

LOCUS PLAN
SCALE: 1"=400'
(STOUGHTON GIS MAP)

ZONE -- INDUSTRIAL		
	REQUIRED	PROVIDED
LOT AREA	80,000 S.F.	183,389 S.F.
FRONTAGE	150'	292'
WIDTH	125'	563'
FRONT YARD SETBACK	125'	229.7'
REAR YARD SETBACK	25'	65.1'
SIDE YARD SETBACK	20'	39.6'
BUILDING HEIGHT	40'	35'
MAXIMUM STORIES	2	1
MAXIMUM BUILDING AREA	50%	9.8%
MINIMUM OPEN SPACE	25%	73.1%
PARKING SPACES	1 PER 1,000 SQ. FT.	18
HANDICAP SPACES		2

-- NOTES --

1. ZONING: INDUSTRIAL
2. ASSESSORS PLAN 43, PARCEL 022
3. DEED REFERENCE NORFOLK COUNTY REGISTRY BK 4982, PG 602
4. OWNER OF RECORD: HERSEE PROPERTIES, INC.
5. PLAN REFERENCES:

PLAN ENTITLED "SUBDIVISION OF PORTION OF LAND IN STOUGHTON, MASS" PREPARED BY RUPERT BATELCHER, SURVEYOR, SCALE 1"=40', DATED JUNE 5, 1950 AND RECORDED AS PLAN No. 873 of 1950

PLAN ENTITLED "PLAN OF LAND IN STOUGHTON, MASSACHUSETTS" PREPARED FOR WARREN & HELENA BLUM by EDWARD C. PETERSON, SURVEYOR SCALE 1"=50', DATED OCT. 14, 1971, AND RECORDED AS PLAN No. 901 of 1971

PLAN ENTITLED "PLAN OF LAND IN STOUGHTON, MASSACHUSETTS, PREPARED FOR ROBERT DEE, JR. BY AUSTIN ENGINEERING, CO. SCALE 1"=30', DATED OCT. 1, 1976 AND RECORDED AS PLAN No. 878 of 1976

6. BASE PLAN, INCLUDING PROPERTY LINE, TOPOGRAPHY AND ADJACENT STRUCTURES, PREPARED BY ARTHUR F. BORDEN & ASSOCIATES, INC.

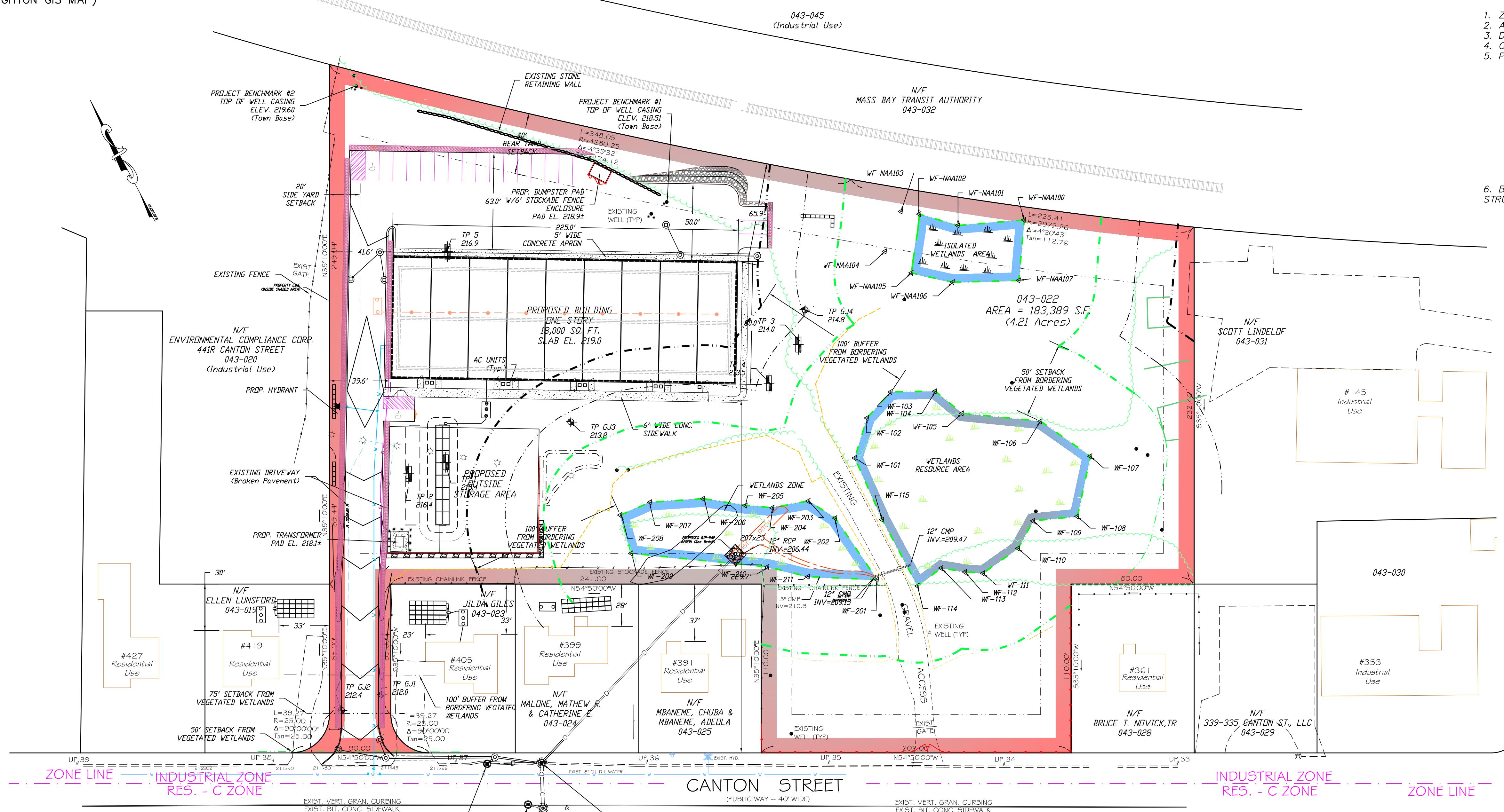
ZONING REQUIREMENTS FOR SIGNS		
	REQUIRED	PROPOSED
SIZE	150 SQ. FT. (Max.)	48 SQ. FT.
HEIGHT	30' (Max.)	8'
SETBACK FROM STREET	15'	15.5'

IMPERVIOUS COVERAGE SUMMARY		
	BUILDING	PAVEMENT
BUILDING	18,000 S.F.	22,723 S.F.
PAVEMENT	2,025 S.F.	7,560 S.F.
CONCRETE		49,298 S.F.
GRAVEL STORAGE		

OPEN SPACE		
	SIZE	PERCENT
	134,091 S.F.	73.1%

OWNER/APPLICANT
HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

REVISIONS		
1	12/10/19	RESPONSE TO COMMENTS
2	12/18/19	added wetlands shading
3	01/25/20	Moved & reduced building
4	02/10/20	restored building size
5	02/29/20	response to con comm
6	05/06/20	moved dumpster
7	07/10/20	added decision



WAIVER REQUESTS
1. SECTION 10.6.10 OF THE ZONING BY LAWS - TO WAIVE THE REQUIREMENT
FOR A DEVELOPMENT IMPACT REPORT.

