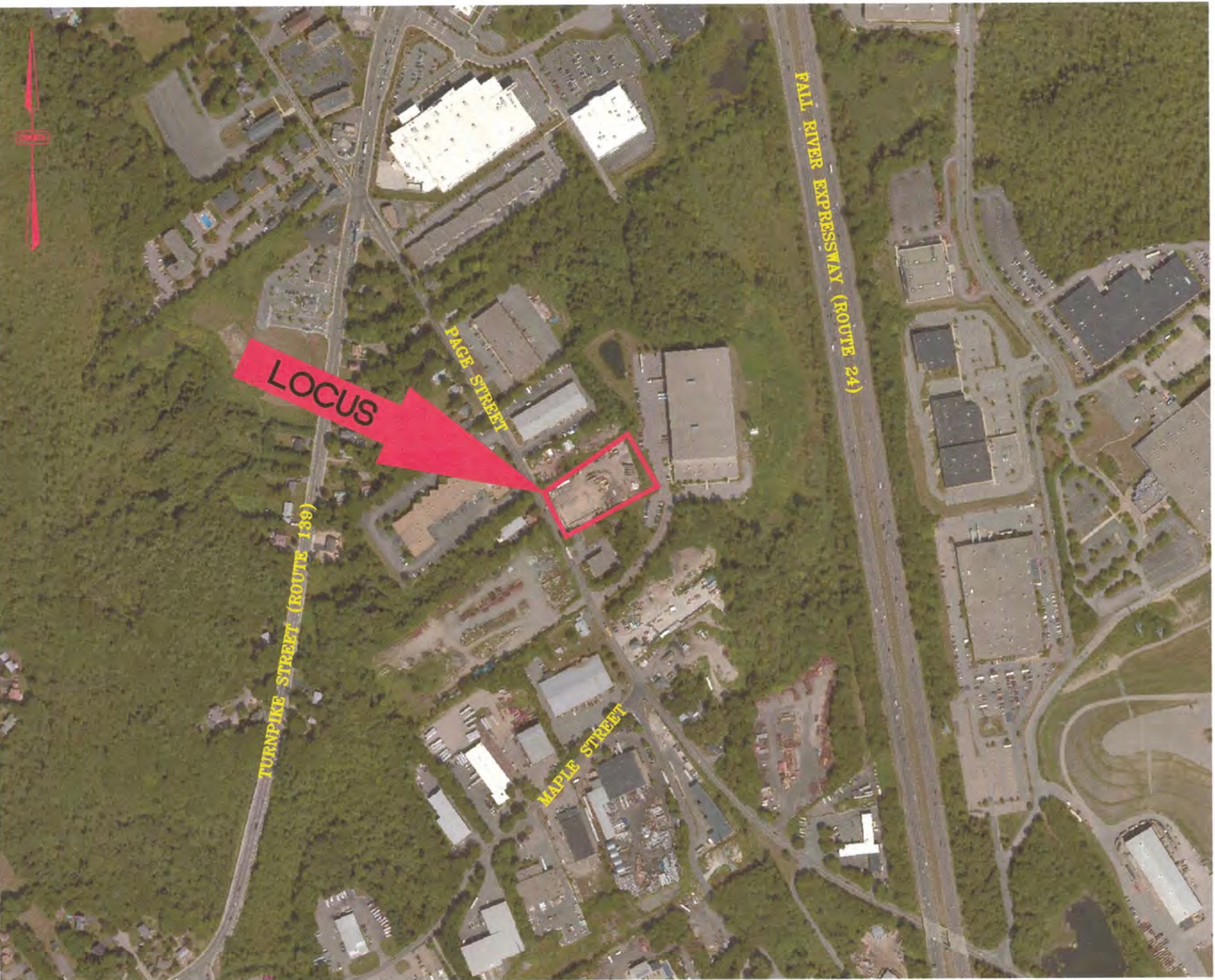
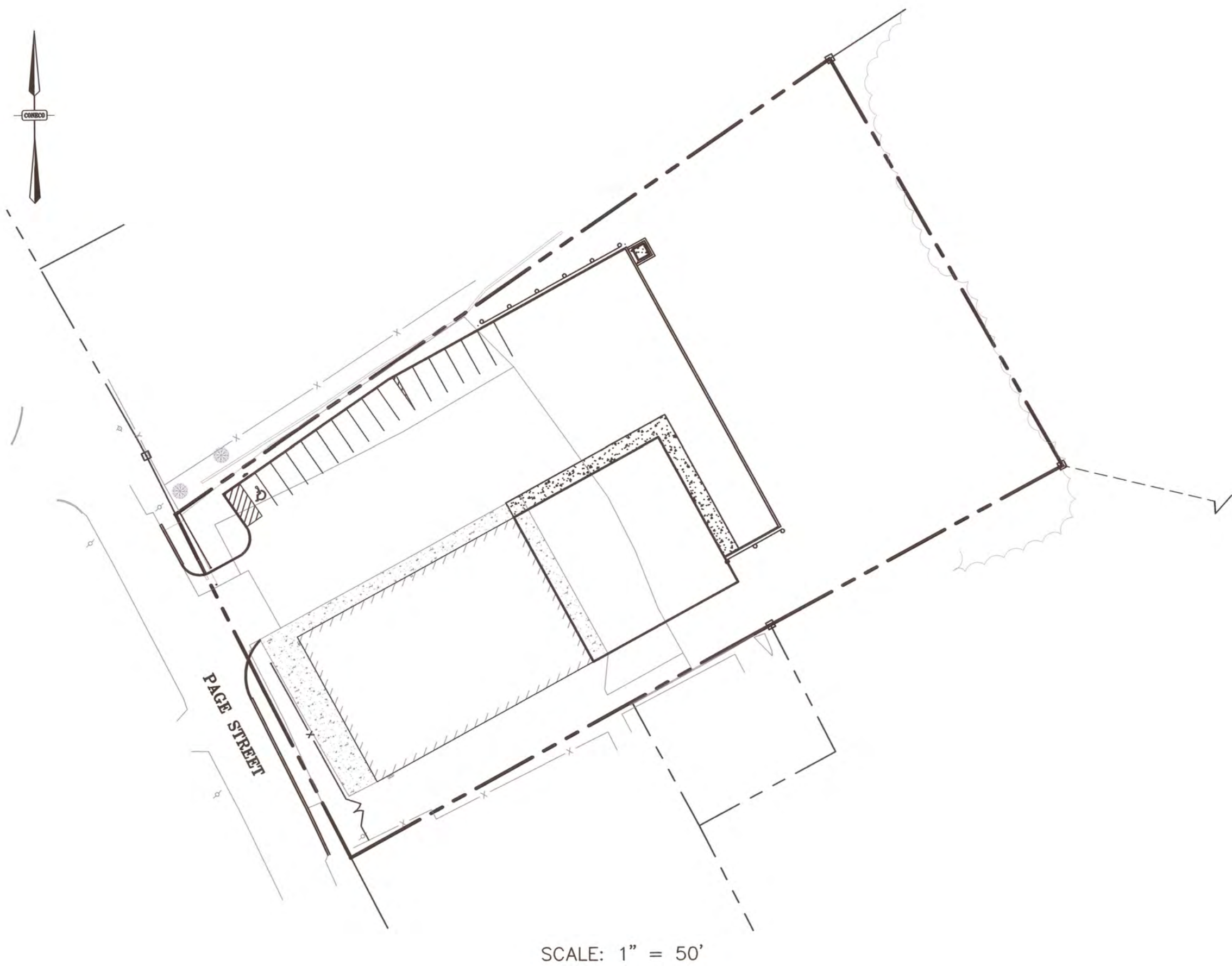


BUILDING ADDITION PERMITTING PLANS

357 PAGE STREET STOUGHTON, MASSACHUSETTS 02072



2014 DIGITAL GLOBE AERIAL PHOTO
SCALE: 1" = 500'



DESCRIPTION	SHEET
COVER SHEET	1
NOTES & LEGEND	2
EXISTING CONDITIONS	3
DEMOLITION & EROSION CONTROL PLANS	4
SITE LAYOUT & UTILITIES PLANS	5
SITE GRADING & DRAINAGE PLANS	6
LANDSCAPING & LIGHTING PLAN	7
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PLANNING BOARD DECISION	12

SITE INFORMATION:

ZONING DISTRICT: INDUSTRIAL - I
TOTAL GROSS AREA: 1.84 Ac.
TOTAL BUILDING AREA: 0.37 Ac.
TOTAL PAVEMENT & PARKING AREA: 0.56 Ac.

