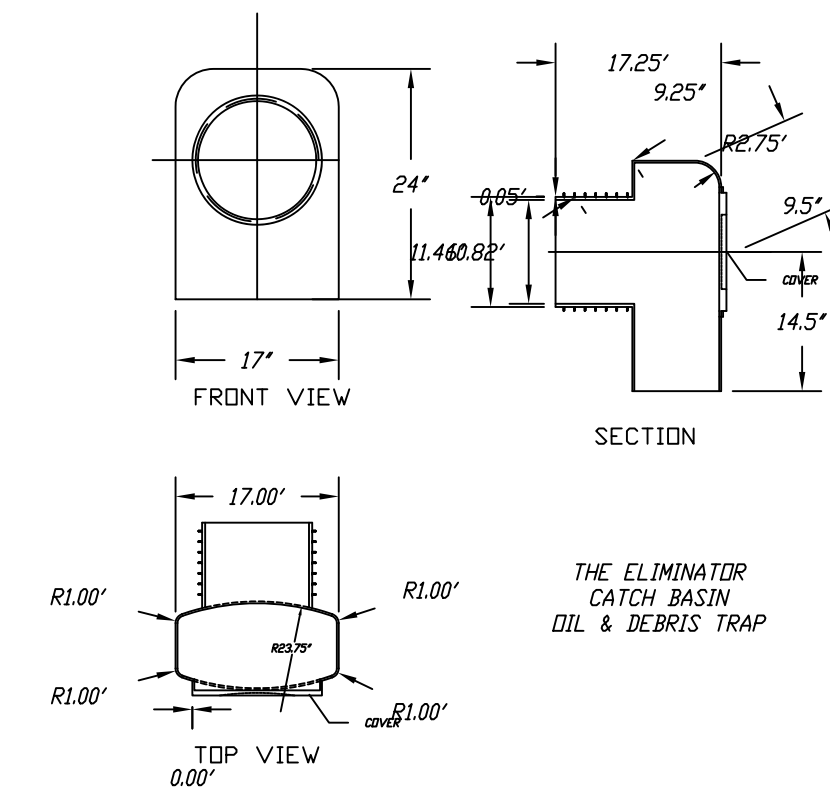
BUOYANCY CALCULATIONS

DETERMINE Weight of Tank
Walls
= $20.33 \times 5 \times 5.66 + 9.83150 \text{ lbs/c.f.}$
= 511.7 c.f. $\times 150 \text{ lbs/c.f.}$
= 7,667.6 lbs.
Top & Bottom Slab
= $(5.66 \times 10.5 \times 3.3) \times 2 \times (150 \text{ lbs/c.f.})$
= 39,223.8 c.f. $\times 150 \text{ lbs/c.f.}$
= 5,883.7 lbs.
TOTAL WEIGHT = 13,551.7 lbs.
BUOYANCY FORCE
Submergence depth 2.0'
Force = $5.66 \times 10.5 \times 3.3 \times 62.4 \text{ lbs/c.f.}$
= 7,416.86 lbs.
FACTOR OF SAFETY
= $13,551.7 / 7,416.86 = 1.83 \text{ ok}$



1500 GAL. TIGHT TANK

NOTES:
1. CONTROL PANEL FOR ALARM SHALL BE MOUNTED ON FACE OF BUILDING OPPOSITE TANK WITH VISIBLE ALARM MOUNTED ON TOP OF PANEL.
2. VENT SHALL BE ALONG FACE OF BUILDING AND BE A MINIMUM OF 5' OFF OF THE GROUND



NOTES

- DETAILS NOT INDICATED ABOVE ARE TO BE SIMILAR TO THOSE SHOWN ON M.D.P.W. STD. 201.20, 201.3.0
- FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
- FOR DESCRIPTION, MATERIAL AND CONSTRUCTION METHOD, SEE SPECIFICATIONS.

OWNER/APPLICANT

HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

TEST PIT # GJ-1

PERFORMED BY: GARY D. JAMES, P.E.
WITNESSED BY: L. PERRY, BOH AGENT
PERC RATE:
DATE 09/11/19

DEPTH FROM SURFACE (INCHES)	SOIL HORIZONS	SOIL TEXTURES (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER (SPHERULES, CONSISTENCY & GRAVEL)
0-2"		fill			
2-39"	C1	MED SAND	10 YR 5/4	36"-MANY, PROM 7.5 YR 5/8	LOOSE, GRAIN 35-40% gravel 10-15% gravel

WEeping FROM PIT FACE: N/A
ESTIMATED DEPTH TO MAX. 36"(EL. 209.0)
STANDING N/A

TEST PIT # GJ-2

PERFORMED BY: GARY D. JAMES, P.E.
WITNESSED BY: L. PERRY, BOH AGENT
PERC RATE:
DATE 09/11/19

DEPTH FROM SURFACE (INCHES)	SOIL HORIZONS	SOIL TEXTURES (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER (SPHERULES, CONSISTENCY & GRAVEL)
0-5"	A	S. LOAM	10 YR 3/2		
5-28"	B/C	MED SAND	10 YR 4/4		LOOSE, GRAIN 35-40% gravel
28-35"	C1	S. LOAM-LOAM	2.5 Y 5/4	MANY, PROM 7.5 YR 5/8 10 YR 7/1	LOOSE, GRAIN 0-5% gravel

WEeping FROM PIT FACE: N/A
ESTIMATED DEPTH TO MAX. 28"(EL. 209.9)
STANDING N/A

TEST PIT # GJ-3

PERFORMED BY: GARY D. JAMES, P.E.
WITNESSED BY: L. PERRY, BOH AGENT
PERC RATE:
DATE 09/11/19

DEPTH FROM SURFACE (INCHES)	SOIL HORIZONS	SOIL TEXTURES (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER (SPHERULES, CONSISTENCY & GRAVEL)
0-16"		fill			
16-84"	C1	M-C SAND	2.5 Y 5/4		LOOSE, GRAIN 30-40% stone 25-30% gravel

WEeping FROM PIT FACE: N/A
ESTIMATED DEPTH TO MAX. 75" (EL. 207.5)
STANDING 75"

TEST PIT # GJ-4

PERFORMED BY: GARY D. JAMES, P.E.
WITNESSED BY: L. PERRY, BOH AGENT
PERC RATE:
DATE 09/11/19

DEPTH FROM SURFACE (INCHES)	SOIL HORIZONS	SOIL TEXTURES (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER (SPHERULES, CONSISTENCY & GRAVEL)
0-16"	A	S. LOAM	10 YR 3/2		
16-36"	C1	M-C SAND	2.5 Y 5/4		LOOSE, GRAIN 30-40% stone 25-30% gravel
36-48"	C2 g	FINE SAND	10 YR 7/1		LOOSE, GRAIN 0-5% gravel
48-84"	C3	M-C SAND	7.5 YR 5/8		