APPROXIMATE LIMITS OF B.V.W.
C. BASIN
RIM = 210.97
INV = 209.90
C. BASIN
RIM = 210.81
INV = 207.51
C. BASIN
RIM = 211.10
INV = 207.40 12" x 12" x 12" Box
PMH
RIM = 211.82
INV = 205.06

EXIST. VERT. GRAN. CURBING
EXIST. BIT. CONC. SIDEWALK

EXIST. VERT. GRAN. CURBING
EXIST. BIT. CONC. SIDEWALK

EXIST. C. & D.J. WATER
EXIST. C. & D.J. WATER

EXIST. VERT. GRAN. CURBING
EXIST. BIT. CONC. SIDEWALK

EXIST. VERT. GRAN. CURBING
EXIST. BIT. CONC. SIDEWALK</p

**TOWN OF STOUGHTON**Massachusetts
MA 02072**PLANNING BOARD**Site Plan Approval for
409 Canton Street
Case # 18-004RECEIVED
STOUGHTON MASS
20 MAY 18 P 3:00
OFFICE OF
THE TOWN CLERK

Date: May 14, 2020

Applicant: Hersee Properties, Inc.
1800 Bay Road
Stoughton, MA 02072

Owner: Hersee Properties, Inc.
1800 Bay Road
Stoughton, MA 02072

Representative: James Engineering,
125 Great Rock Road
Hanover, MA 02339

Property: 409 Canton Street (Assessor's Map 43, Portion of Lot 22)

I) Project Summary

The proposed project includes the construction of an 18,000 SF building to contain nine (9) units for commercial/light industrial use with associated infrastructure and surface parking with a total of 22 parking spaces in the Industrial (I) zoning district.

II) Procedural History

A) Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on November 14, 2018.

B) The Site Plan submitted for review to the Planning Board is titled "Site Plan, 409 Canton Street, Stoughton, MA" prepared by James Engineering, Inc., 125 Great Neck Road, Hanover, MA 02339, dated

[Signature]

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12. Comment letter dated November 1, 2019 from Craig Horsfall, Assistant Town Engineer.
13. Revised comment letter dated November 14, 2019 from John Charbonneau, Town Planner.
14. Letter dated December 18, 2019 from James Engineering, Inc. summarizing revised plan submission.
15. Revised comment letter dated December 19, 2019 from John Charbonneau, Town Planner.
16. Second comment letter dated December 27, 2019 from Craig Horsfall, Assistant Town Engineer.
17. Letter dated January 29, 2020 from James Engineering, Inc. summarizing revised plan submission.
18. Letter dated February 15, 2020 from James Engineering, Inc. summarizing revised plan submission.
19. Comment letter dated February 24, 2020 from James Conlon, Environmental Affairs Officer.
20. Revised comment letter dated February 26, 2020 from John Charbonneau, Town Planner.
21. Third comment letter dated February 26, 2020 from Craig Horsfall, Assistant Town Engineer.
22. Email comments dated February 27, 2020 from Deputy Chief Scott Breen.
23. Email comments dated May 7, 2020 from Sanitarian Larry Perry.

IV) Findings

1. The Planning Board finds that the applicant has submitted the required information for determination of approval of the Site Plan.
2. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
3. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Conservation Commission, Department of Public Works and the Engineering Department, the Planning Board analyzed all the comments and reports received. There were several productive in-house meetings with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering Department throughout the process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
4. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Approval" found that the Applicant has met the conditions and the project will not result in any substantial detriment to the district.

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[Signature]

10. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.

11. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.

12. The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.

13. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.

14. The Applicant shall submit final construction plans to the Engineering Department and the Public Works Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.

15. Required soil and erosion control measures shall be erected and serviceable prior to any site activity. For purposes of controlling erosion, all grades exposed for greater than a 30-day period shall be stabilized.

16. The Applicant shall be responsible for ensuring that any trucks involved in hauling materials onto or off-site are properly covered and otherwise secured from spilling material along any street outside the site. Violation of this condition may lead to the discontinuation of construction activities and/or permits and fines.

17. Wetting and stabilization of exposed grades shall occur as necessary to suppress dust generation. The use of municipal water for wetting of exposed grades and for other purposes associated with this approved operation shall require the prior written authorization of the Stoughton Public Works Department. Copies of said authorization must be filed by the Applicant with the Planning Board and the Building Commissioner prior to its use. Otherwise, the potable water shall be transported to the site from a lawful source outside of the Town of Stoughton or provided by private well.

18. A Final As-Built Plan that is stamped and signed by the fully-licensed project engineer shall be submitted to the Engineering Department and the Planning Department along with a letter that details any differences between the as-built

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VI) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan based on the above stated facts, findings and conditions. They also voted to authorize the Chairman to endorse the decision on their behalf.

On the day of May 14, 2020.

[Signature]
Joseph Scardino, Chairman*[Signature]*
Daniel Kelly, Vice Chairman*[Signature]*
Lynne Jardin*[Signature]*
Jonathan Garland*[Signature]*
Senesie KabbaCc: Town Clerk:
Applicant:
Interested Parties:**CERTIFICATION:**

The Planning Board certifies that a copy of this decision was filed with the Town Clerk of the Town of Stoughton on May 18, 2020.

FOR THE PLANNING BOARD
[Signature]
Joseph Scardino, Chairman

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September 5, 2019 and revised through May 6, 2020.

C) The land shown on the Site Plan is located off of Canton Street and shown on Assessor's Map 43, Lot 22 (the "Property") and is located in the Industrial (I) zoning district and consists of approximately 4.21 acres of lot area.

D) A public hearing on the Site Plan Application was held on January 30, 2019, April 25, 2019, June 27, 2019, July 18, 2019, August 8, 2020, October 10, 2019, November 14, 2019, December 12, 2019, January 9, 2020, February 13, 2020, February 27, 2020 and May 14, 2020.

II) Application Submittals

1. The Site Plan submitted for review to the Planning Board is titled "Site Plan, 409 Canton Street, Stoughton, MA" prepared by James Engineering, Inc., 125 Great Rock Road, Hanover, MA 02339, dated September 5, 2019 and revised through May 6, 2020.

2. SWPPP Plan dated September 5, 2019.

III) Related Documents

1. Copy of the Legal Public Hearing notice from the edition of the Journal-Sun dated January 11, 2019 and January 18, 2019.
2. Certified List of Abutters dated November 16, 2018.
3. Stormwater Report dated March 7, 2010 prepared by Arthur F. Bordon & Associates, Inc.
4. "Drainage Calculations for 409 Canton Street" dated September 10, 2018 and revised through February 13, 2020 and prepared by James Engineering, Inc.
5. Comment letter from James Conlon, Environmental Affairs Officer, dated December 12, 2018.
6. Comment letter from Sergeant James O'Connor dated November 20, 2018.
7. Comment letter from Phil McNulty, of the DPW dated December 6, 2018.
8. Comment letter from Larry Perry, BOH Agent dated December 5, 2018.
9. Comment letter from Deputy Chief Scott Breen dated November 20, 2018.
10. Comment letter dated June 1, 2019 from John Charbonneau, Town Planner.
11. Letter dated September 30, 2019 from James Engineering, Inc. summarizing revised plan submission.