WAIVERS REQUESTED:

3.1.4(E.13) - FENCING WILL BE 6 FT IN HEIGHT AND LOCATED AS SHOWN
6.4.3(6) - SLOPES GREATER THEN 35% AND TREATED AS SHOWN
6.4.7(3) - LANDSCAPING STRIP ALONG FOUNDATION WALL NOT PROVIDED
10.6.9(19) - BUILDING ELEVATIONS NOT PROVIDED
10.6.9(23) - PROPOSED CONSTRUCTION SCHEDULE NOT PROVIDED

PREPARED FOR:

357 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

PREPARED ON:
DECEMBER 12, 2019
REVISED: MARCH 11, 2020



C O N E C O

Engineers & Scientists

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE: 508.697.3191, FAX: 508.697.5996
WEBSITE: www.coneco.com

ENGINEER:
JOHN C. SPINK, P.E.
CONECO ENGINEERS & SCIENTISTS, INC.
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #30097

DATE: _____

SURVEYOR:
TIMOTHY S. BODAH, P.L.S.
CONECO ENGINEERS & SCIENTISTS, INC.
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR #46110

DATE: 3-11-2020

PLANNING BOARD ENDORSEMENT FOR TOWN OF
STOUGHTON SITE PLAN APPROVAL

DATE OF APPROVAL: _____
DATE OF ENDORSEMENT: _____

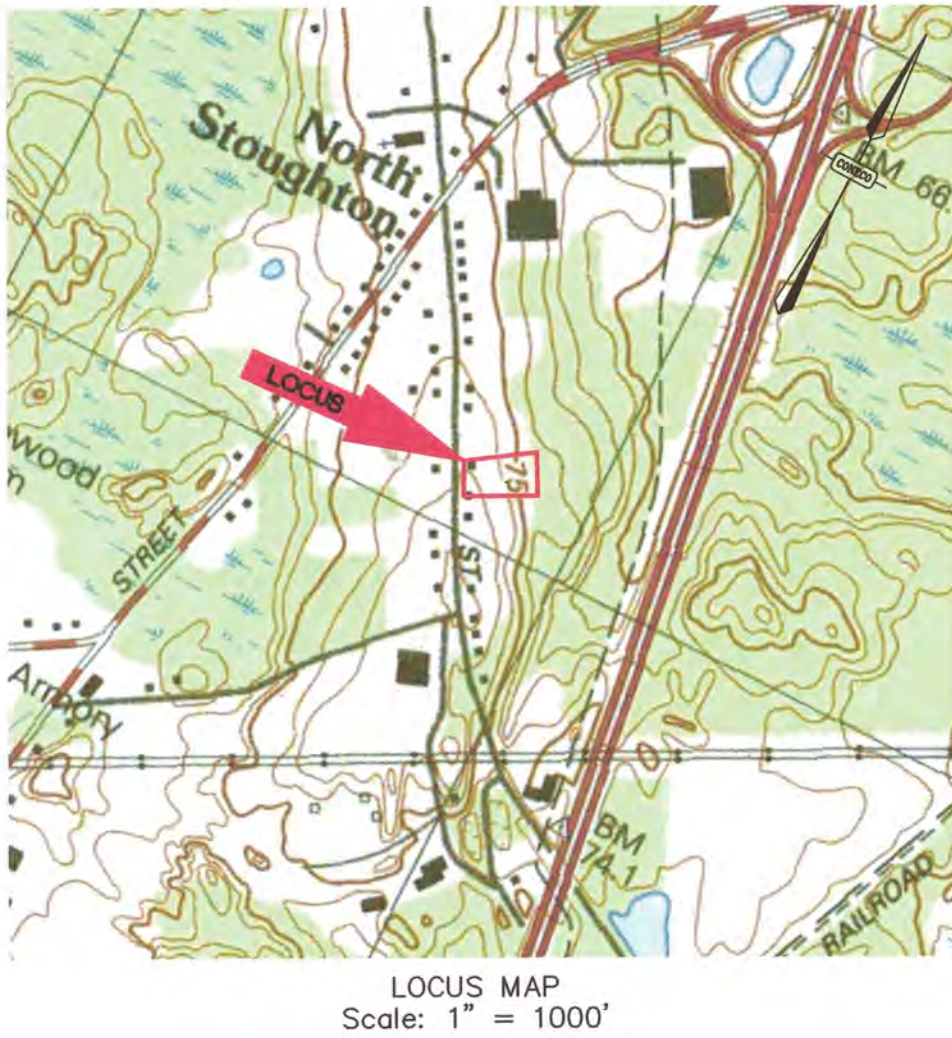
STOUGHTON PLANNING BOARD

BUILDING ADDITION				
357 PAGE STREET, STOUGHTON, MASSACHUSETTS 02072				
REVISIONS				
NO.	DATE	DESCRIPTION	DR/CK	
1	02/04/2020	PER TOWN COMMENTS	DJD/JEN	
2	02/20/2020	PER TOWN COMMENTS	DJD/JEN	
3	03/11/2020	PER TOWN COMMENTS	DJD/JEN	

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		PROPERTY LINE ABUTTER
		EASEMENT LINE
		MAJOR GROUND CONTOUR
		MINOR GROUND CONTOUR
		EDGE OF PAVEMENT
		CURB
		CAPE COD BERM
		BUILDING
		TREE LINE
		ROCK WALL
		DRAINAGE LINE
		CHAIN LINK FENCE
		GAS LINE
		WATER LINE
		SEWER LINE
		OVERHEAD WIRE
		SEWER MANHOLE
		DRAIN MANHOLE
		CATCH BASIN
		DOUBLE CATCH BASIN
		TEST PIT
		UTILITY POLE
		GUY WIRE
		MOUNTED LIGHT
		BOUND W/ DRILL HOLE
		WATER VALVE
		GAS GATE
		HYDRANT
		PARKING SPACE COUNT
		SEWER CLEAN OUT
		FLARED END SECTION

ABBREVIATIONS	
ABBREV.	DESCRIPTION
BIT.	BITUMINOUS
BLDG	BUILDING
BM	BENCH MARK
CB	CATCH BASIN
CBDH	CONCRETE BOUND DRILL HOLE
CCB	CAPE COD BERM
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CI	CAST IRON
CK	CHECKED
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC.	CONCRETE
CPD	CONCRETE PAD
CRD	COORDINATE
CY	CUBIC YARD
DBL	DOUBLE
DCB	DOUBLE CATCH BASIN
DH	DRILL HOLE
DIA.	DIAMETER
DIM.	DIMENSION
DMH	DRAIN MANHOLE
DR	DRAWN
DW	DOMESTIC WATER OR DRY WELL
E	EAST
ELEV.	ELEVATION
EM	ELECTRIC METER
EOP	EDGE OF PAVEMENT
EXIST.	EXISTING
FES	FLARED END SECTION
FFE	FIRST FLOOR ELEVATION
FT	FOOT OR FEET
GG	GAS GATE
GM	GAS METER
HDPE	HIGH DENSITY POLYETHYLENE
HYD	HYDRANT
ID	INSIDE DIAMETER
IN	INCHES
INV., I	INVERT
IP	IRON PIPE
L	LENGTH
LP	LIGHT POLE
LS	LANDSCAPING
MAX	MAXIMUM
MIN	MINIMUM
N	NORTH
NAVD	NORTH AMERICAN VERTICAL DATUM
NO	NUMBER
NTS	NOT TO SCALE
N/E	NOT ENCOUNTERED
N/F	NOW OR FORMERLY
OC	ON CENTER
OHW	OVERHEAD WIRE
PL	PROPERTY LINE
PROP., P	PROPOSED
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
R	RIM
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
REQ'D	REQUIRED
S	SLOPE OR SOUTH
SBDH	STONE BOUND DRILL HOLE
SCH	SCHEDULE
STC	STORMCEPTOR CATCH BASIN
	(WATER QUALITY CATCH BASIN)
SF	SQUARE FEET
SMH	SEWER MANHOLE
SPEC.	SPECIFICATION
TB	TEST BORING
T	TREE
TP	TEST PIT
TYP.	TYPICAL
UP	UTILITY POLE
W	WEST
W/	WITH
WV	WATER VALVE
WM	WATER METER