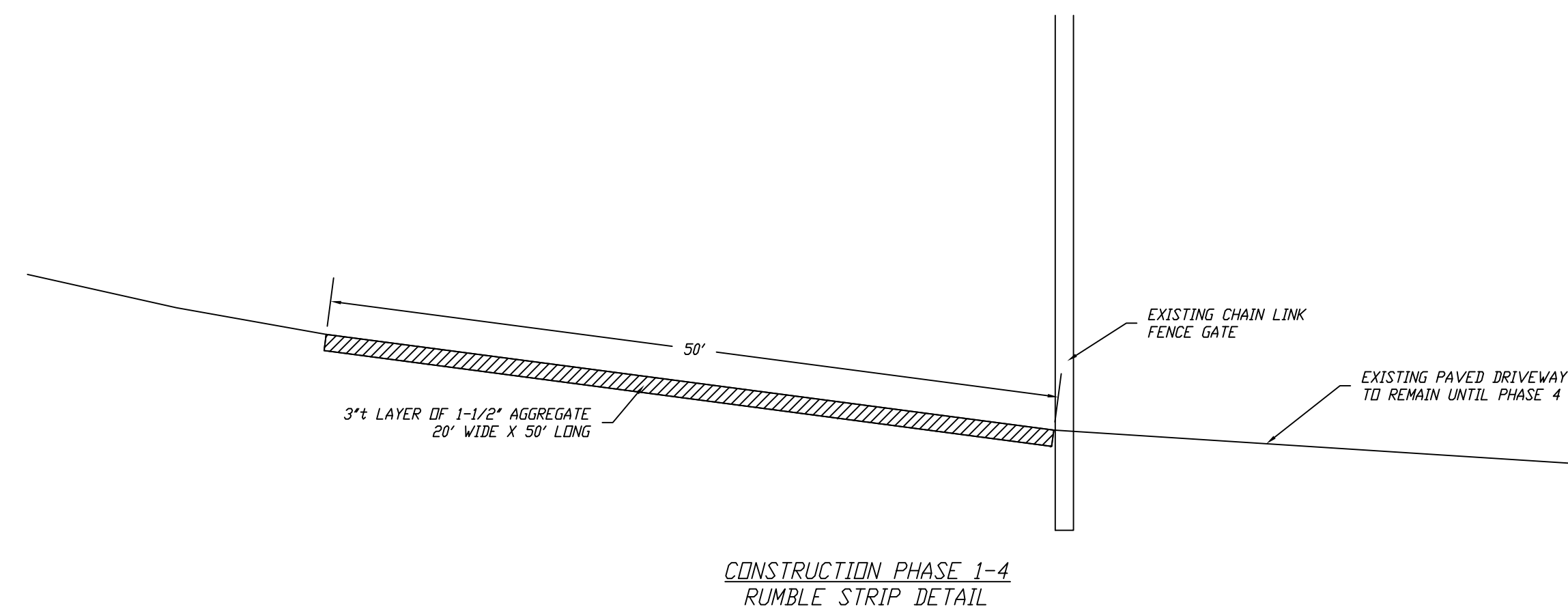
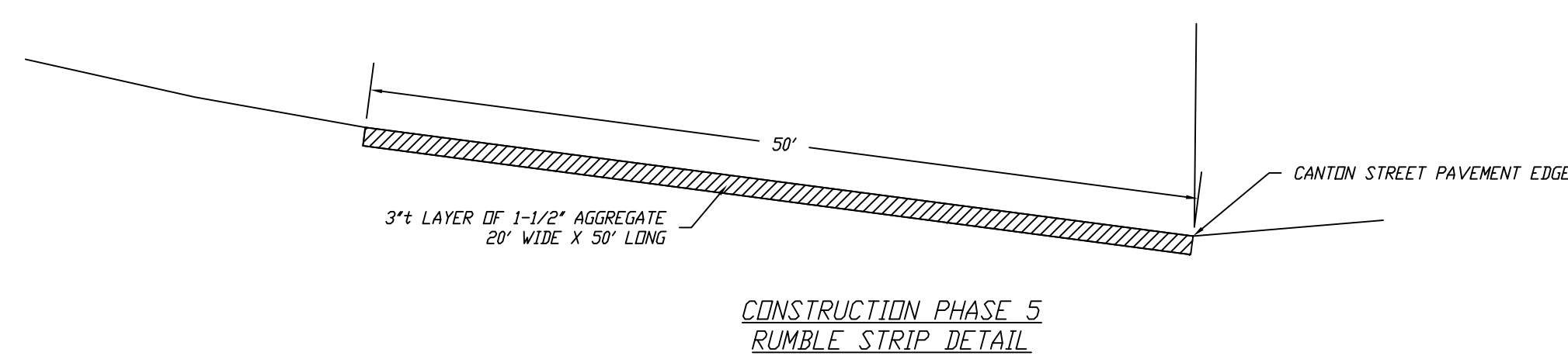
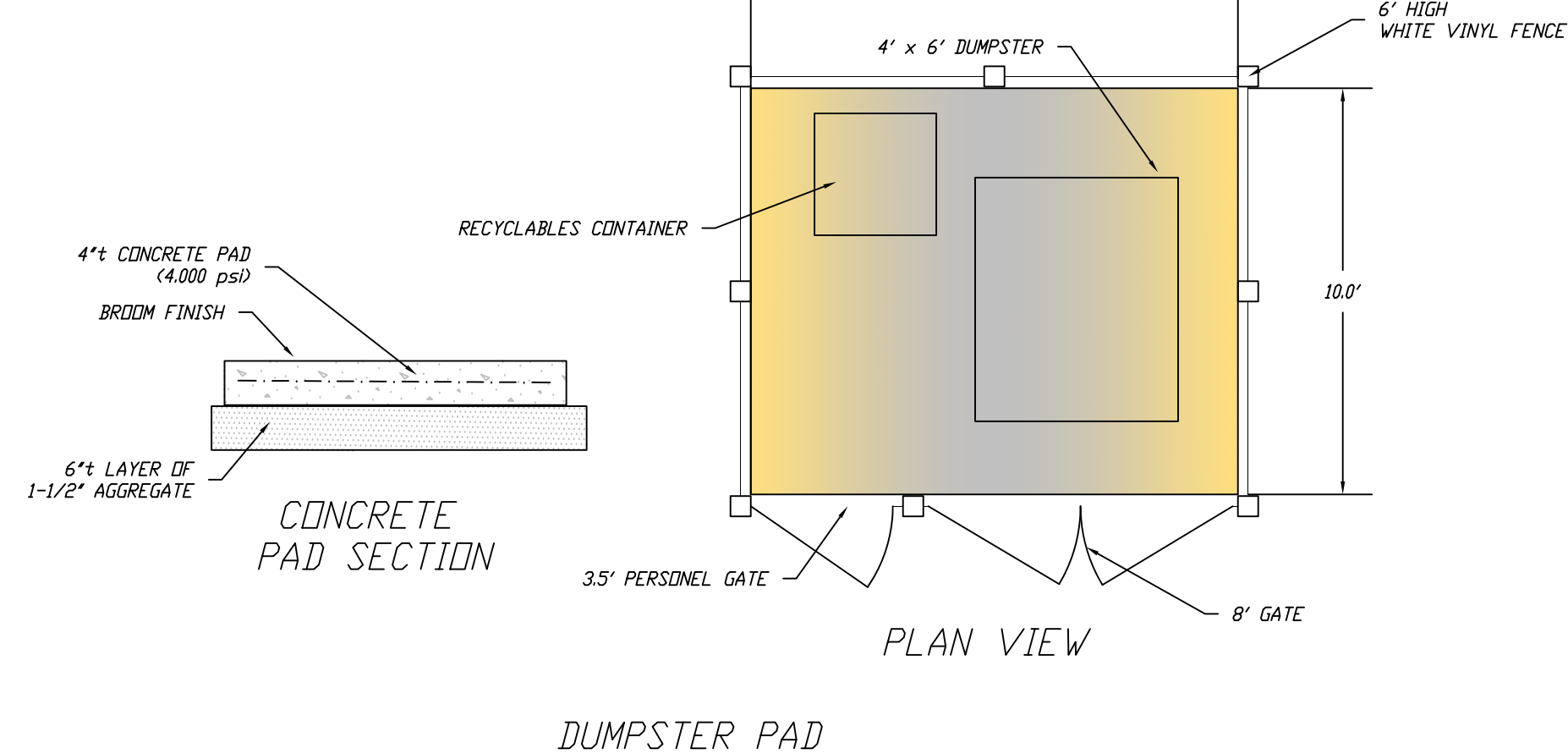
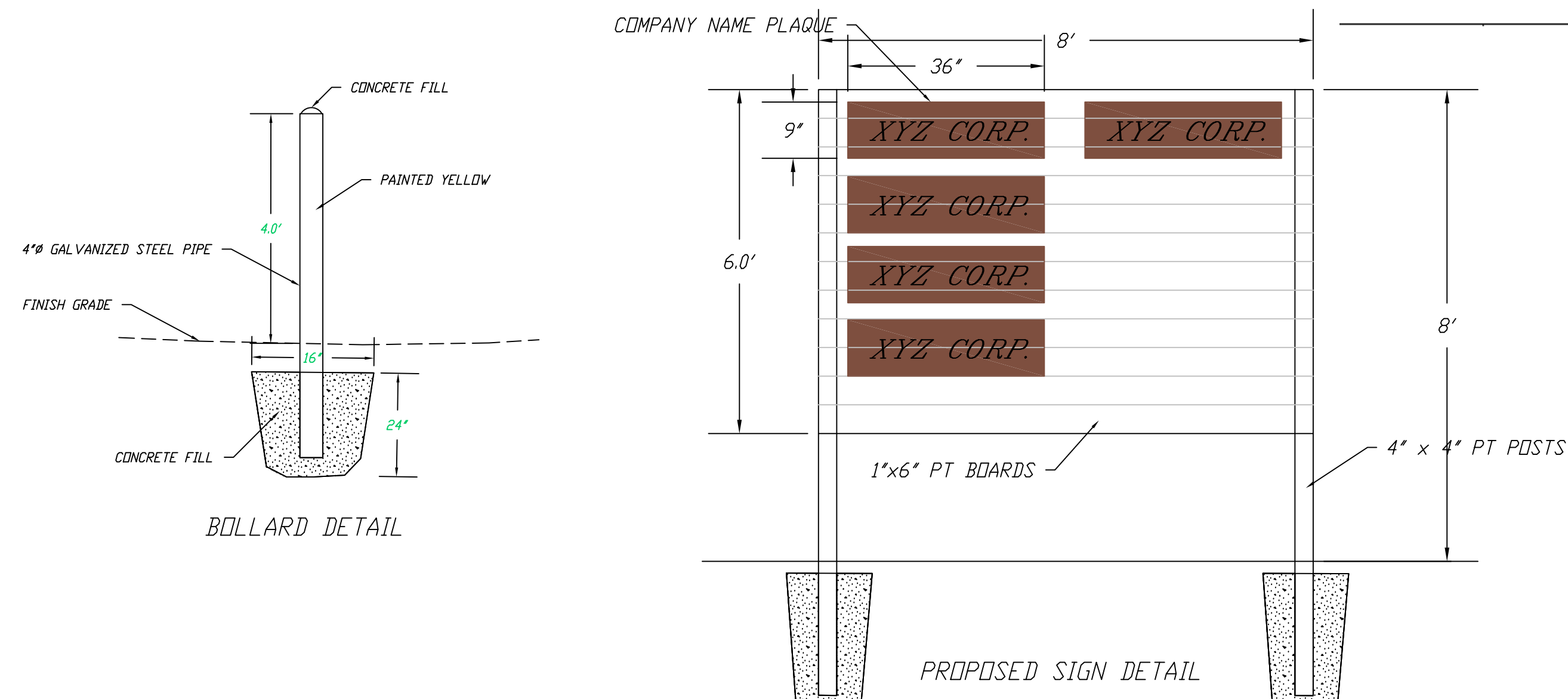
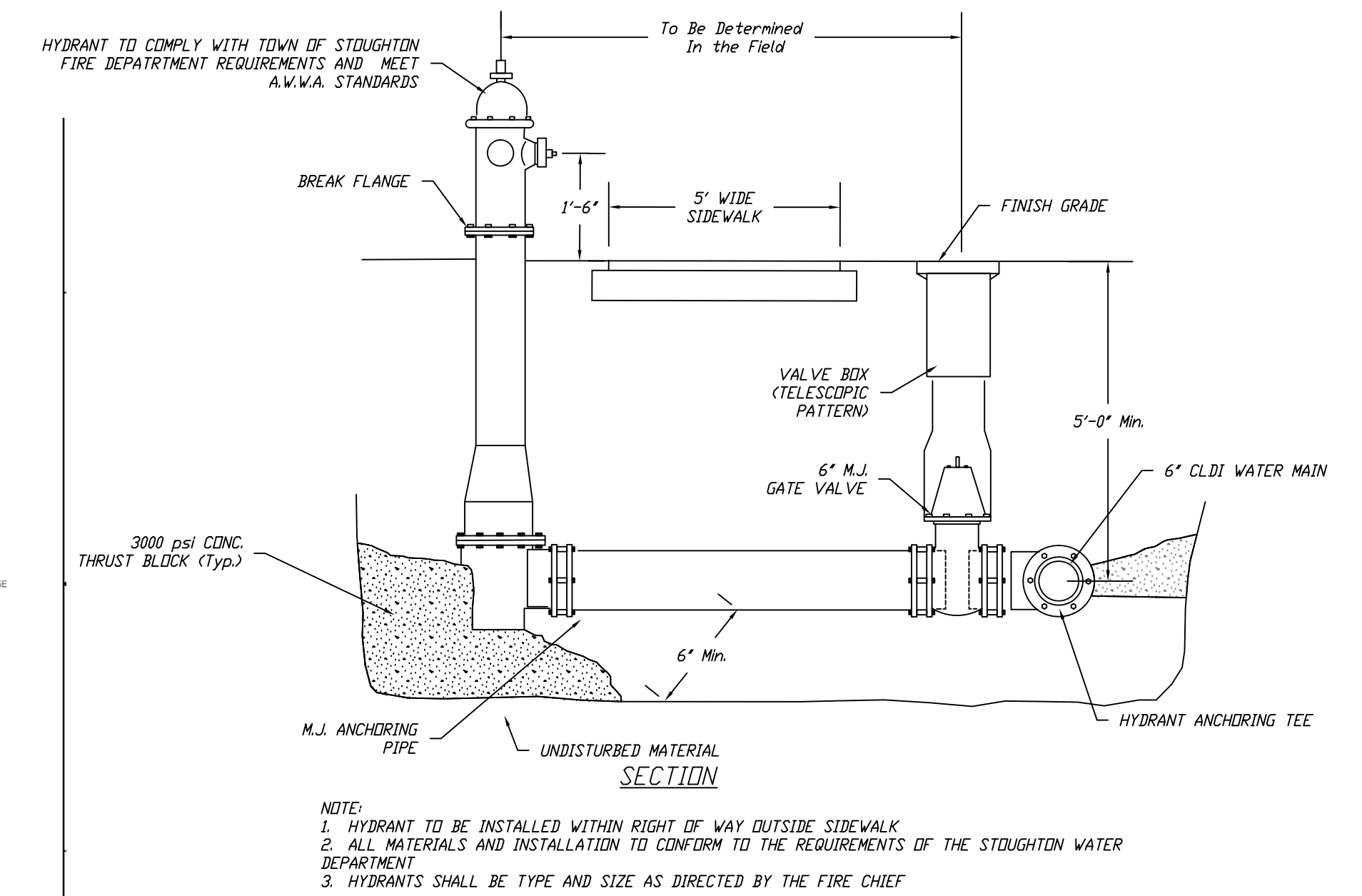
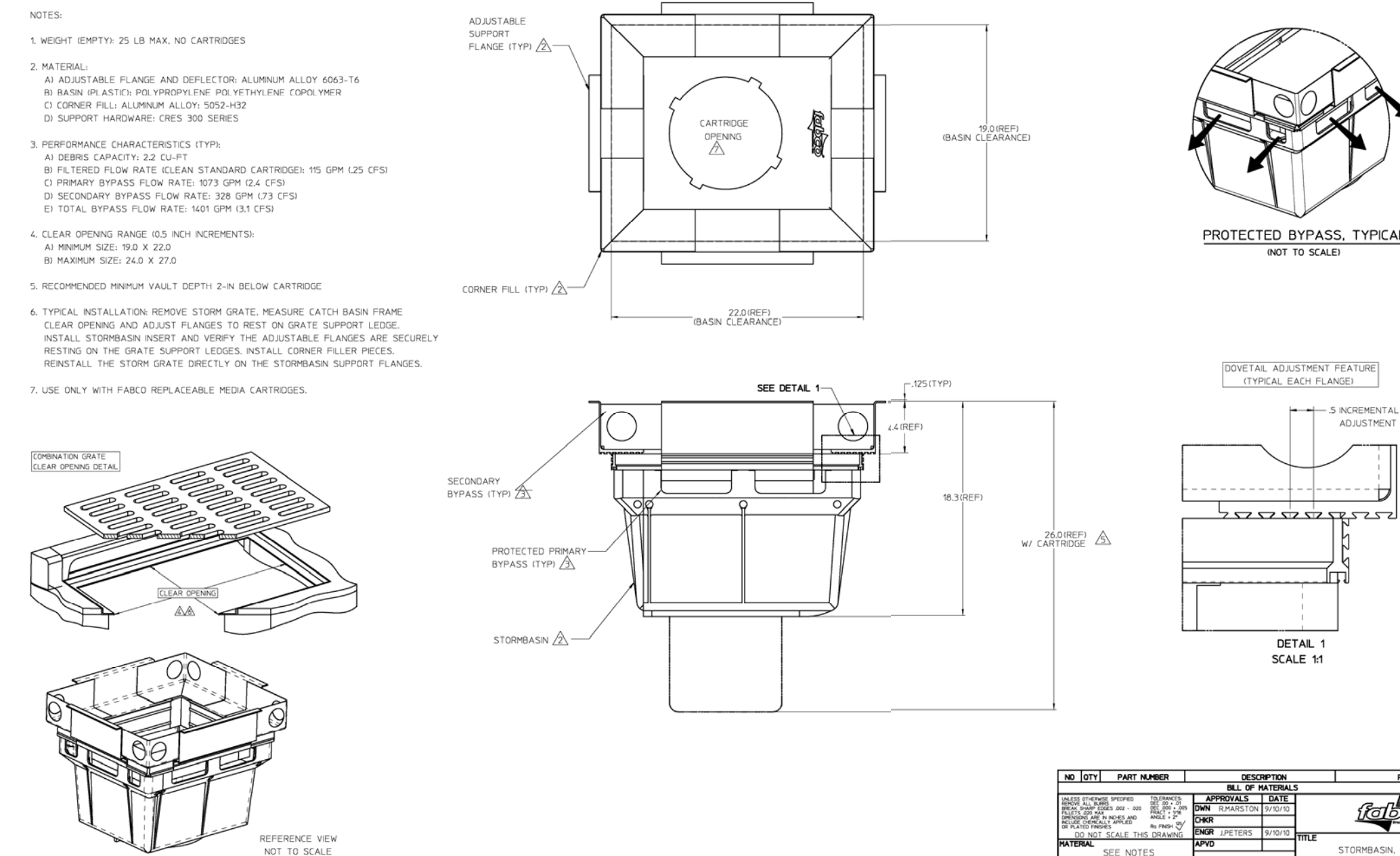