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V) Decision**A) General Conditions**

1. This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
2. Prior to commencement of construction, a revised full set of approved plans and calculations, showing any required changes to the Site Plan required by this decision shall be submitted to the Planning Board for its records. The approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
3. Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
4. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
5. The Applicant is responsible for the filing of this decision with the Registry of Deeds.
6. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
7. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
8. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
9. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.

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[Signature]

plan and the approved plan prior to the issuance any certificate of occupancy.

19. The Applicant shall record the "Operation and Maintenance Plan," and provide proof of recording to the Planning Board and the Engineering Department prior to the issuance of a Building Permit and pursuant to special condition #34 of the Order of Conditions.

20. The Planning Board will require cash surety in the amount to cover the full replacement cost of all landscaping prior to the issuance of any Certificate of Occupancy. The cash will be held for one (1) complete growing season after the landscaping is installed to ensure survival.

B) Special Conditions

1. The project shall be built in compliance with the Order of Conditions DEP # 298-0801 issued by the Conservation Commission and dated March 5, 2020.
2. During construction, the hours of operation shall be from 7:00 am until 6:00 pm Monday through Friday and 8:00 am until 5:00 pm on Saturday. No machinery activities shall be started or run prior to those start times. There shall be no construction activities on Sunday or any state or federal holiday.
3. The applicant shall clean the entire drainage system at the end of construction and prior to the issuance of any Certificate of Occupancy.
4. Prior to the commencement of construction on the building, the applicant shall apply for a Water Connection Permit with the Public Works Department.
5. Pursuant to special condition #30 of the Order of Conditions, prior to the issuance of a building permit, the applicant is responsible to revise and record an inspection of the 180-foot length of 12" RCP subsurface drain line serving the site crossing the property located at #391 and #399 Canton Street discharging into the street drainage system of Canton Street and eventually discharging into Lipsky's Field in its present location.

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[Signature]

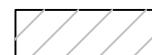
OWNER/APPLICANT
HERSEE PROPERTIES, INC.
1800 BAY ROAD
STOUGHTON, MA 02072

SIGNATURE SHEET
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

DATE: SEPTEMBER 5, 2019

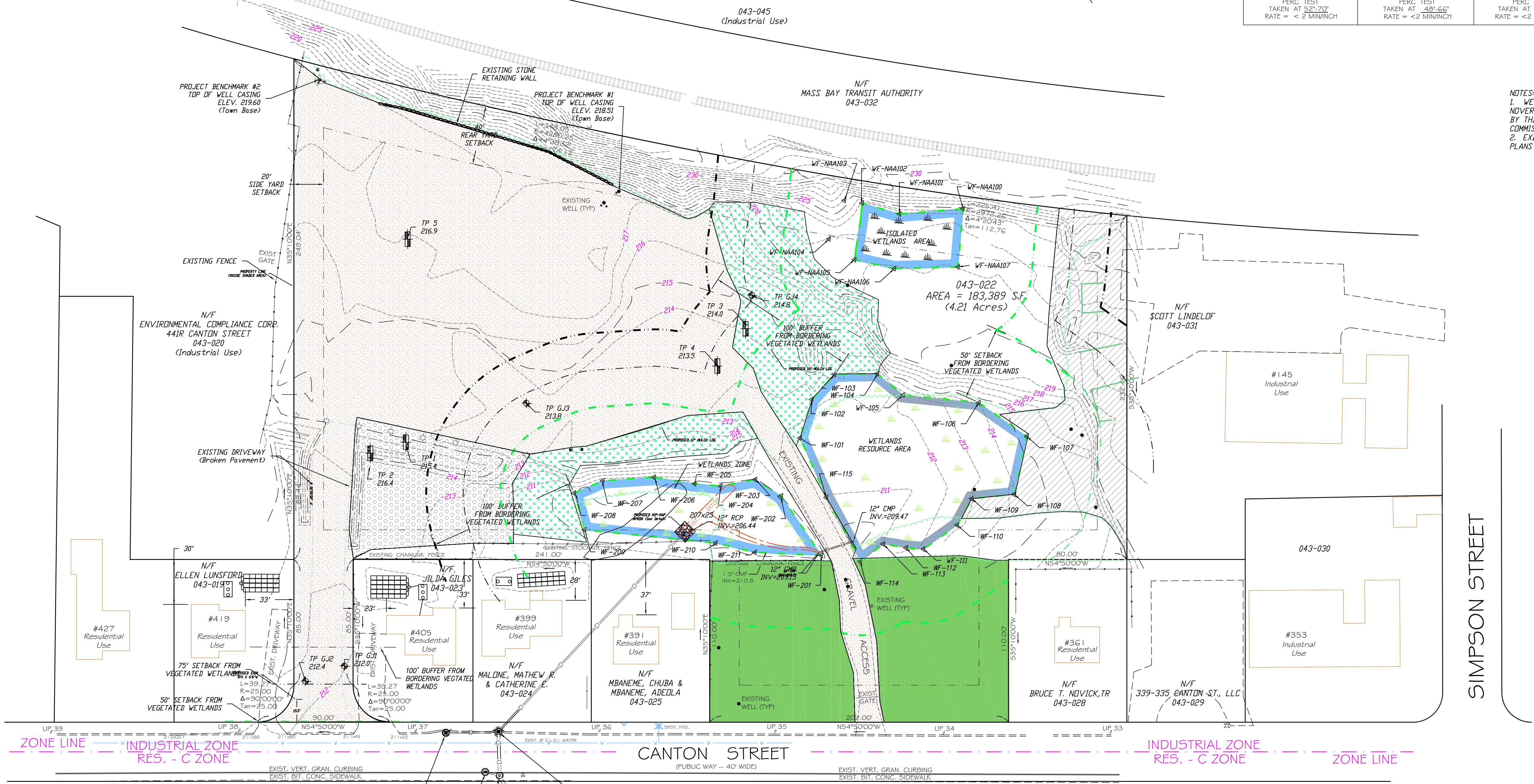
JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1- (781)-878-1795
email: jameseng125_gary@msn.com

REVISIONS		
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2	12/18/19	added wetlands shading
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LAND USE LEGEND	
<i>EXPOSED EARTH & GRAVEL DRIVE</i>	1.61 Acres
	
<i>INVASIVE SPECIES MANAGEMENT AREA</i>	0.36 Acres
	
<i>DEBRIS CLEAN UP AREA</i>	0.19 Acres
	
<i>FORESTED AREAS STRIPPED BY PRIOR ACTIVITY</i>	0.28 Acres
	
<i>FRONT LOTS CLEANED BY OWNER</i>	0.46 Acres
	
<i>TOTAL AREA ALTERED</i>	2.90 Acres
<i>WETLANDS</i>	0.49 Acres
<i>LOT AREA</i>	4.21 Acres

SOIL EXAMINATION REPORT DATE: 03/08/2014
 TEST CONDUCTED BY: FRANK J. GALLAGHER, P.E., C.S.E.
 BOARD OF HEALTH WITNESS: LAWRENCE PERRY