NOTES	
GENERAL:	
1. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" (1-888-DIGSAFE) AT LEAST 72 HOURS (3 BUSINESS DAYS) BEFORE EXCAVATING.	
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	
3. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS.	
4. SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.	
5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	
7. SITE CLEARING SHALL BE LIMITED TO THE EROSION CONTROL LINE AND/OR THE LIMIT OF GRADING IN AREAS WHERE EROSION CONTROL LINE IS NOT REQUIRED. CARE SHOULD BE TAKEN TO PROTECT EXISTING TREES OUTSIDE OF THIS LINE, THEREBY MAINTAINING A NATURAL BUFFER TO THE GREATEST EXTENT POSSIBLE.	
8. DEGRADED AND DAMAGED EROSION CONTROLS TO BE REPLACED BY THE CONTRACTOR UNTIL FINAL SOIL STABILIZATION METHODS HAVE BEEN ESTABLISHED.	
9. ALL PROPOSED ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESS ROUTES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) STANDARDS FOR ACCESSIBLE DESIGN, MASSACHUSETTS 521 CMR ARCHITECTURAL ACCESS BOARD, AND MASSDOT STANDARDS UNLESS OTHERWISE NOTED.	
10. ALL PROPOSED ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% AND A MINIMUM SLOPE OF 1.5%.	
11. ALL PROPOSED ACCESSIBLE ACCESS ROUTES SHALL HAVE A MAXIMUM SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.	
12. ALL PROPOSED CATCH BASINS TO COMPLY WITH AMERICANS WITH DISABILITIES ACT STANDARDS WHICH WILL HAVE PERFORATED GRATE, NOT SLOTTED, STYLE COVERS UNLESS OTHERWISE NOTED.	
13. DRAINAGE AND SEWER STRUCTURE COVERS SHALL BE SET FLUSH WITH PAVEMENT, CONCRETE, AND ALL SURFACE TYPES ALONG ACCESSIBLE ROUTES.	
14. AREAS OF PROPOSED STORMWATER INFILTRATION FACILITIES SHALL BE ROPED OR FENCED OFF TO PROTECT THE IN SITU SOIL FROM COMPACTION AND SEDIMENTATION. HEAVY EQUIPMENT AND TEMPORARY SEDIMENT BASINS SHALL NOT BE ALLOWED IN THESE AREAS.	
LAYOUT & MATERIALS:	
1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.	
2. CONCRETE BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.	
EXISTING CONDITIONS INFORMATION:	
1. THE PROPERTY IS REFERENCED BY THE TOWN OF STOUGHTON ASSESSOR AS ASSESSOR'S MAP 94, PARCEL 32.	
2. OWNER OF RECORD ACCORDING TO ASSESSORS RECORDS: 357 PAGE STREET, LLC BOOK 33541, PAGE 245 LAND COURT PLAN NO. 33755-A & 33755-B PLAN 420 OF 1964	
3. ELEVATIONS REFER TO NAVD 88.	
4. TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM A FIELD SURVEY PERFORMED BY CONCECO ENGINEERS & SCIENTISTS ON SEPTEMBER 5, 2019.	
5. THE PROPERTY IS LOCATED IN ZONE X AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25021C0214E DATED JULY 17, 2012.	
6. THE PROPERTY IS LOCATED WITHIN THE FARM RIVER AND GREAT POND OUTSTANDING RESOURCE WATERS PUBLIC WATER SUPPLY WATERSHED WITHIN THE BOSTON HARBOR BASIN.	
6. THE PROPERTY IS LOCATED WITHIN THE WATERSHED AQUIFER PROTECTION AREA (ZONE C SURFACE WATER).	
7. UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.	
8. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.	
LANDSCAPING:	
1. ALL AREAS CLEARED AND/OR DISTURBED SHALL BE BROUGHT TO WITHIN 4 INCHES OF FINAL GRADE AND FINISHED WITH 4 INCHES OF LOAM AND SEED EXCEPT WHERE OTHER FINISHES ARE PROPOSED (REFER TO PLANS).	
2. CONTRACTOR IS RESPONSIBLE FOR REPLACING (IN KIND) ALL DEAD OR DYING PLANT MATERIAL FOR A PERIOD OF 2 YEARS AFTER INITIAL PLANTING.	
UTILITIES:	
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.	
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.	
3. SET CATCH BASIN RIMS, AND INVERTS OF DRAINS AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND DRAINAGE PLAN.	
4. RIM ELEVATIONS FOR DRAIN MANHOLES AND OTHER SUCH ITEMS ARE APPROXIMATE AND SHALL BE ADJUSTED AS FOLLOWS: <ul style="list-style-type: none">PAVEMENTS, CONCRETE SURFACES, AND ALL SURFACE TYPES ALONG ACCESSIBLE ROUTES- SET FLUSH WITH FINISH GRADES.LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS- SET 1 INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.	
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.	
6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITY COMPANY.	
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN: <ul style="list-style-type: none">STORM DRAINAGE PIPES SHALL BE DOUBLE WALL, SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE (HDPE)	



357 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

BUILDING ADDITION
357 PAGE STREET
STOUGHTON, MASSACHUSETTS 02072

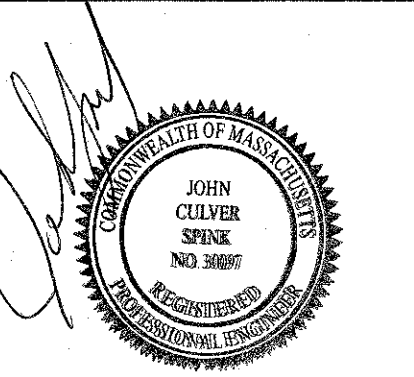
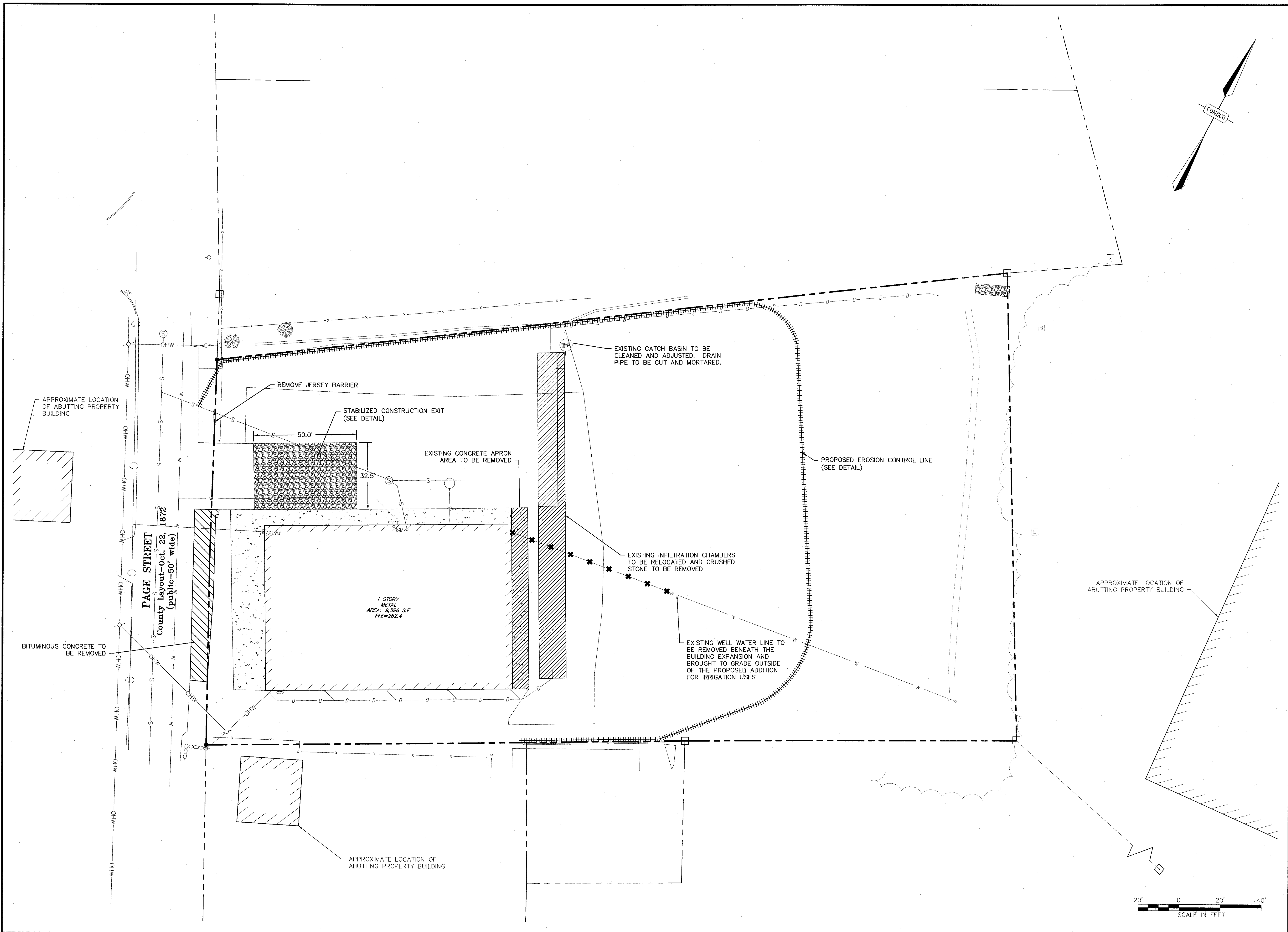
CONCECO
Engineers & Scientists
4 FIRST STREET, BROCKWATER, MASSACHUSETTS 02224
PHONE 508-697-3110 FAX 508-697-5996
WEBSITE: www.conceco.com

DR/CK	DESCRIPTION	D/D/JEN					
	PER TOWN COMMENTS						
DATE	02/04/2020						
NO.	1						

NOTES & LEGEND

PERMITTING PLANS

DATE	12/12/2019
DESIGNED: DJD	CHECKED: JCS
DRAFTED: DJD	IN CHARGE: JEN
SCALE:	AS SHOWN
PROJECT NO.	7966.1
SHEET NO.	2 OF 11