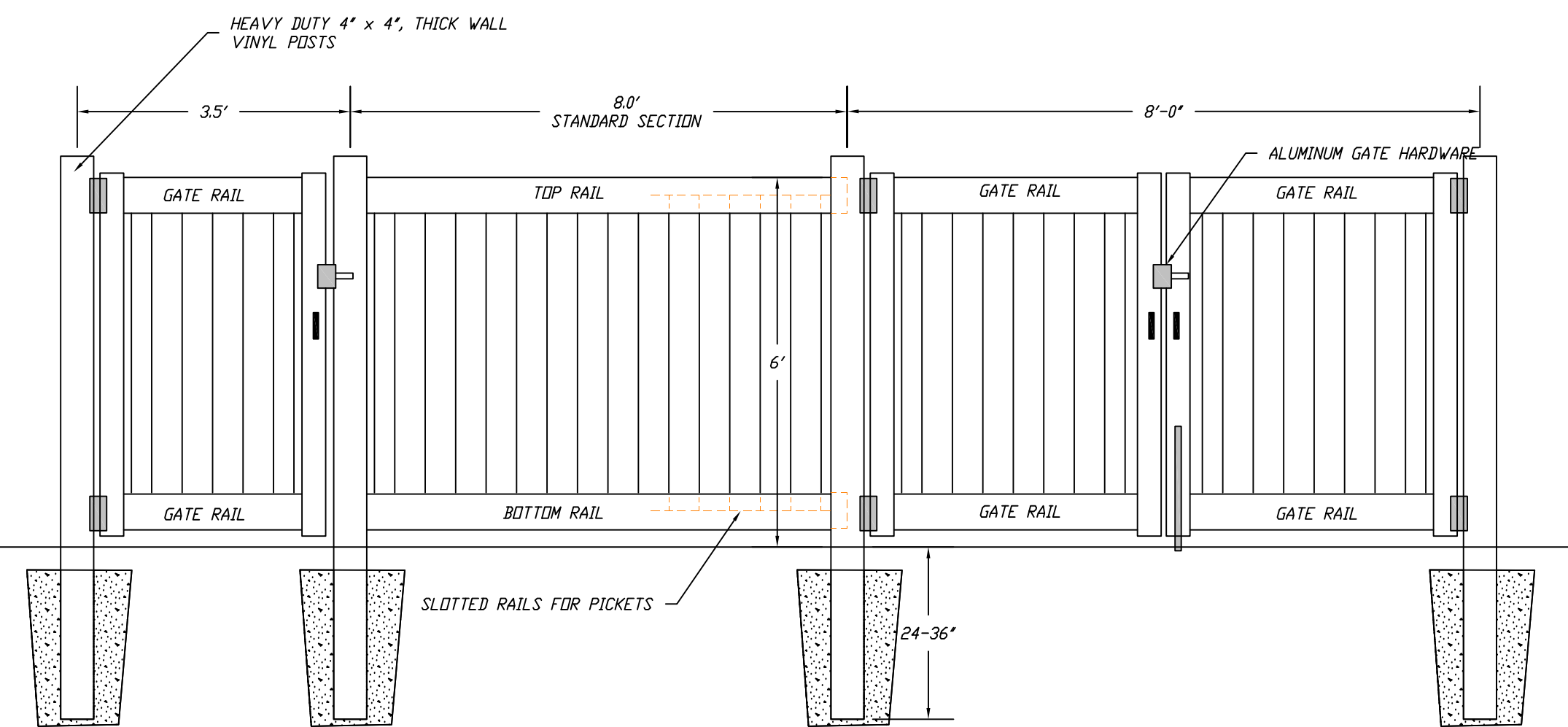
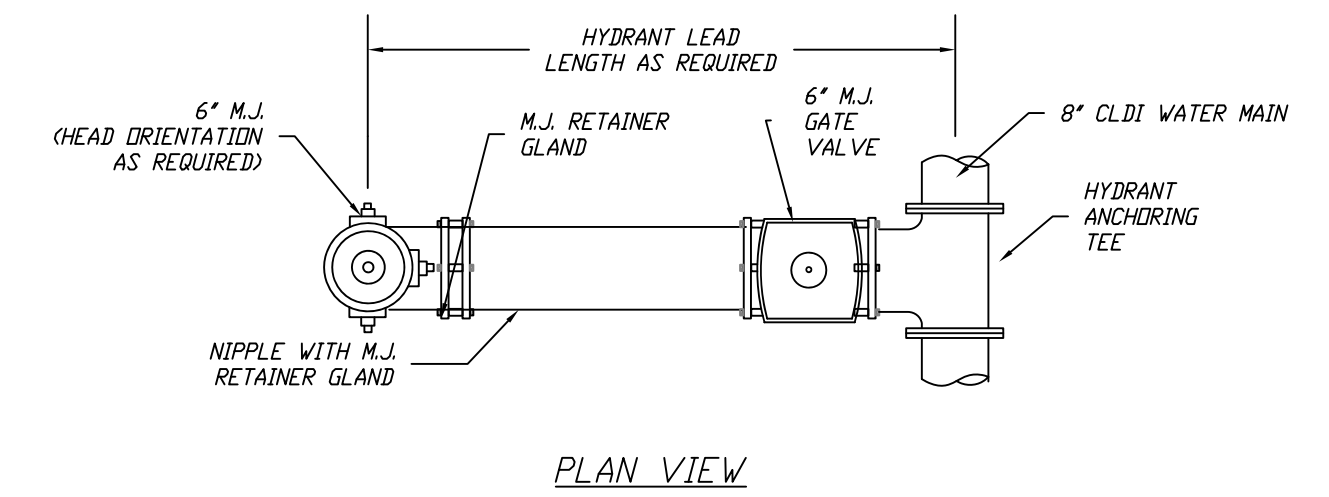
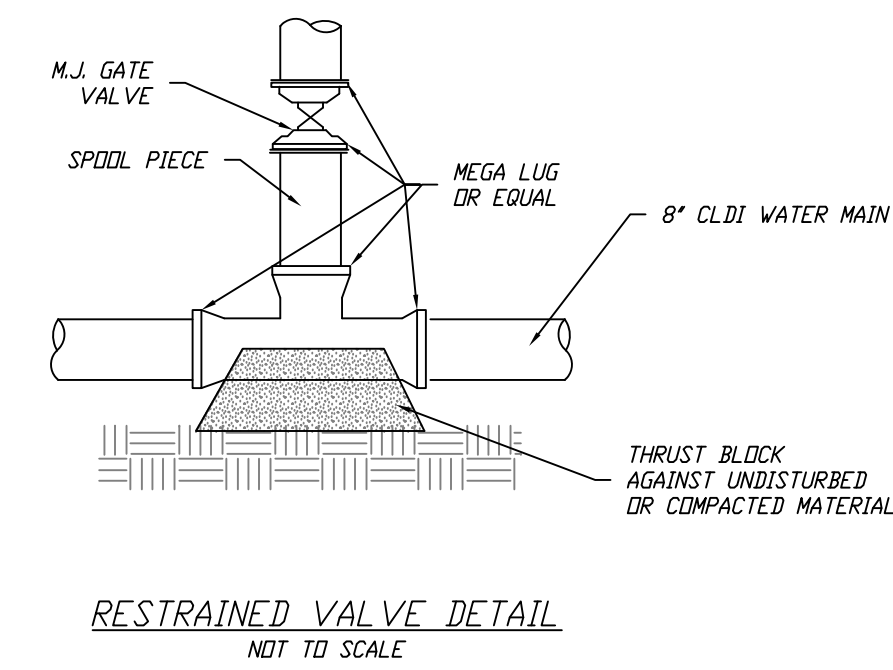
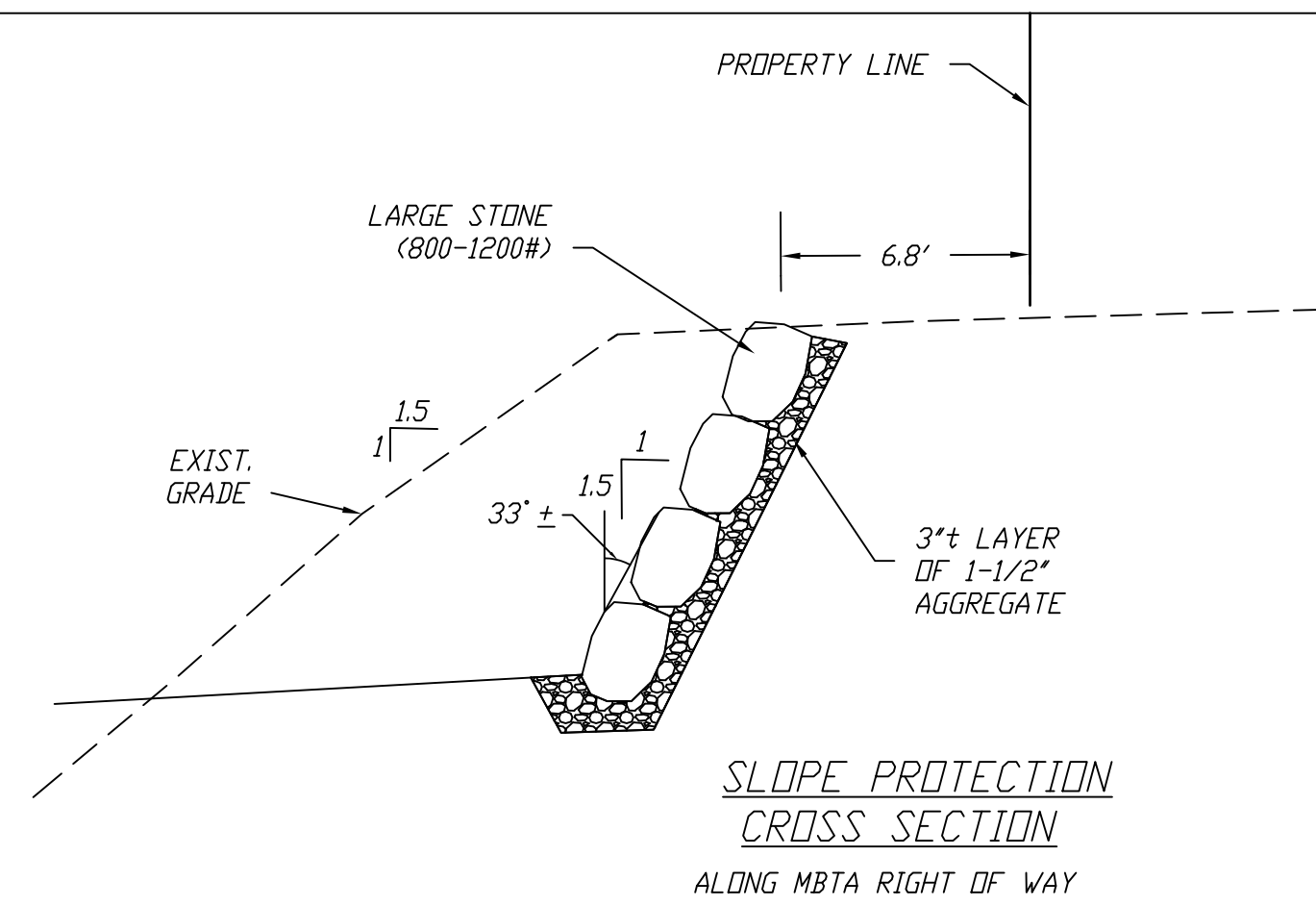
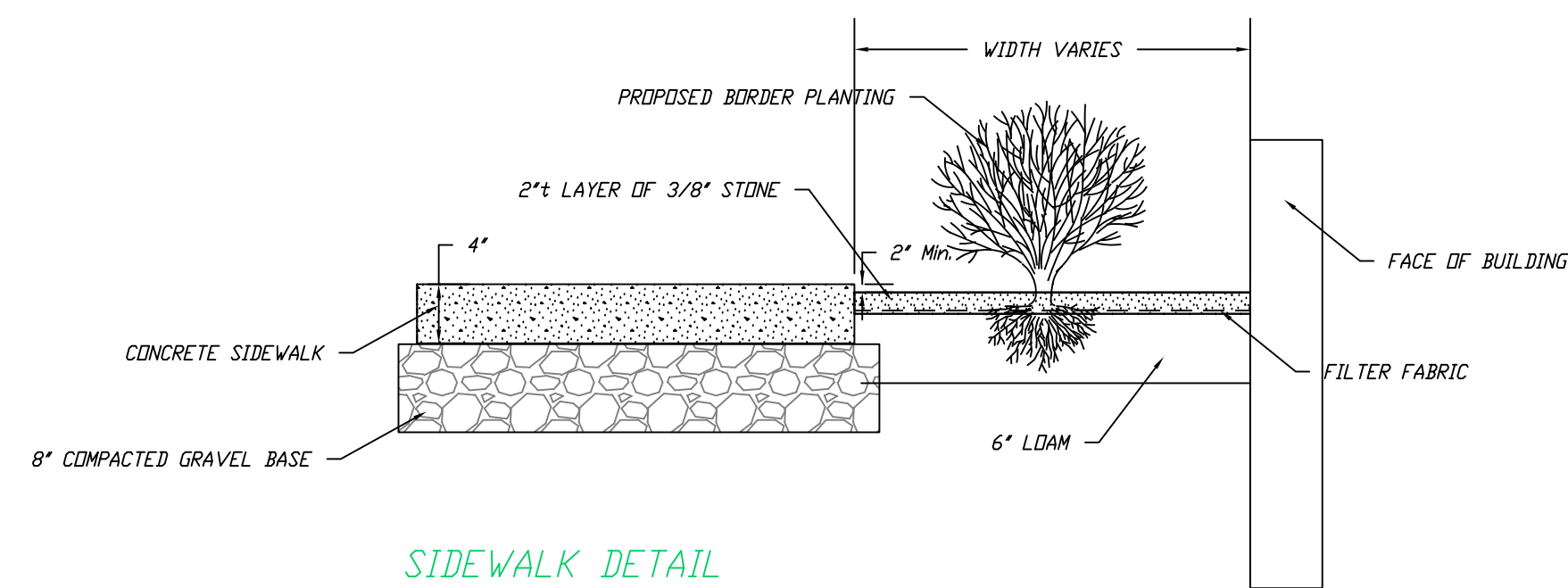
WEeping FROM PIT FACE: N/A
ESTIMATED DEPTH TO MAX. 36" (211.8)
STANDING