TEST PIT NO.	1	TEST PIT NO.	2	TEST PIT NO.	3	TEST PIT NO.	4	TEST PIT NO.	5
SURFACE ELEV.	215x4	SURFACE ELEV.	216x4	SURFACE ELEV.	214x0	SURFACE ELEV.	213x5	SURFACE ELEV.	216x5
0	FILL	0	(A) (B) FILL	0	FILL	0	(A) LOAMY SAND 10 YR 3/2	0	FILL
29"		26"		20"		14"		14"	
(A) LOAM 10 YR 3/2		(A) (B) FILL		FILL		(B) LOAMY SAND 10 YR 5/6			
42"									
(B) SILT 2.5 YR 5/3				24"					
48"				28"	MOTTLES				
(C1) MED-COARSE SAND				PERC					
52"				42"					
PERC				(C1) MED-COARSE SAND					
60"				50"	WEEPING				
66"				50"					
50% GRAVEL & COBBLES 2.5 YR 5/3				50"	5% GRAVEL 2.5 YR 5/3				
70"				63"	STANDING WATER				
WEEPING				63"					
80"				72"	BOTTOM				
90"				72"					
STANDING WATER				72"					
105"				114"	BOTTOM				
BOTTOM				114"					
E.S.H.G.W.T. = 208x7				E.S.H.G.W.T. = 211x6					
PERC TEST TAKEN AT 52"-70" RATE = < 2 MIN/INCH				PERC TEST TAKEN AT 48"-66" RATE = <2 MIN/INCH					
PERC TEST TAKEN AT 24"-42" RATE = <2 MIN/INCH				PERC TEST TAKEN AT 20"-38" RATE = <2 MIN/INCH					
PERC TEST TAKEN AT _____ RATE = MIN/INCH				PERC TEST TAKEN AT _____ RATE = MIN/INCH					



OWNER/APPLICANT

EXISTING CONDITIONS
SITE PLAN
-09 CANTON STREET
STOUGHTON, MA

SCAL E: 1"=40' DATE: SEPTEMBER 05 2019

AMES ENGINEERING, INC.
125 GREAT ROCK ROAD
ANOVER, MASS. 02339
TEL: 1- (781)-878-1795
jameseng125_gary@msn.com

REVISIONS		
1	12/10/19	RESPONSE TO COMMENTS
2	12/18/19	added wetlands shading
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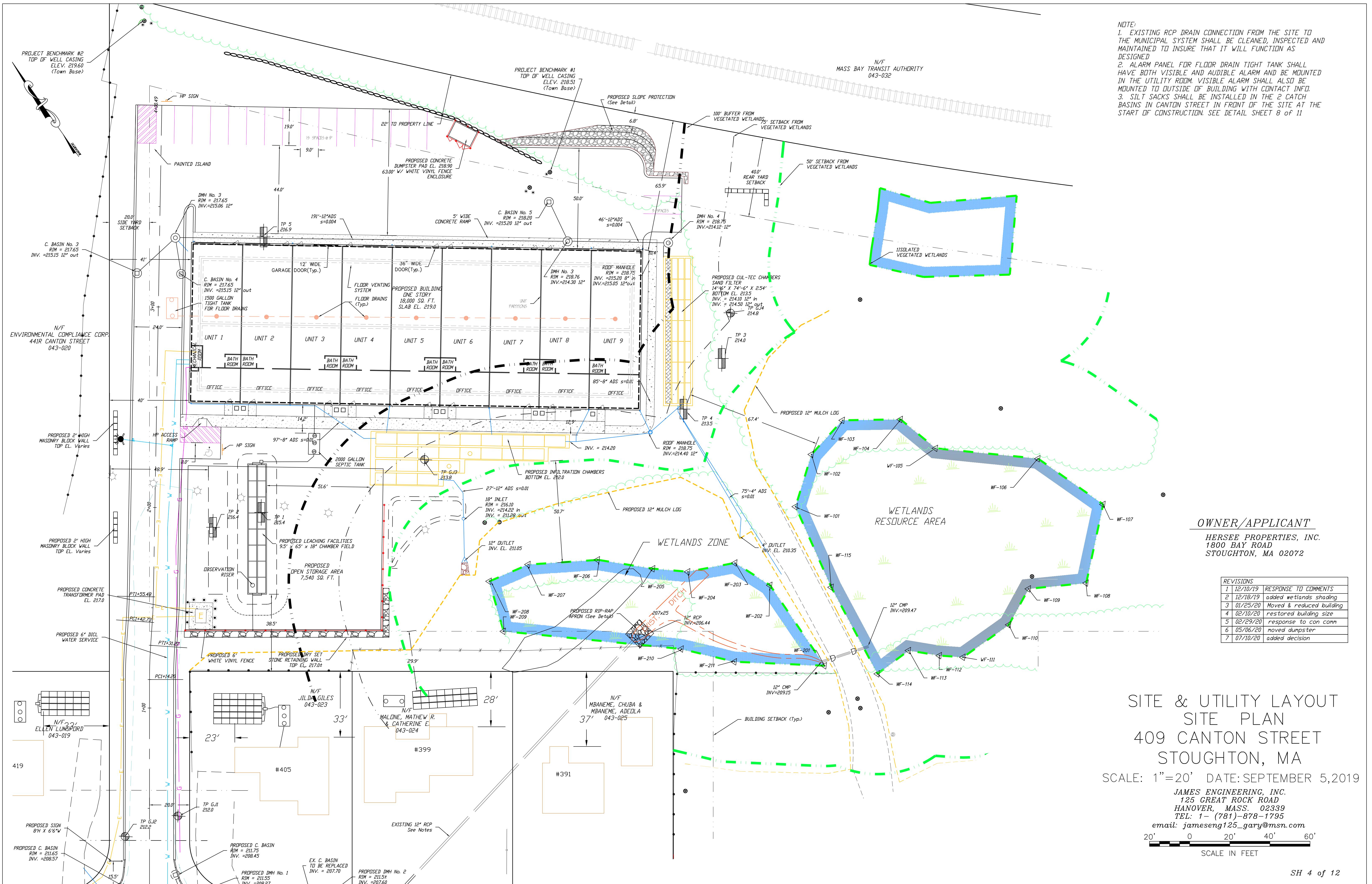
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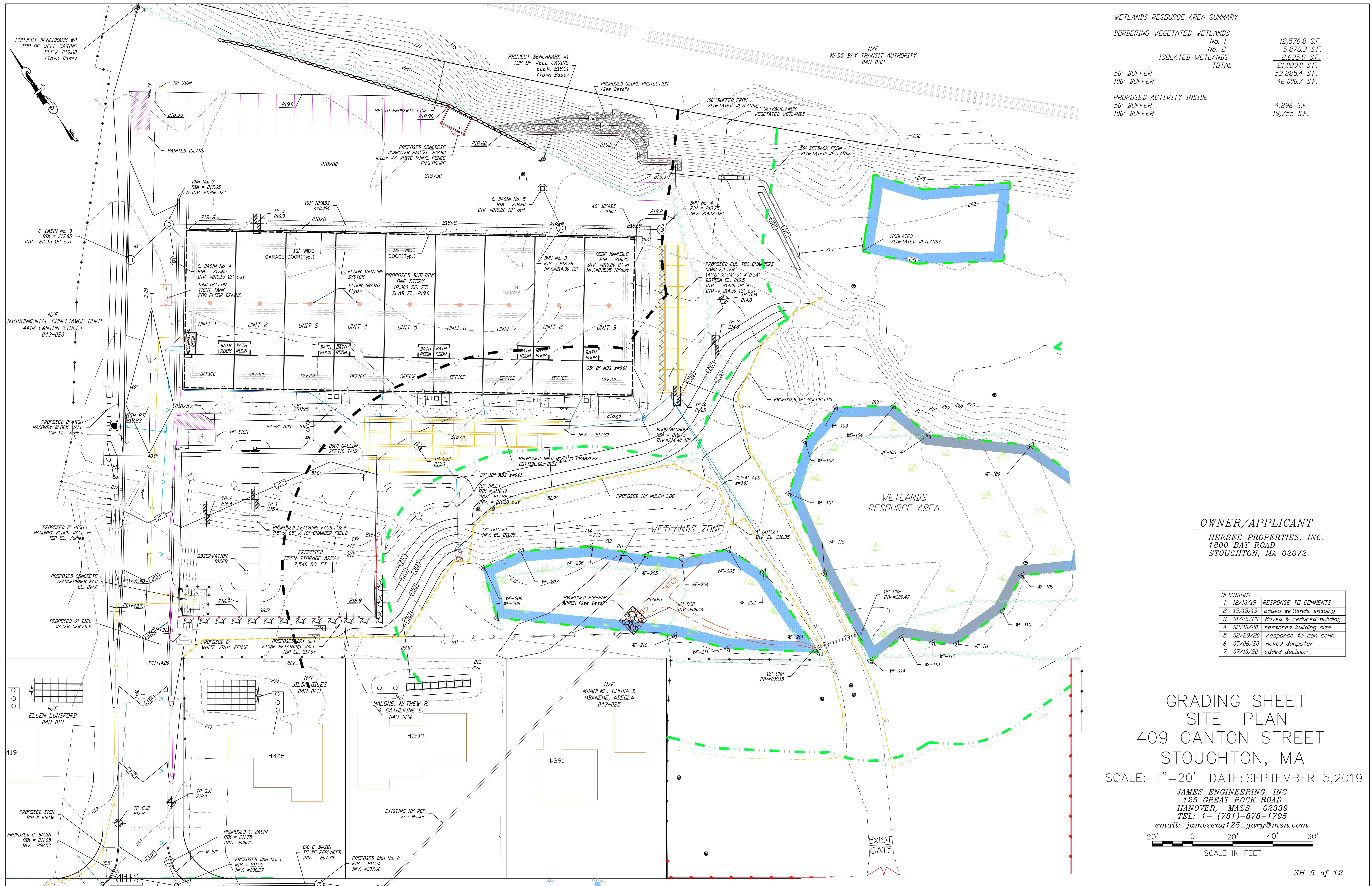
40' 0 40' 80' 120'