REVISIONS		DATE	DESCRIPTION	DR/CK
NO.	1	02/04/2020	PER TOWN COMMENTS	DJD/JEN

PREPARED FOR:
357 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

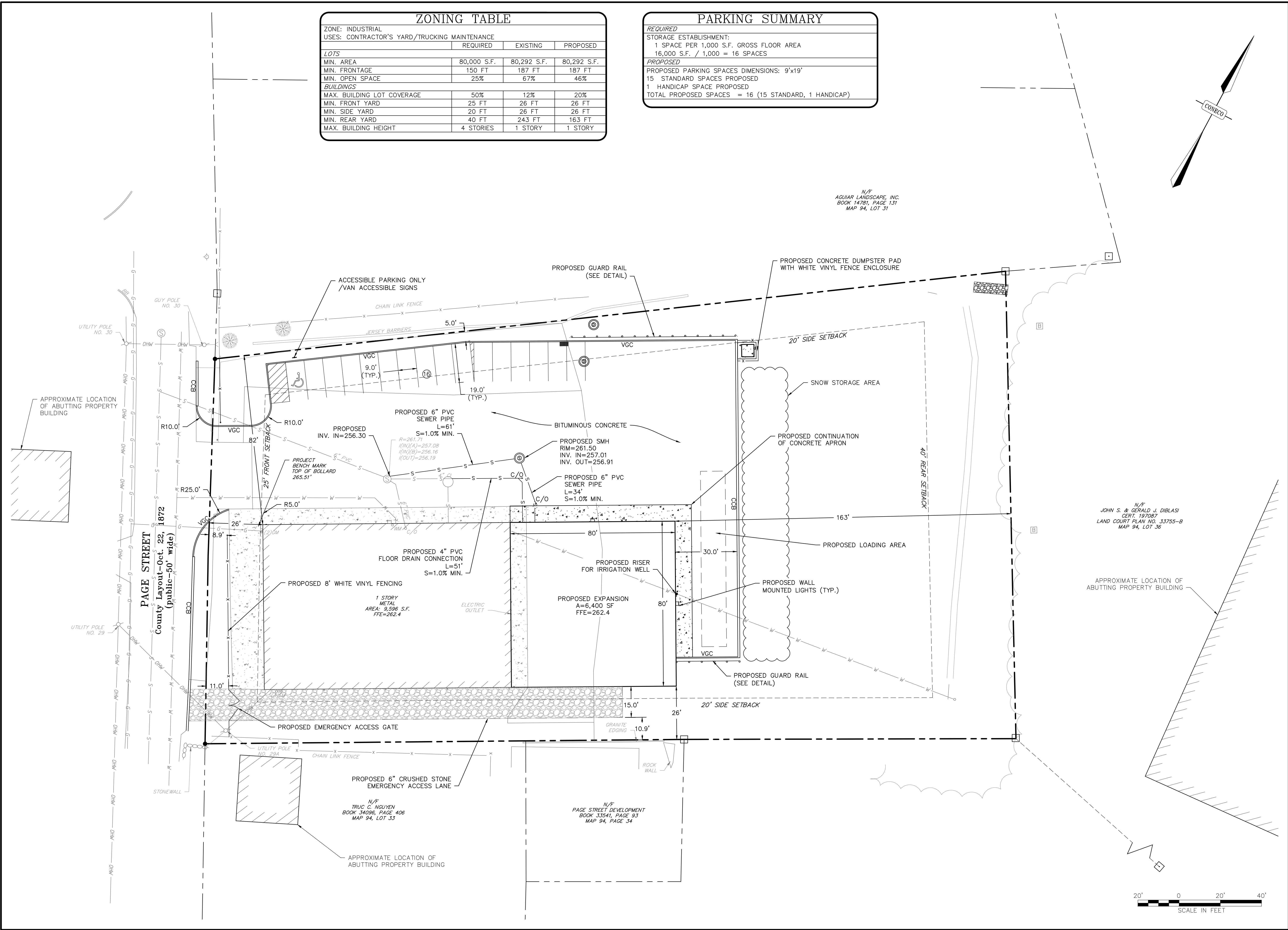
DRAWING:
DEMOLITION &
EROSION CONTROL PLANS

PROJECT:
BUILDING ADDITION
357 PAGE STREET
STOUGHTON, MASSACHUSETTS 02072

PLAN SET:
PERMITTING PLANS

CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355; FAX 508-697-5996
WEBSITE: www.coneco.com

DATE: 12/12/2019
DESIGNED: DJD CHECKED: JCS
DRAFTED: DJD IN CHARGE: JEN
SCALE: 1" = 20'
PROJECT NO. 7966.1
SHEET NO.



ZONING TABLE			
ZONE: INDUSTRIAL			
USES: CONTRACTOR'S YARD/TRUCKING MAINTENANCE			
	REQUIRED	EXISTING	PROPOSED
LOTS			
MIN. AREA	80,000 S.F.	80,292 S.F.	80,292 S.F.
MIN. FRONTAGE	150 FT	187 FT	187 FT
MIN. OPEN SPACE	25%	67%	46%
BUILDINGS			
MAX. BUILDING LOT COVERAGE	50%	12%	20%
MIN. FRONT YARD	25 FT	26 FT	26 FT
MIN. SIDE YARD	20 FT	26 FT	26 FT
MIN. REAR YARD	40 FT	243 FT	163 FT
MAX. BUILDING HEIGHT	4 STORIES	1 STORY	1 STORY

PARKING SUMMARY	
REQUIRED	
STORAGE ESTABLISHMENT:	
1 SPACE PER 1,000 S.F. GROSS FLOOR AREA	
16,000 S.F. / 1,000 = 16 SPACES	
PROPOSED	
PROPOSED PARKING SPACES DIMENSIONS: 9'x19'	
15 STANDARD SPACES PROPOSED	
1 HANDICAP SPACE PROPOSED	
TOTAL PROPOSED SPACES = 16 (15 STANDARD, 1 HANDICAP)	

REVISIONS		NO.	DATE	DESCRIPTION	DR/CK
		1	02/04/2020	PER TOWN COMMENTS	DJD/JEN
		2	02/20/2020	PER TOWN COMMENTS	DJD/JEN
		3	03/11/2020	PER TOWN COMMENTS	DJD/JEN

PREPARED FOR:
357 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

PROJECT:
BUILDING ADDITION
357 PAGE STREET
STOUGHTON, MASSACHUSETTS 02072

DATE:
12/12/2019

PERMITTING PLANS

SITE LAYOUT & UTILITIES PLAN

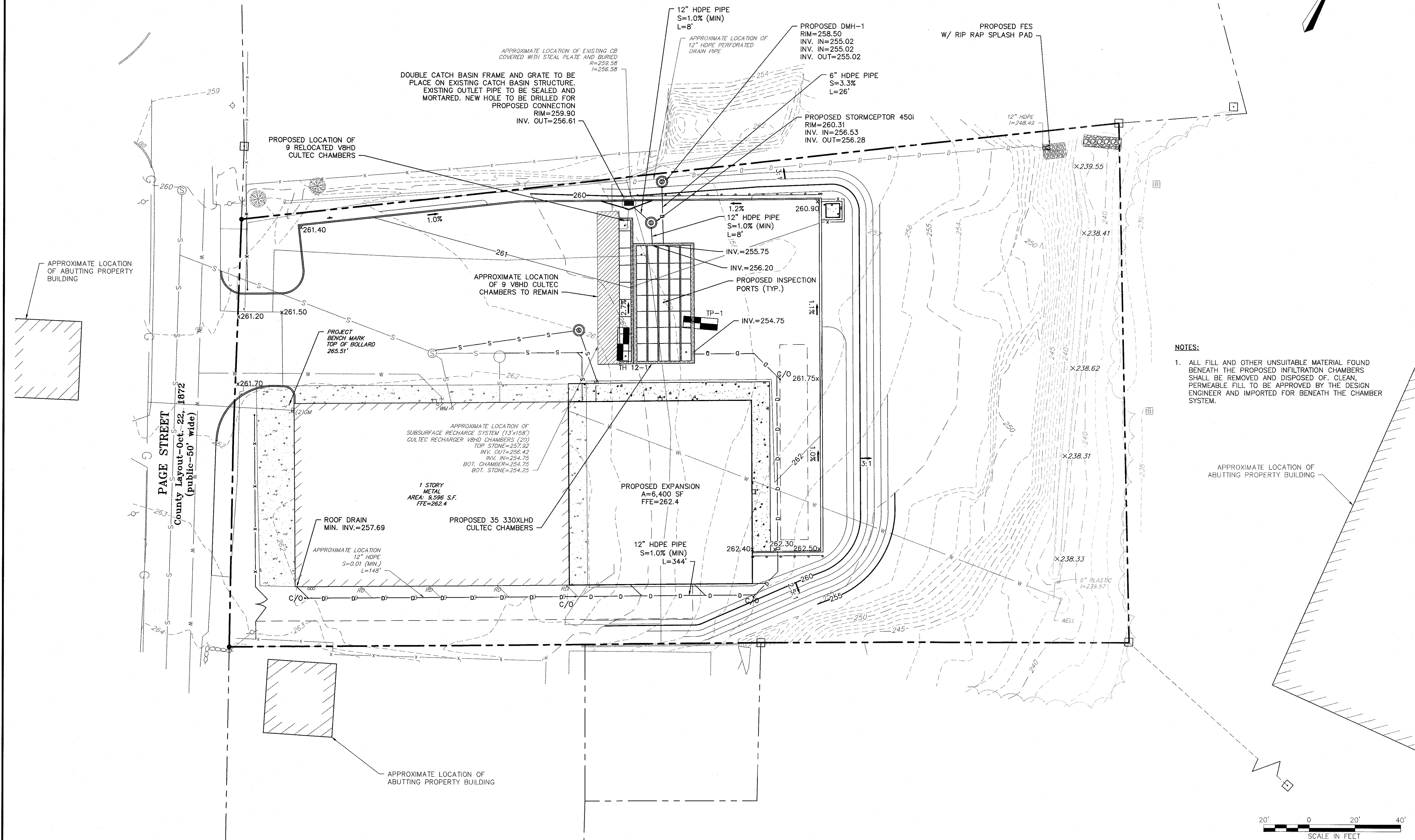
Engineers & Scientists

1 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3100 FAX 508-697-5996
WEBSITE: www.coneco.com

DESIGNED:	DJD	CHECKED:	JCS
DRAFTED:	DJD	IN CHARGE:	JEN
SCALE:	1" = 20'		
PROJECT NO.	7966.1		
SHEET NO.	5		

OF 12

INFILTRATION TRENCH SUMMARY TABLE												
SYSTEM	TOTAL STORAGE VOLUME (C.F.)	APPROXIMATE FINISHED GRADE	TRENCH INFORMATION				CHAMBER INFORMATION					
			TOP ELEVATION	BOTTOM ELEVATION	MINIMUM LENGTH	MINIMUM WIDTH	INVERT IN	PIPE	TOP ELEVATION	BOTTOM ELEVATION	NUMBER OF UNITS	ADJUSTED COMBINED
EXISTING V8HD	1,809	260.1 - 261.9	257.92	254.25	63'-8"	12'-6"	254.75	6"	257.42	254.75	18	61'-8"
PROPOSED 330XLHD	3,038	260.5 - 261.9	257.79	254.25	52'-6"	25'-8"	254.75	6"	257.29	254.75	35	50'-6"



- NOTES:**
1. ALL FILL AND OTHER UNSUITABLE MATERIAL FOUND BENEATH THE PROPOSED INFILTRATION CHAMBERS SHALL BE REMOVED AND DISPOSED OF. CLEAN, PERMEABLE FILL TO BE APPROVED BY THE DESIGN ENGINEER AND IMPORTED FOR BENEATH THE CHAMBER SYSTEM.