REVISIONS	RESPONSE TO COMMENTS
1 12/10/19	
2 12/18/19	added wetlands shading
3 01/25/20	Moved & reduced building
4 02/10/20	restored building size
5 02/29/20	response to con comm
6 05/06/20	moved dumpster
7 07/10/20	added decision

DRAINAGE DETAILS
SITE PLAN
409 CANTON STREET
STOUGHTON, MA
SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1-(781)-878-1795
email: jameseng125_gary@msn.com

20' 0 20' 40' 60'
SCALE IN FEET

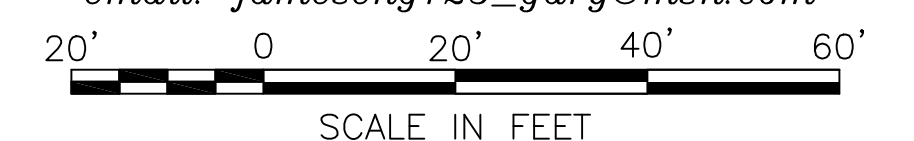


OWNER/APPLICANT
HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

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CONSTRUCTION DETAILS
SITE PLAN
409 CANTON STREET
STOUGHTON, MA
SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1- (781)-878-1795
email: jameseng125_gary@msn.com





NOTE:
1. A TOTAL OF 17 TREES SHALL BE PLANTED ALONG THE SOUTHERLY SIDE OF THE BUILDING. THEY SHALL BE A MIX OF N
2. FINAL LOCATION FOR PROPOSED TREE'S SHALL BE DETERMINED IN THE FIELD ONCE GRADING IS COMPLETED AND SHALL BE SHOWN ON FINAL AS BUILT PLAN.
3. UNLESS OTHERWISE NOTED, ALL OTHER DISTURBED AREAS SHALL BE LOAMED & SEEDED.