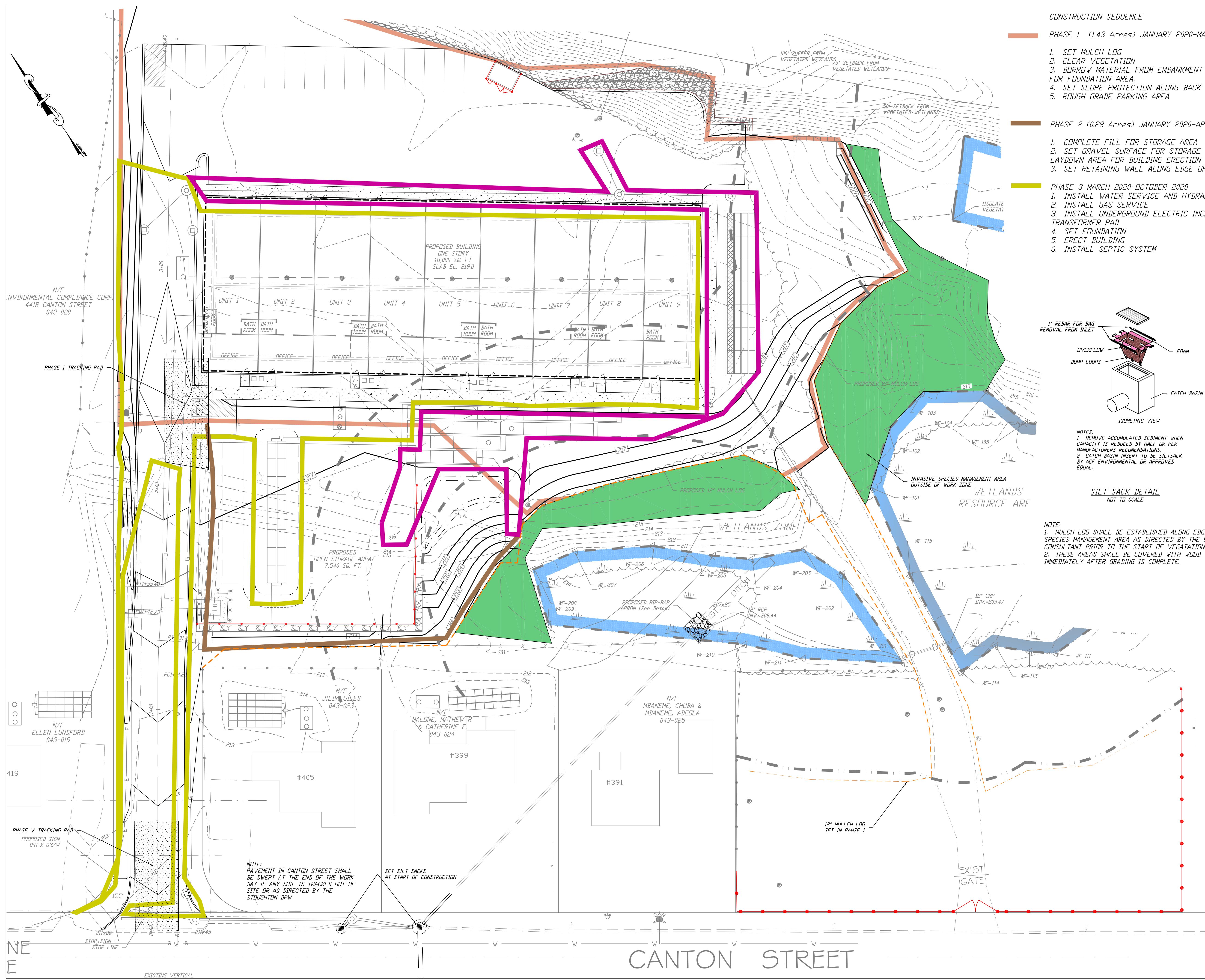
SCALE IN FEET

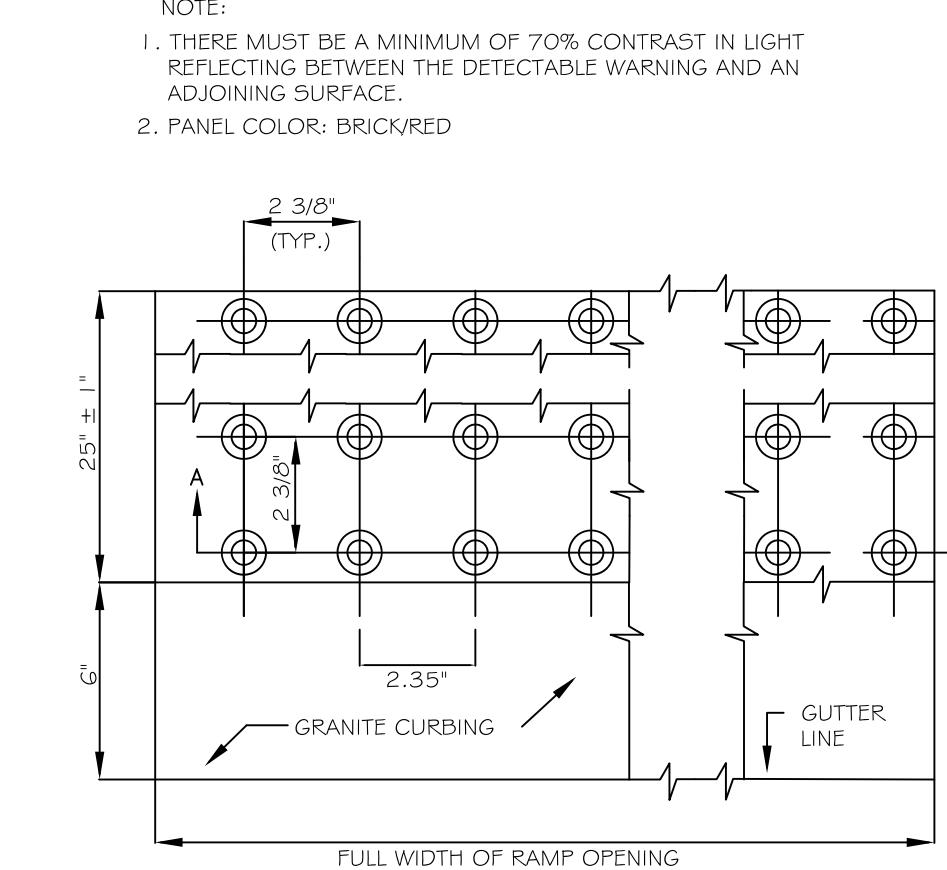