DR/CK

DESCRIPTION

DATE

NO.

D.D./JEN

PER TOWN COMMENTS

02/04/2020

1

357 PAGE STREET, LLC

23 HIGHFIELD ROAD

ROSLINDALE, MASSACHUSETTS 02131

PREPARED FOR

DRAWING

BUILDING ADDITION

357 PAGE STREET

STOUGHTON, MASSACHUSETTS 02072

PROJECT

PLAN SET

CONECO

Engineers & Scientists

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PHONE 508-697-3191 OR 800-548-3355 FAX 508-697-5996

WEBSITE: www.coneco.com

DATE

DESIGNED: DJD

DRAFTED: DJD

SCALE:

PROJECT NO.

SHEET NO.

12/12/2019

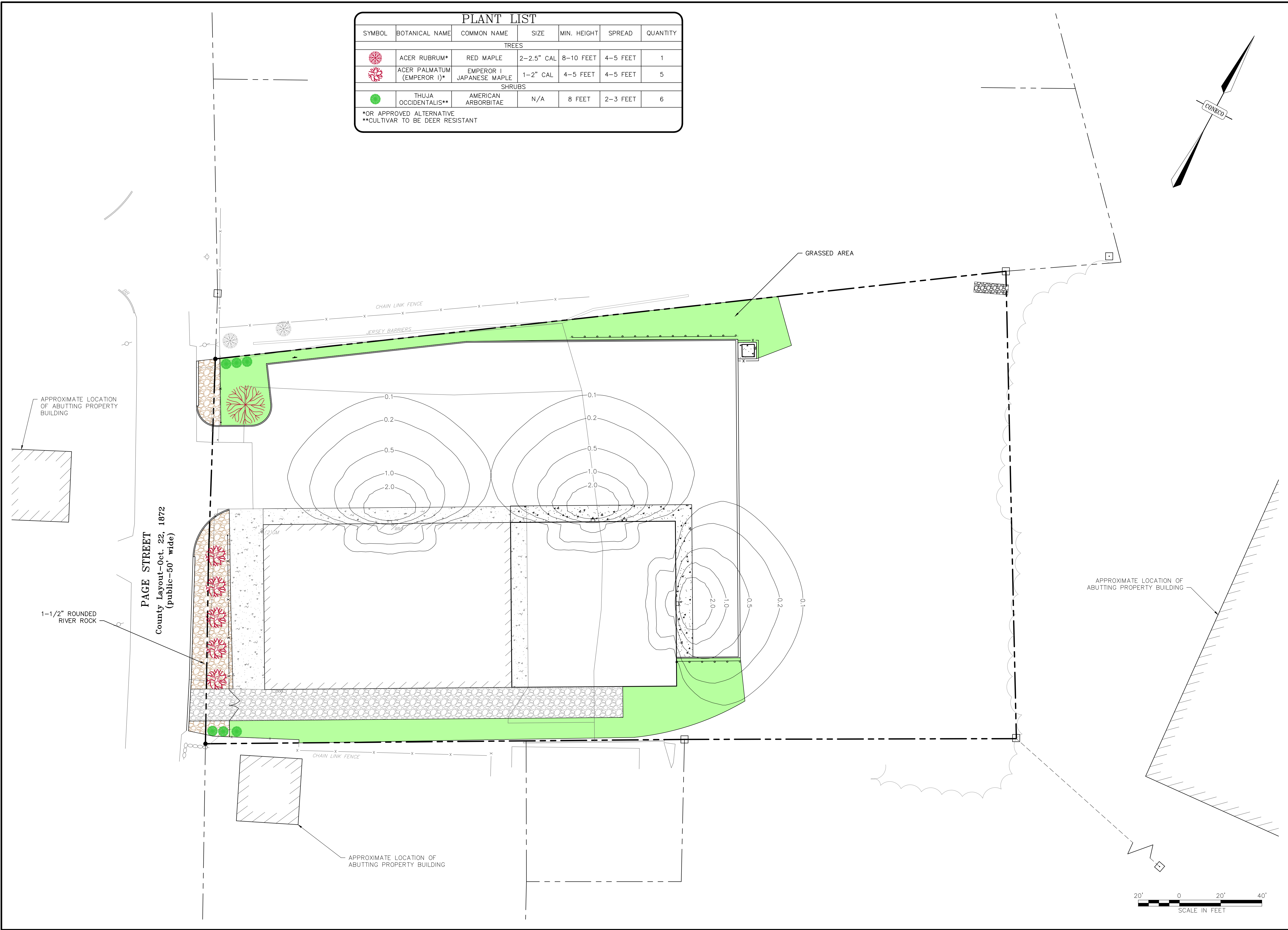
CHECKED: JCS




IN CHARGE: JEN


1" = 20'

7966.1

6



PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MIN. HEIGHT	SPREAD	QUANTITY
TREES						
	ACER RUBRUM*	RED MAPLE	2-2.5" CAL	8-10 FEET	4-5 FEET	1
	ACER PALMATUM (EMPEROR I)*	EMPEROR I JAPANESE MAPLE	1-2" CAL	4-5 FEET	4-5 FEET	5
SHRUBS						
	THUJA OCCIDENTALIS**	AMERICAN ARBORVITAE	N/A	8 FEET	2-3 FEET	6
*OR APPROVED ALTERNATIVE						
**CULTIVAR TO BE DEER RESISTANT						



REVISIONS		NO.	DATE	DESCRIPTION	DR/CK
		1	02/04/2020	PER TOWN COMMENTS	DJD/JEN
		2	02/20/2020	PER TOWN COMMENTS	DJD/JEN
		3	03/11/2020	PER TOWN COMMENTS	DJD/JEN