- Shrubs & Herbaceous Plantings**
- | | |
|---|--------------------|
|  | Western Red Cedar |
|  | Gray Birch |
|  | SNOW STORAGE AREAS |

Plant List

Natives with Wildlife Value, Easy Care, Deer & Rabbit Resistant

	Botanical Name	Common Name	Size	No.
Trees	<i>Betula populifolia</i>	Gray Birch-clump form	10-12'	4
	<i>Thuja plicata</i> 'Green Giant'	Western Red Cedar	10-12'	13
Shrubs	<i>Clethra alnifolia</i> 'Hummingbird'	Dwarf Sweet Pepper Bush	3 gal.	20
	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	3 gal	19
	<i>Ilex glabra</i> 'Densa'	Dwarf Inkberry	5 gal.	26
	<i>Ilex verticillata</i> 'Berry Poppins'	Dwarf Winterberry	1 gal.	27
baceous	<i>Baobisia</i> 'Blueberry Sundae'	Blue False Indigo	1 gal.	18
	<i>Geranium sanguineum</i> 'Album'	White Hardy Geranium	1 qt.	67

OWNER/APPLICANT

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STOUGHTON, MA 02072

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LANDSCAPING PLAN
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

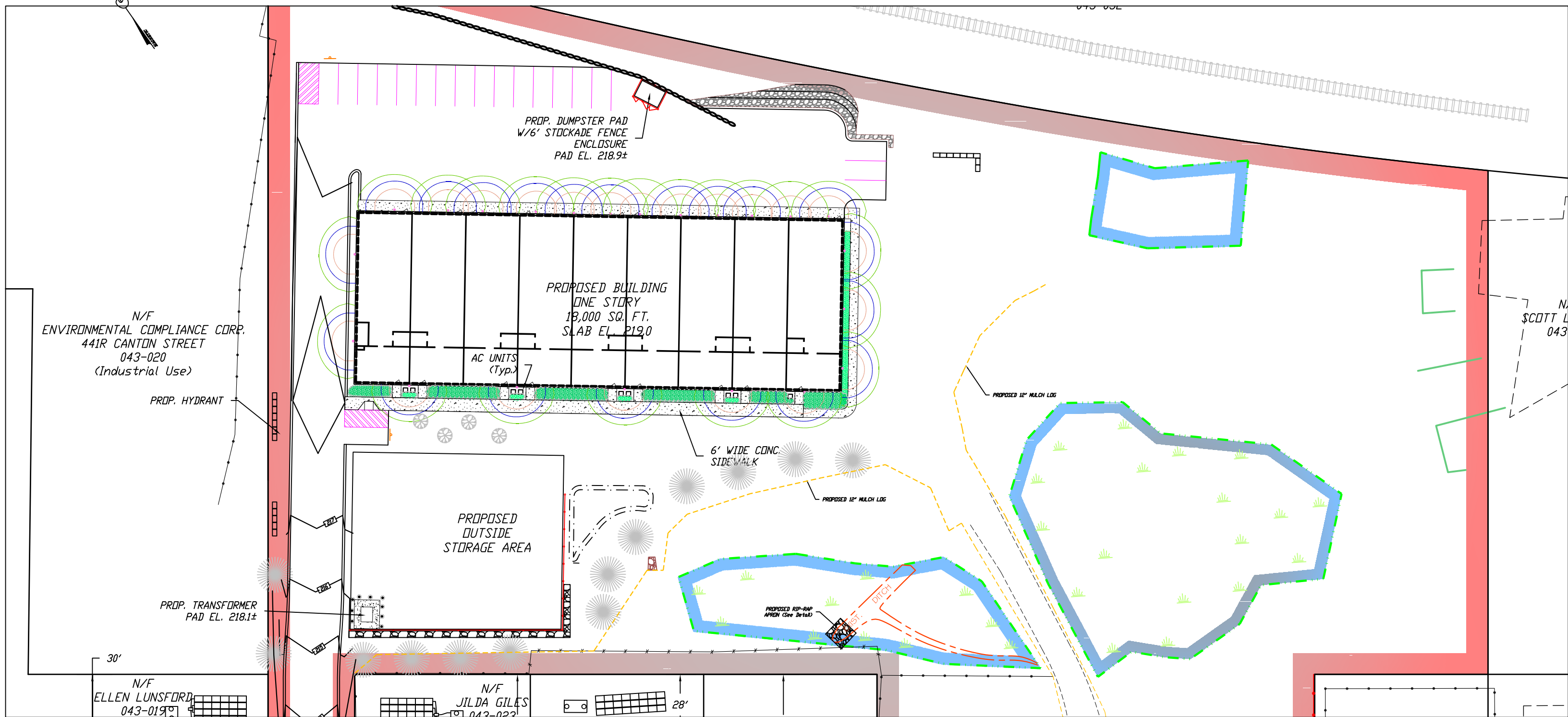
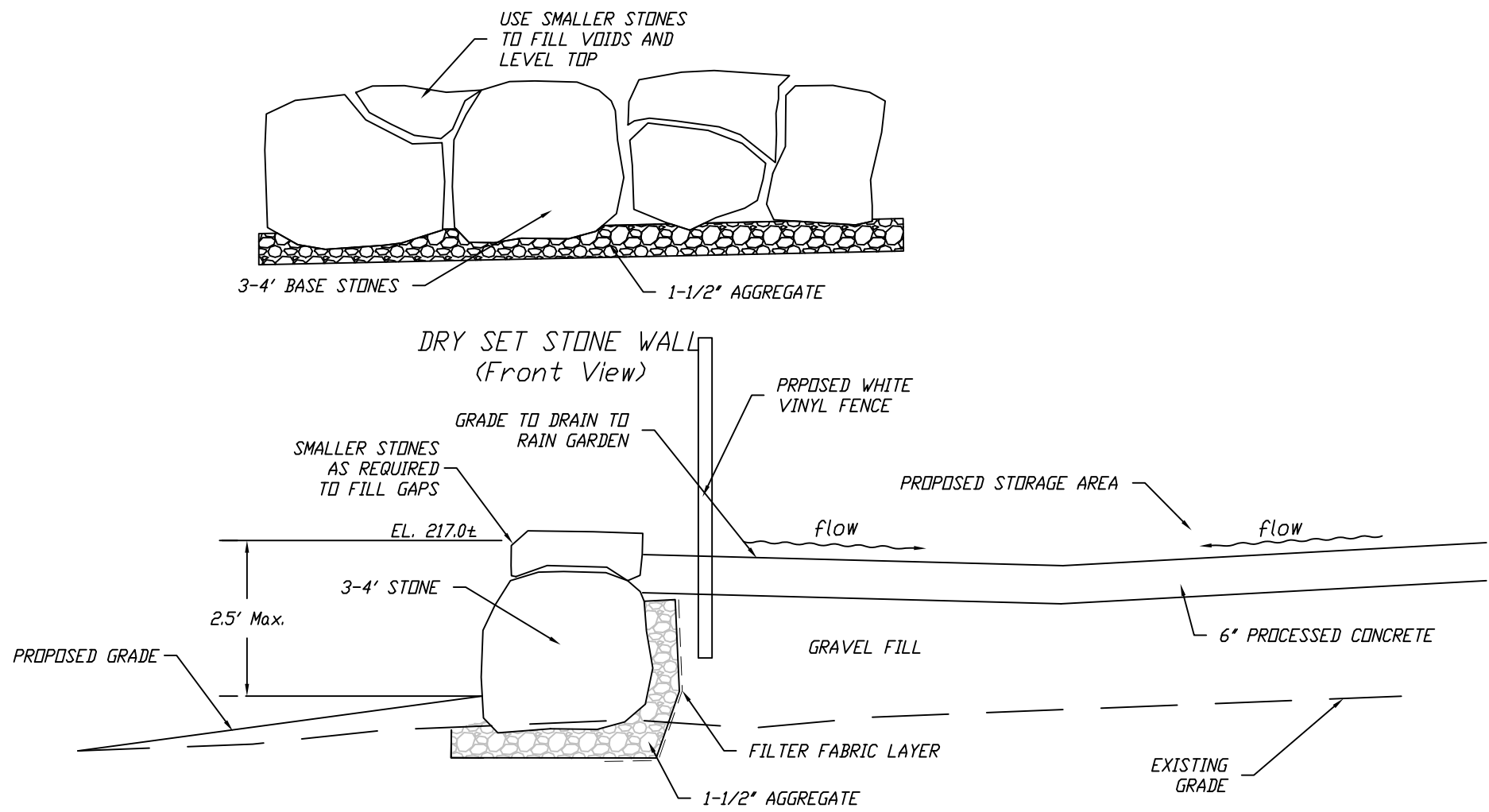
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HANOVER, MASS. 02339
TEL: 1- (781)-878-1795
email: jameseng125_gary@msn.com*





BUILDING FACADE PHOTOGRAPH

NOTE:
THE PHOTOGRAPHS SHOWN ABOVE ARE OF THE STRUCTURE AT 200 CUSHING STREET. THE FACADE AND ELEVATIONS FOR THE PROPOSED BUILDING SHALL MATCH THE MATERIALS AND COLORS DEPICTED FOR THE FACE OF THE BUILDING.