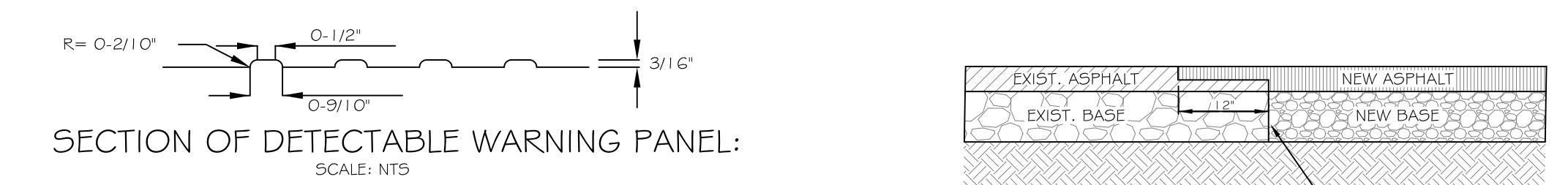
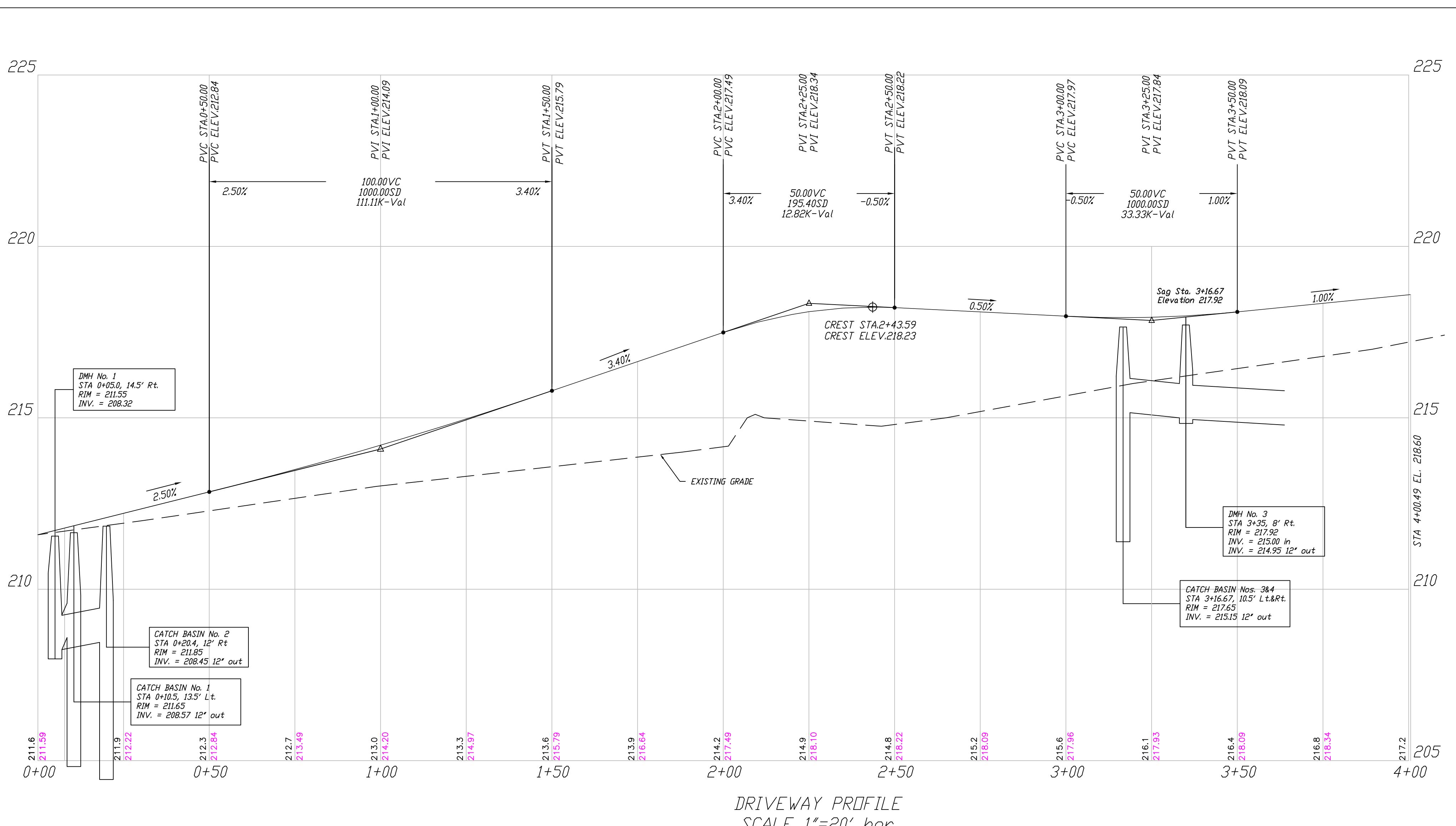
LEGEND