PREPARED FOR:
357 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

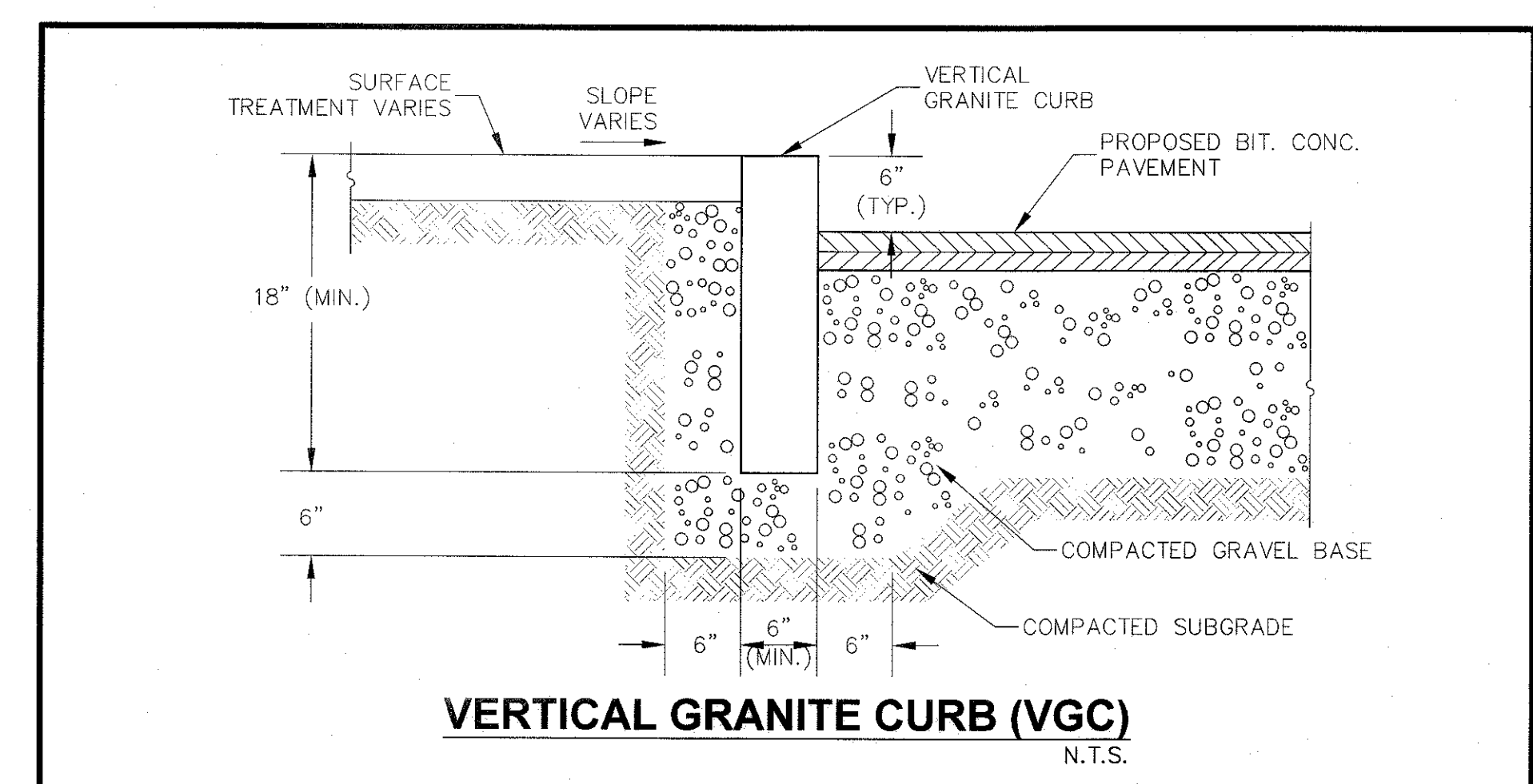