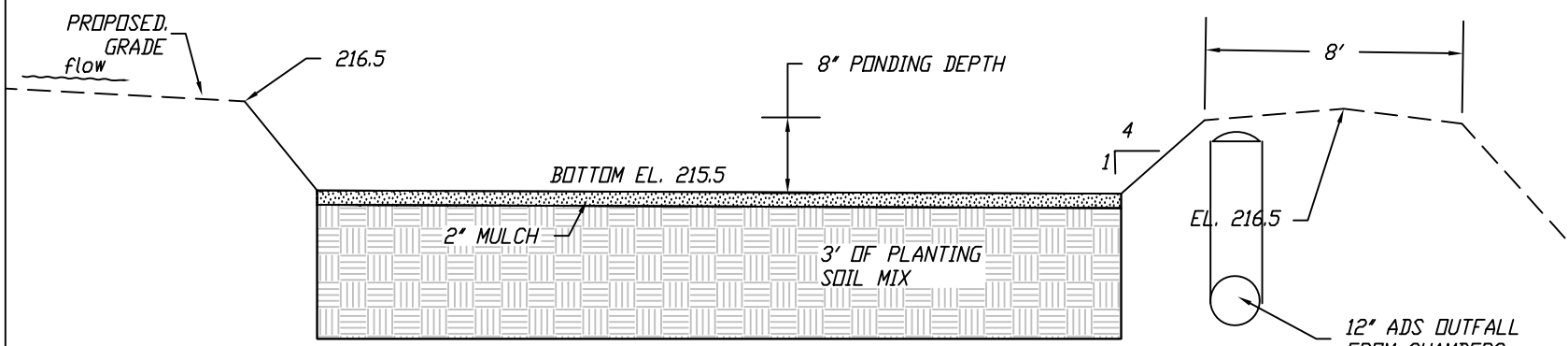


PHOTOMETRIC SITE PLAN

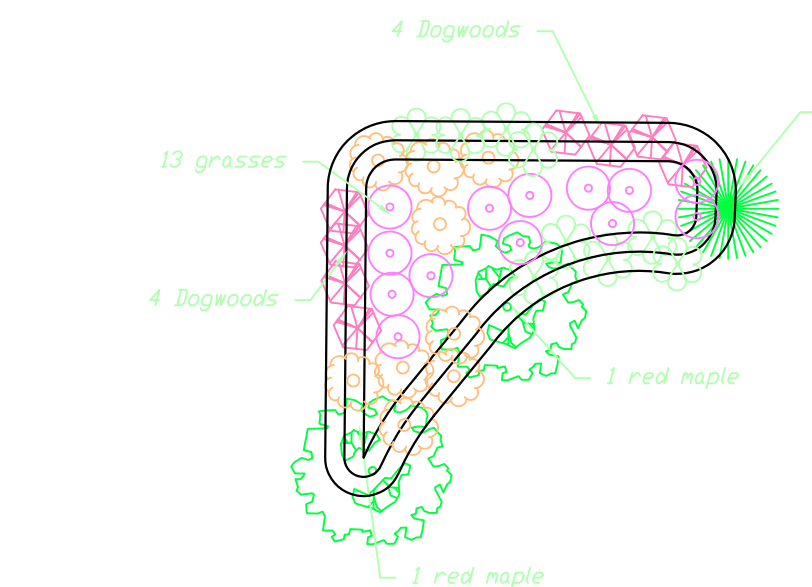
SCALE: 1"=40'

NOTE: WALL MOUNTED LIGHTS SHALL BE 10' CYCLED-ON & 10' CYCLED-OFF. LIGHTS SHALL BE 10' CYCLED-ON & 10' CYCLED-OFF. LIGHTS SHALL BE 10' CYCLED-ON & 10' CYCLED-OFF.

PHOTOMETRIC LEGEND
10' CYCLED-ON
10' CYCLED-OFF



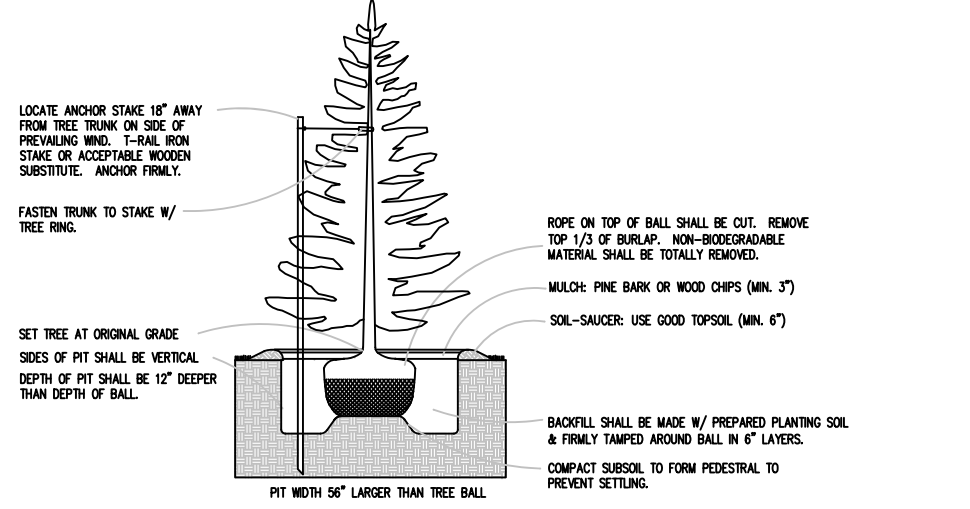
RAIN GARDEN SECTION



NOTES:
1. The species listed are all native and tolerant of a minimum of 1-2 days submergence.
2. All of the above listed species are noted in Vol. 2, Chapter 2 of the stormwater handbook.
3. Grasses shall be planted in clusters of not less than 3.
4. Shrubs shall be planted in clusters by species of no less than 3-5'cc.
5. Trees shall be planted along the top of the slope.

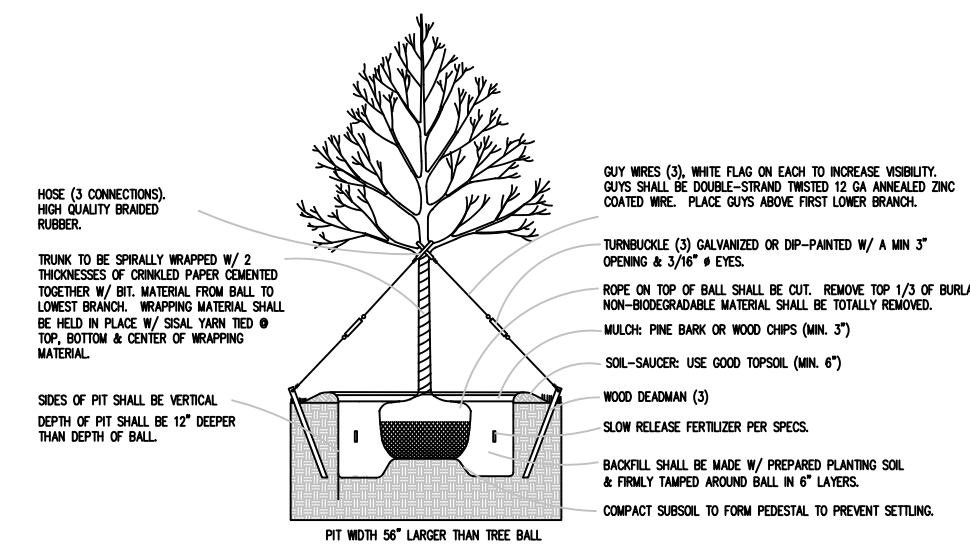
STORMWATER SYSTEM PLANTING LIST

QUANTITY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE
706 s.f.				
TREES				
2	Acer Rubrum	Red Maple	B&B	10-12'
1	Red Cedar	Red Cedar	B&B	5-6'
GRASSES				
4	Andropogon gerardi	Bluejoint	cont.	#1
4	Lotus corniculatus	Birdsfoot trefoil	cont.	#1
5	Glycyca sinata	Fowl mannagrass	cont.	#1
SHRUBS				
4	Cornus servicea	Redtwig dogwood	cont.	#1
4	Cornus ananum	Silky dogwood	cont.	#1
5	Lindrea benzoin	spicetush	cont.	#1
4	Ilex glabra	Inkberry	cont.	#1
5	Ilex verticillata	Winterberry	cont.	#1
4	Aronia arbutifolia	red chokeberry	cont.	#1



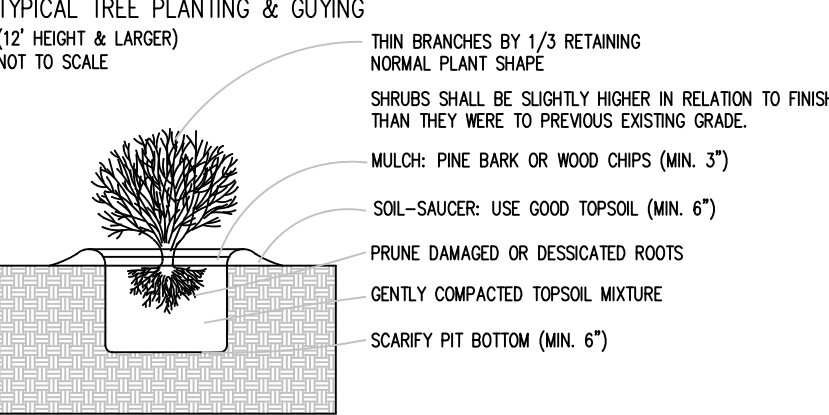
TYPICAL CONIFEROUS TREE PLANTING

(6' HEIGHT & SMALLER)
NOT TO SCALE



TYPICAL TREE PLANTING & GUYING

(12' HEIGHT & LARGER)
NOT TO SCALE



TYPICAL SHRUB PLANTING

(BARE ROOT)
NOT TO SCALE

OWNER/APPLICANT

HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

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LANDSCAPING DETAILS
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