○ Gv	IRON PIPE OR ROD FOUND
△ W	GAS VALVE
△	WATER VALVE
○ H	FIRE HYDRANT
○ U	UTILITY POLE
○ L	LIGHT POLE
○ S	SEWER MANHOLE
○ D	DRAIN MANHOLE
■ ○	CATCH BASIN
— —	EXTERIOR SIGN
○ W	OBSERVATION WELL
— — X X	FENCE
○○○○○	STONE WALL
— — —	CURB
— — OW	OVERHEAD WIRES
— — UE	UNDERGROUND ELECTRIC
— — T	TELEPHONE LINES
— — W	WATER SERVICE
— — G	GAS SERVICE
— — SS	SANITARY SEWER SERVICE
— — SD	STORM DRAIN
— — 100	EXISTING CONTOURS
100 X O	SPOT SHOT ELEVATIONS
○○○○	TREE LINE
△ WF 208	WETLAND DELINEATION FLAG

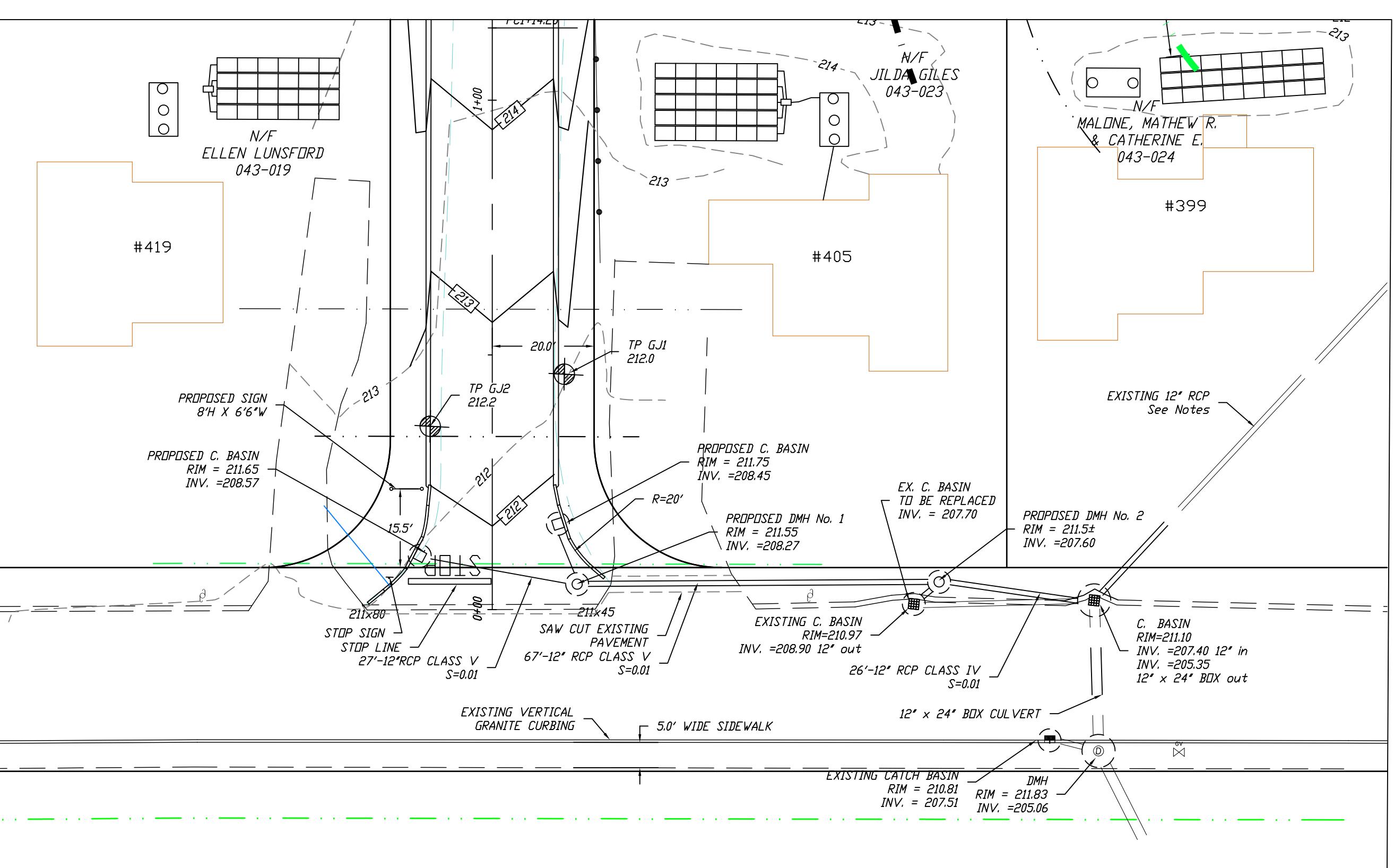
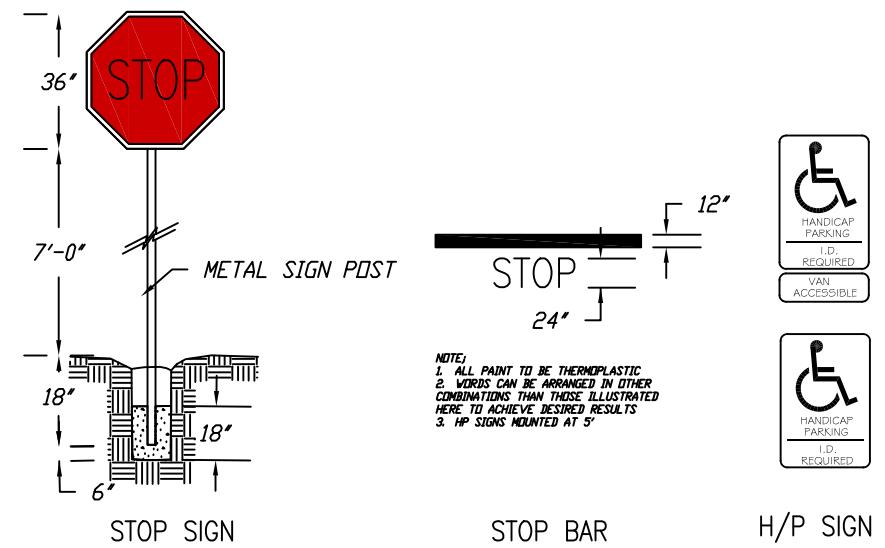