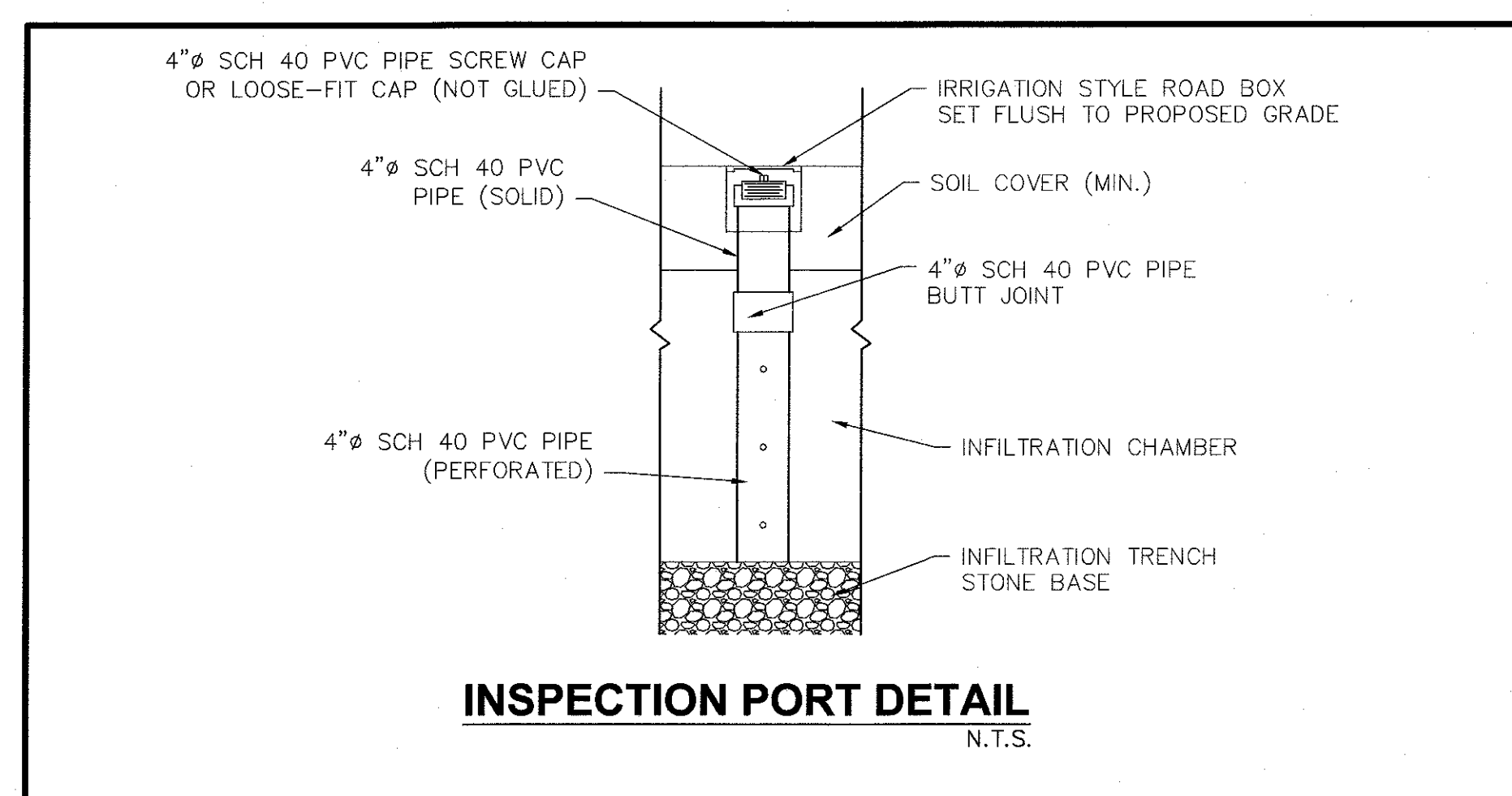
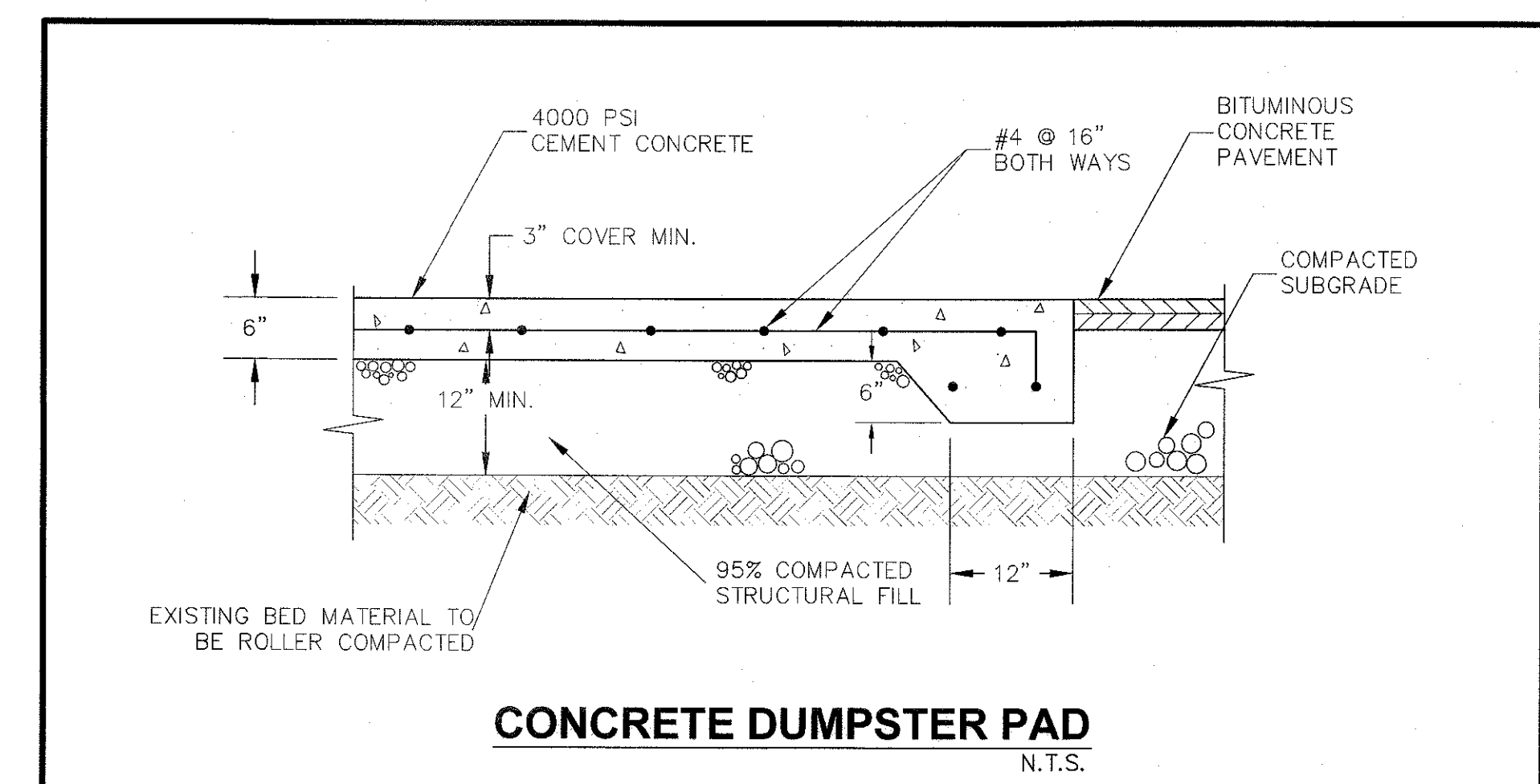
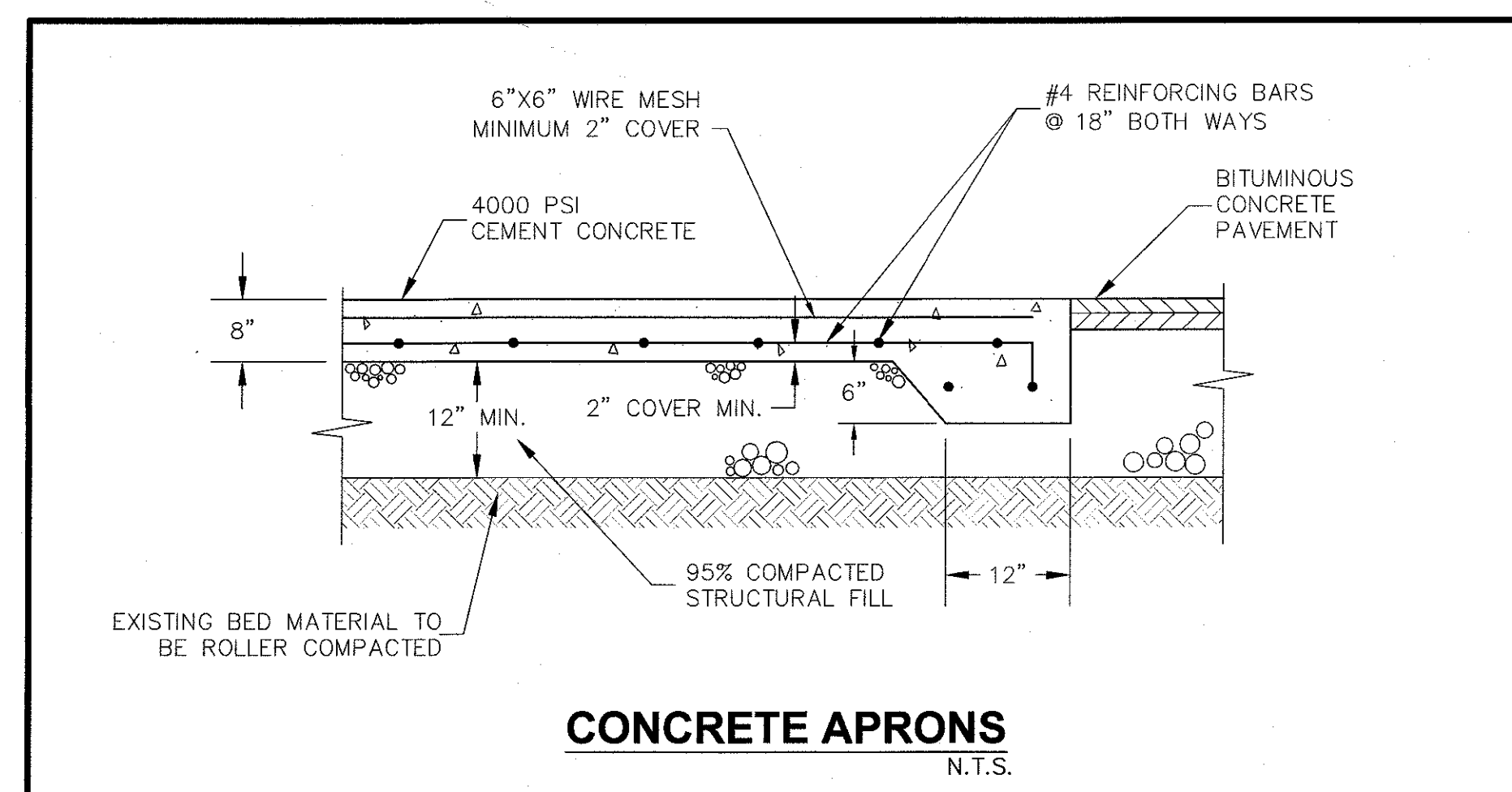
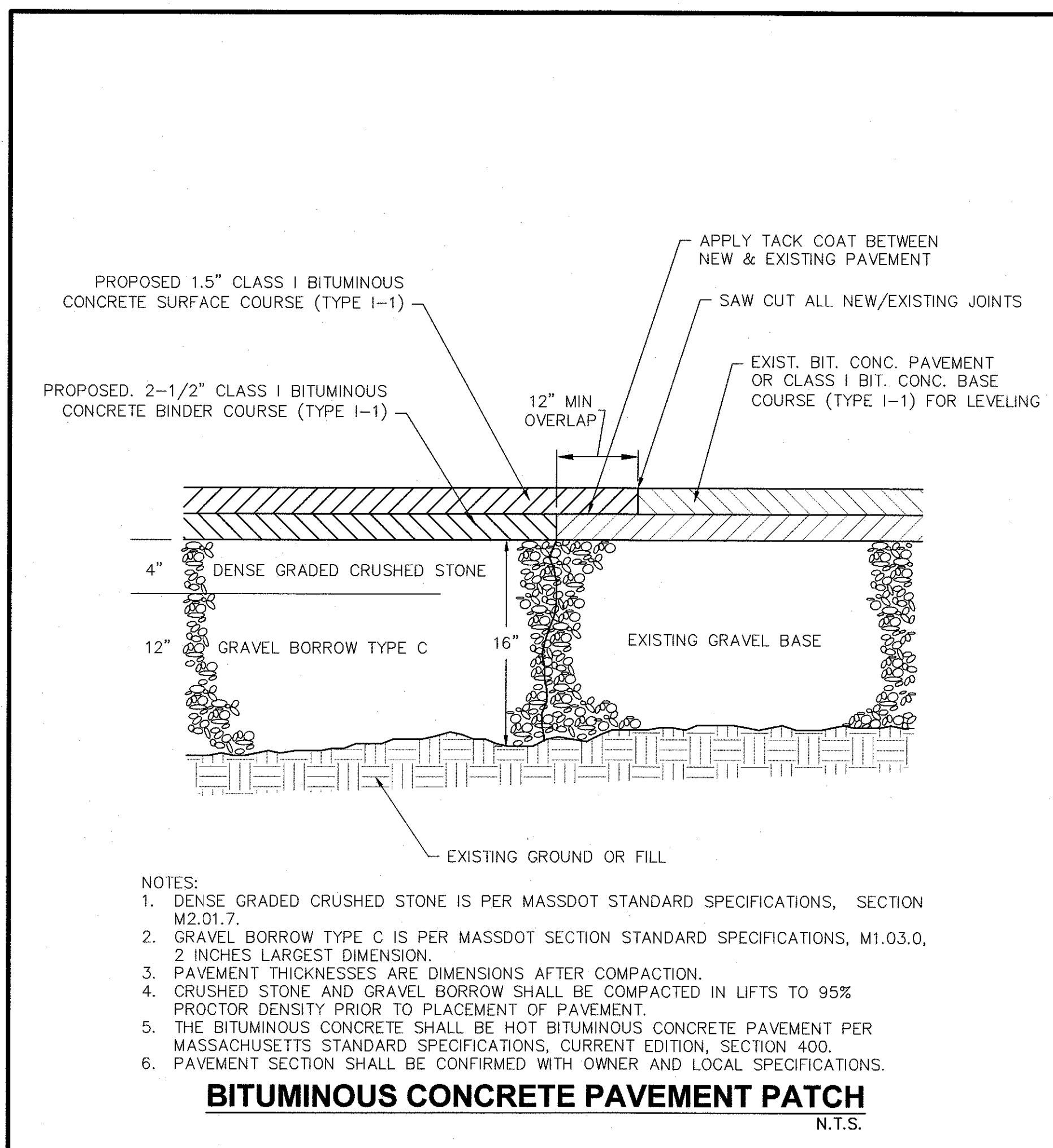