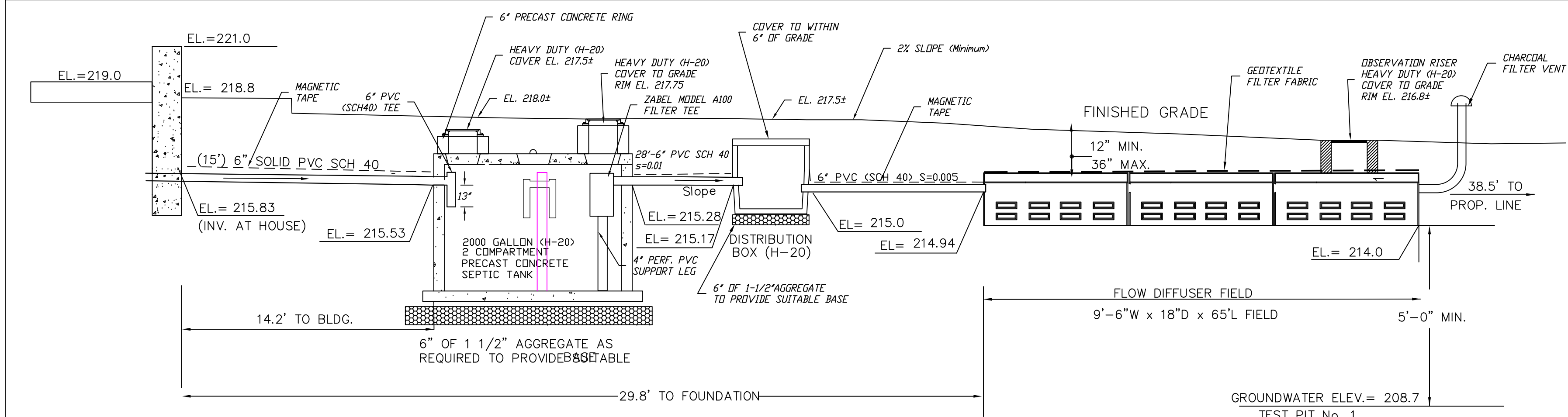
SCALE: 1"=40' DATE: SEPTEMBER 5, 2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
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TEL: 1- (781)-878-1795

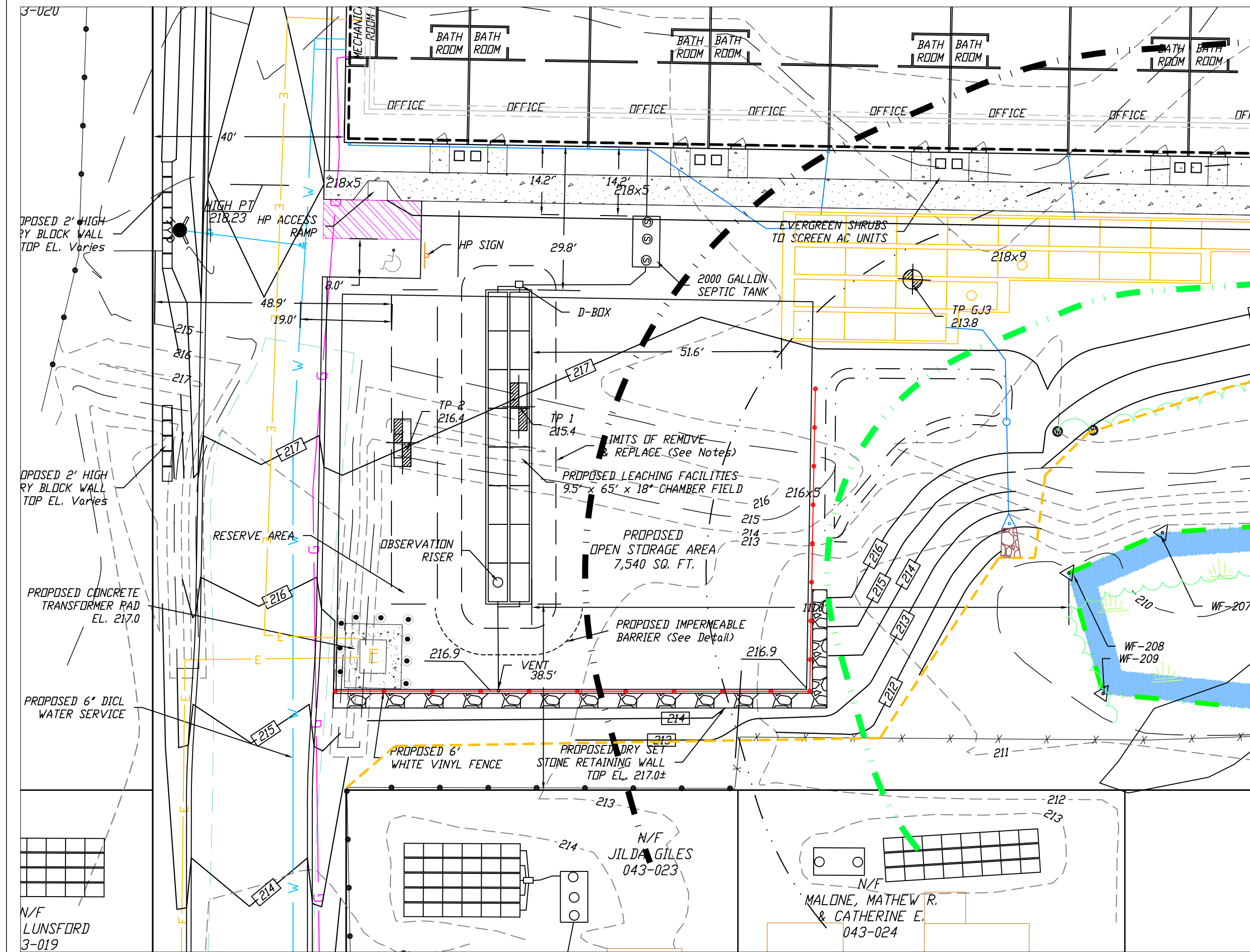
email: jameseng125_gary@msn.com

40' 0 40' 80' 120'

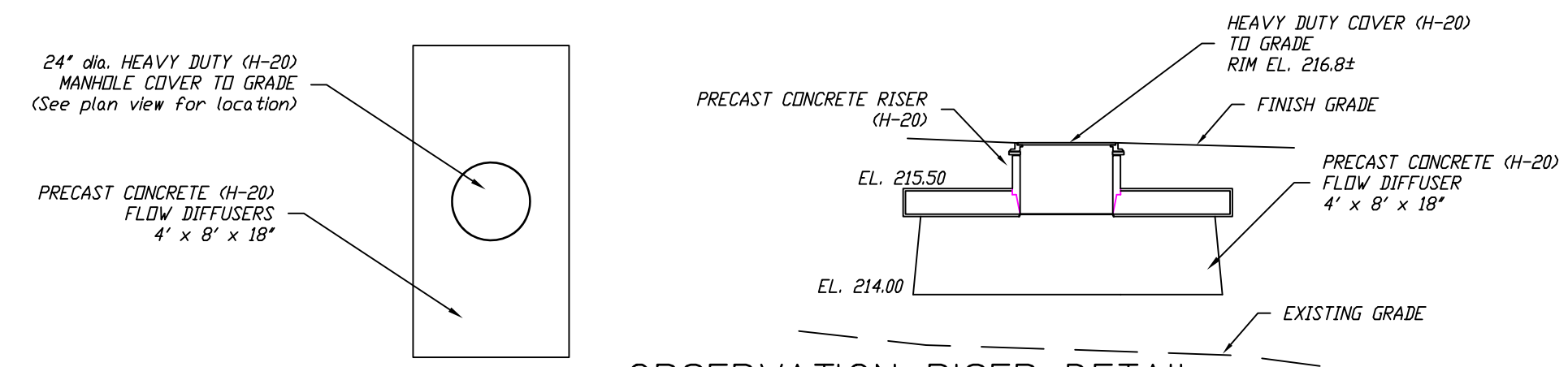
SCALE IN FEET



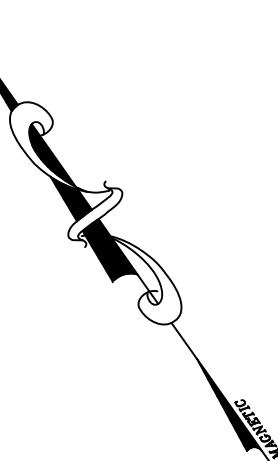
SEPTIC SYSTEM PROFILE



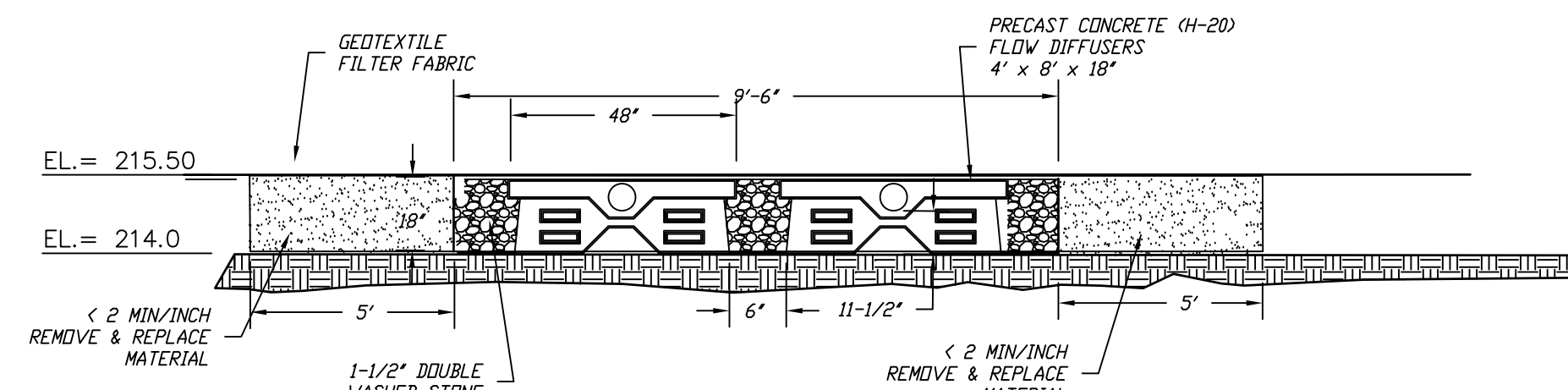
SITE PLAN DETAIL
1"=20'