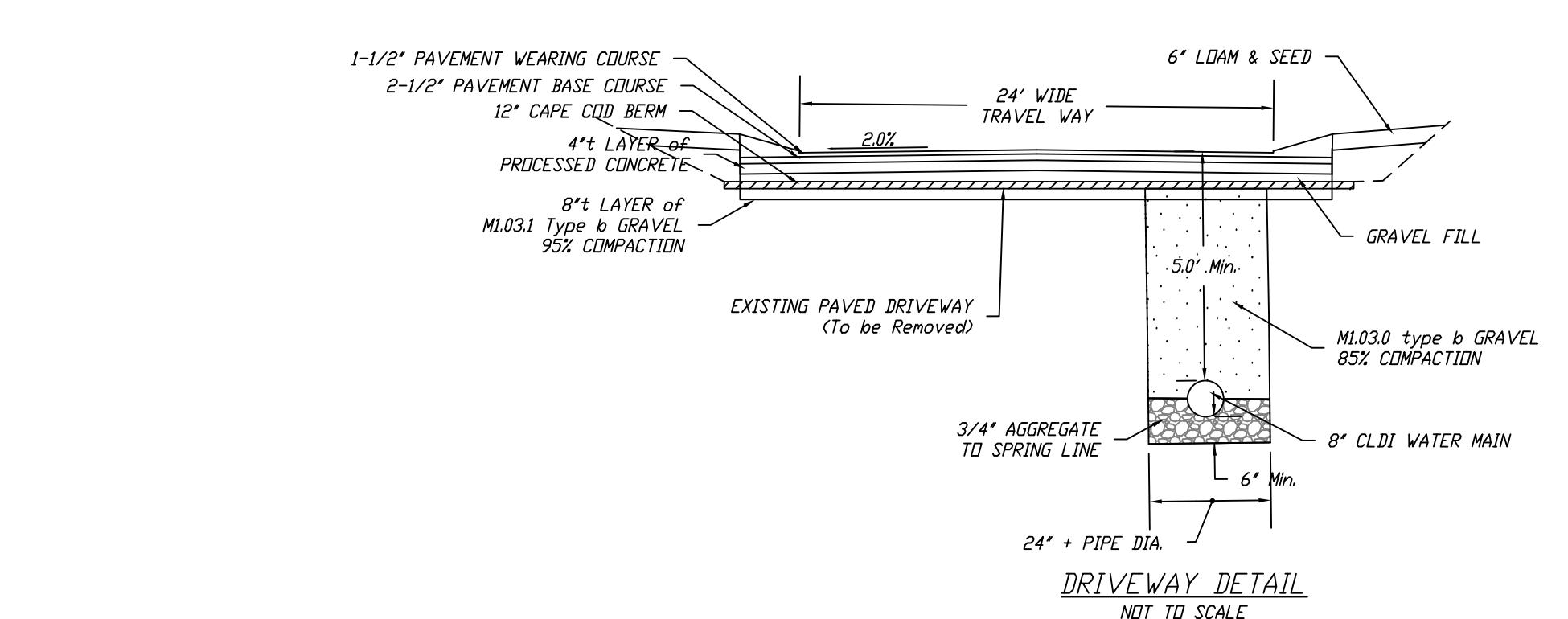
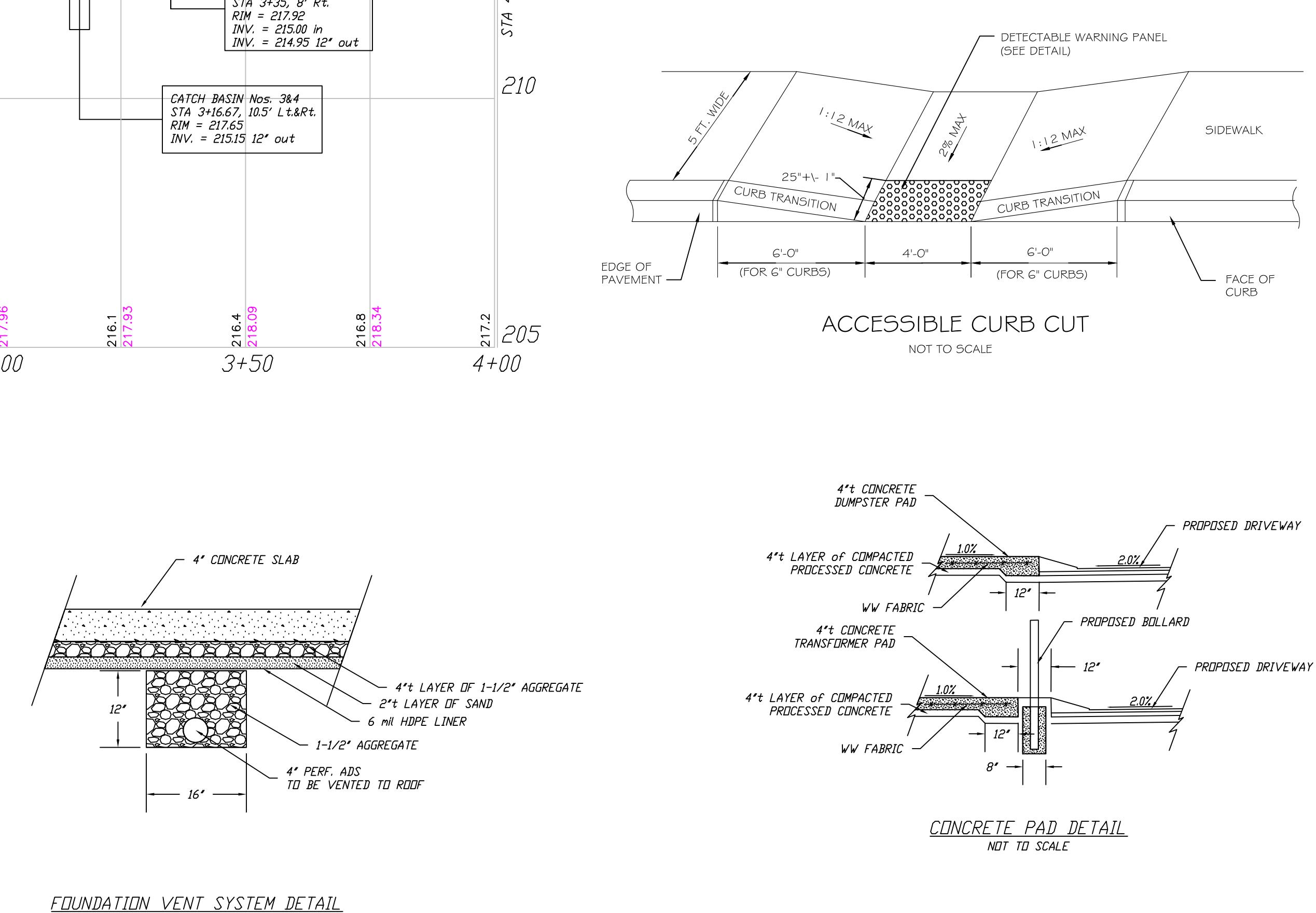




Sawcut Detail
NOT TO SCALE



NOTE:
SILT SACKS SHALL BE INSTALLED IN THE 3 CATCH BASINS IN CANTON STREET
AT THE START OF CONSTRUCTION. SEE DETAIL SHEET 8 OF 11



OWNER/APPLICANT

HERSEE PROPERTIES, INC.
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DETAIL SHEET
SITE PLAN
409 CANTON STREET
STOUGHTON, MA

SCALE: 1"=20' DATE: SEPTEMBER 5, 2019

JAMES ENGINEERING, INC.
125 GREAT ROCK ROAD
HANOVER, MASS. 02339
TEL: 1-(781)-878-1795
email: jameseng125_gary@msn.com

20' 0' 20' 40' 60'
SCALE IN FEET