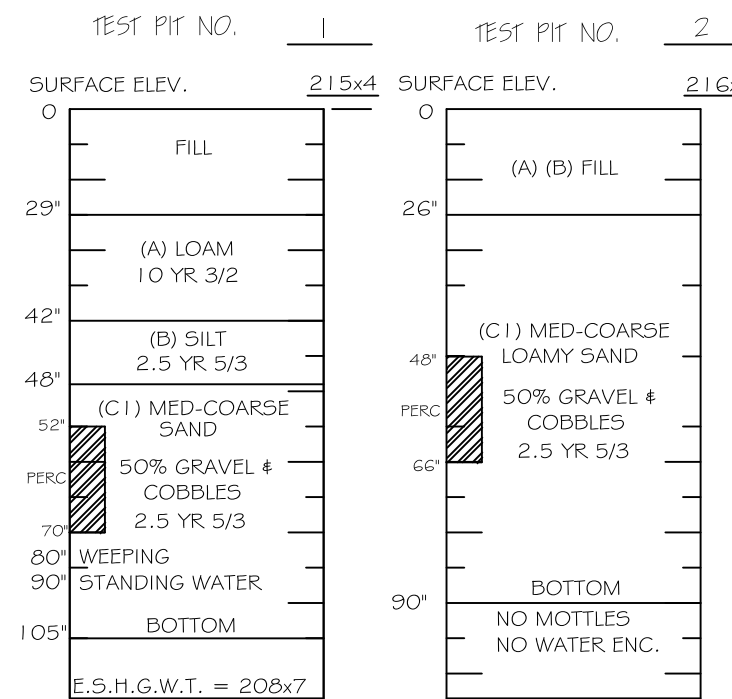
OBSERVATION RISER DETAIL



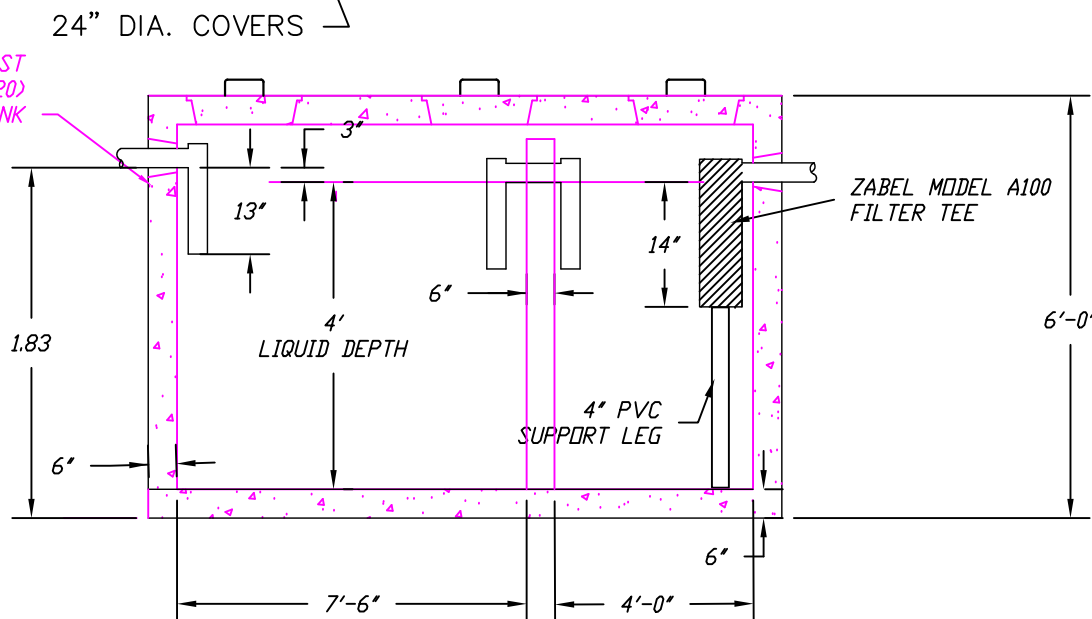
2000 GAL. SEPTIC TANK (H-20)



SECTION THRU LEACHING



SOIL EXAMINATION REPORT DATE: 03/08/2014
TEST CONDUCTED BY: FRANK J. GALLAGHER, P.E., C.S.E.
BOARD OF HEALTH WITNESS: LAWRENCE PERRY



2000 GAL. SEPTIC TANK (H-20)

FIRST COMPARTMENT: 1,346 GALLONS
SECOND COMPARTMENT: 718 GALLONS

DISTRIBUTION BOX (H-20)

NOTES CONTINUED:
14. LEACHING FACILITIES SHALL BE COVERED WITH A GEOTEXTILE FABRIC LAYER.
15. IN AREAS SHOWN ON THE PLAN, ALL TOPSOIL, PEAT AND OTHER IMPERVIOUS MATERIAL SHALL BE REMOVED AND REPLACED WITH A CLEAN GRANULAR SAND FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES, WHICH SHALL BE GRADED SUCH THAT;

1. NO MATERIAL IS LARGER THAN 2 INCHES.	
2. NOT MORE THAN 45% IS RETAINED ON THE #4SIEVE;	
3. OF THE FRACTION PASSING THE #4 SIEVE, THE MATERIAL SHALL FALL WITHIN THE GRADATION LIMITS AS FOLLOWS;	
SIEVE SIZE	PERCENT PASSING
#50	10-100%
#100	0-20%
#200	0-5%

16. A SIEVE ANALYSIS OF THE MATERIAL SHALL BE PERFORMED TO DETERMINE THAT IT MEETS THE GRADATION REQUIREMENTS AS NOTED ABOVE.

17. REMOVE AND REPLACE SHALL EXTEND TO A DEPTH OF 48" OR UNTIL C1 HORIZON IS ENCOUNTERED;
EXCAVATION QUANTITY= 220 CU. YDS.
REPLACEMENT QUANTITY= 280 CU. YDS.
* INCLUDES 20% COMPACTION ALLOWANCE

19. UNLESS OTHERWISE NOTED, ALL PIPING SHALL BE SCHEDULE 40 PVC AND SHALL BE COVERED BY A MAGNETIC TAPE TO ASSIST WITH LOCATING THE PIPE.

20. UNLESS OTHERWISE NOTED, THERE ARE NO KNOWN WELLS WITHIN 200' OF THE PROPOSED LEACHING FACILITIES.

21. ALL SYSTEM COMPONENTS SHALL BE COVERED WITH A MAGNETIC TAPE TO HELP IDENTIFY LOCATION AFTER INSTALLATION.

22. DESIGN ENGINEER SHALL BE CONTACTED TO INSPECT THE CONSTRUCTION PROGRESS OF THE SYSTEM ;
1. WHEN ALL UNSUITABLE MATERIALS HAVE BEEN REMOVED PRIOR TO REPLACEMENT TO INSPECT THE MATERIAL AT THE BOTTOM OF THE HOLE;
2. WHEN THE SYSTEM COMPONENTS HAVE BEEN INSTALLED PRIOR TO BACKFILLING; AND
3. WHEN THE SYSTEM FINAL GRADING HAS BEEN COMPLETED.

23. THE SITE IS LOCATED IN THE ZONE II OF A PUBLIC WATER SUPPLY WELL.

24. THE SITE IS NOT LOCATED IN A FEMA FLOOD HAZARD AREA.

- ELEVATIONS REFER TO N.G.V.D.
- BENCH MARK SEE SITE BENCHMARK
- ESTIMATED DAILY FLOW
PROPOSED USE - WAREHOUSE/OFFICE
ASSUME
3 PERSONS PER DAY x 9 BAYS
= 27 PERSONS
FLOW RATE = 15 GALLONS /PERSON/DAY
DESIGN FLOW = 27 x 15 = 405 GALLONS PER DAY
- SEPTIC TANK REQ'D CAPACITY = 1500 GALLONS
- LEACHING AREA REQUIREMENTS RATE <5 M.P.I.
CLASS I SOIL
APPLICATION RATE = 0.74 G/SF
AREA REQ.=405 ÷ 0.74 G/SF = 547.3 S.F.

- LEACHING AREA PROVIDED
USE 4' X 8' PRECAST CONCRETE FLOW DIFFUSERS
USE 2 ROWS OF 8 IN FIELD 9.5' x 65'
AREA PROV. = 9.5 x 65 = 617.5 S.F.
CAP. PROV= 617.5 X 0.74 G/S.F.= 456.95 G.P.D.
- HEAVY GRADING MACHINERY SHALL NOT BE PERMITTED TO PASS OVER LEACHING AREAS.
- ALL CONSTRUCTION TO CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS DEPARTMENT OF ENV. PROTECTION SANITARY CODE, TITLE 5, AND THE TOWN OF STOUGHTON BOARD OF HEALTH.

PERC RATE	DEPTH OF TEST	DATE
1. < 2 MIN/IN	52"	03/08/14
2. < 2 MIN/IN	52"	03/08/14

NOTE:
ADDITIONAL PERC TEST SHALL BE CONDUCTED IN THE PRIMARY SYSTEM AT THE TIME OF THE INSTALLATION TO VERIFY THE LTAR FOR THE DESIGN OF THE LEACHING FACILITIES.

- THIS SYSTEM IS NOT DESIGNED TO ACCOMMODATE A GARBAGE GRINDER.
- THE FIRST TWO FEET OF EACH LINE EXITING FROM THE "D-BOX" SHALL BE LEVEL.
- DESIGN ENGINEER TO BE NOTIFIED AT LEAST 48 HOURS PRIOR TO REQUIRED INSPECTIONS.
- SEPTIC SYSTEM OWNER SHALL HAVE SEPTIC TANK INSPECTED AT LEAST ONCE EACH YEAR & PUMPED AS DEEMED NECESSARY BY THE INSPECTOR NOT LESS THAN ONCE EVERY THREE YEARS .

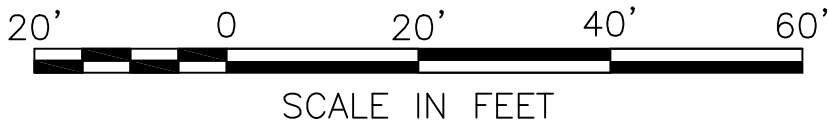
OWNER/APPLICANT

HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

SEPTIC DESIGN
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1- (781)-878-1795
email: jameseng125_gary@msn.com



SCALE IN FEET

REVISIONS		
1	12/10/19	RESPONSE TO COMMENTS
2	12/18/19	added wetlands shading
3	01/25/20	Moved & reduced building
4	02/10/20	restored building size
5	02/29/20	response to can comm
6	05/06/20	moved dumpster
7	07/10/20	added decision