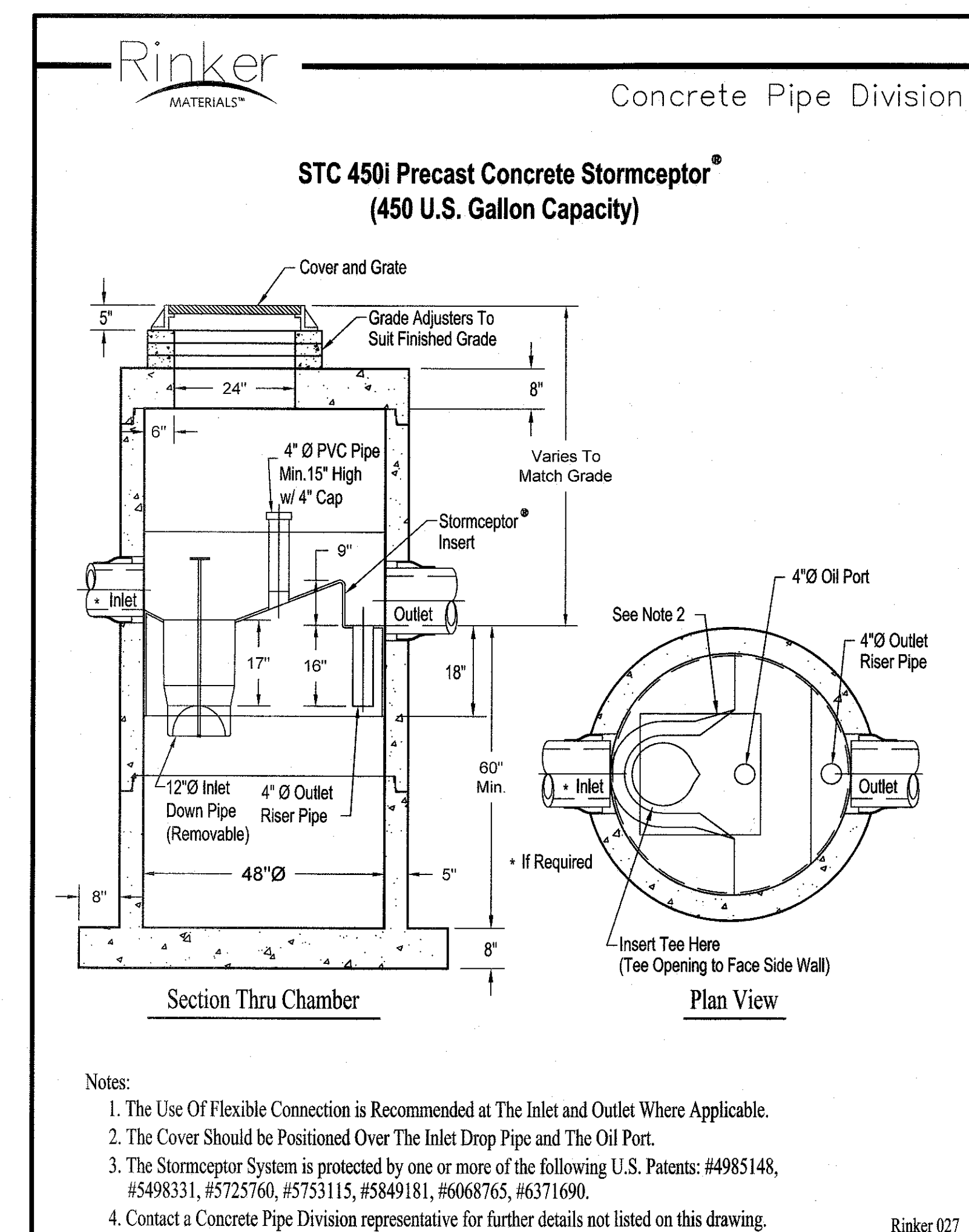
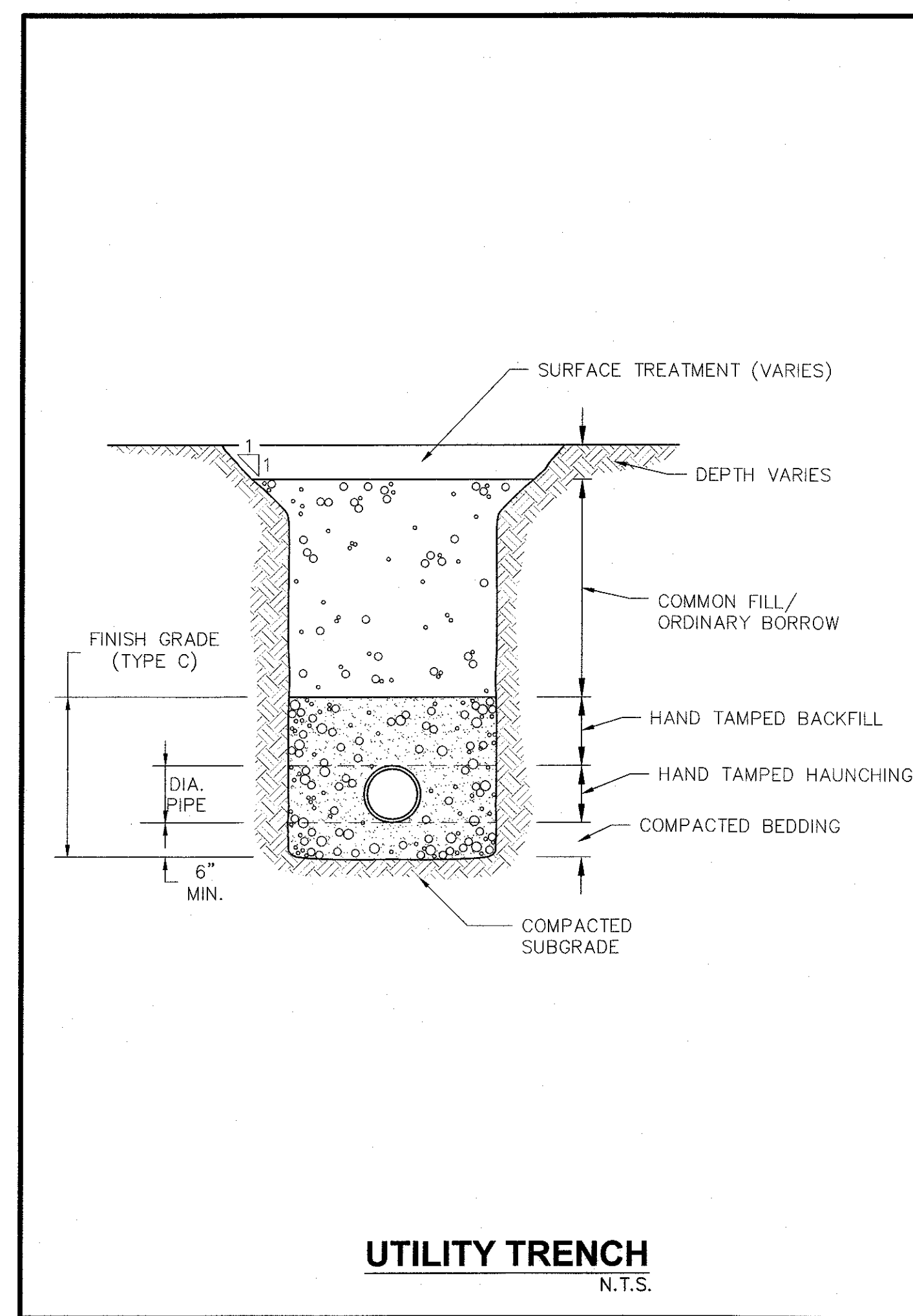
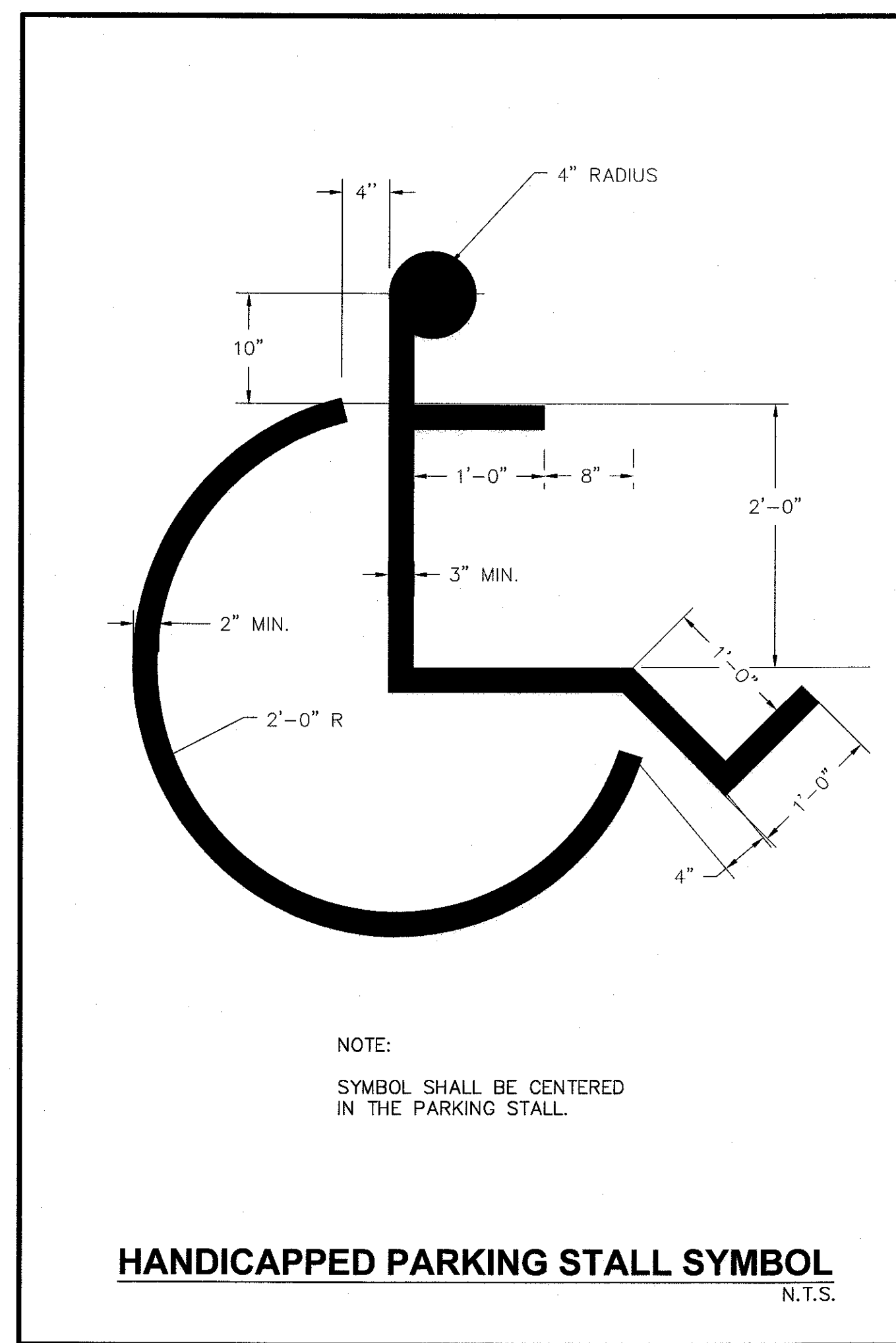
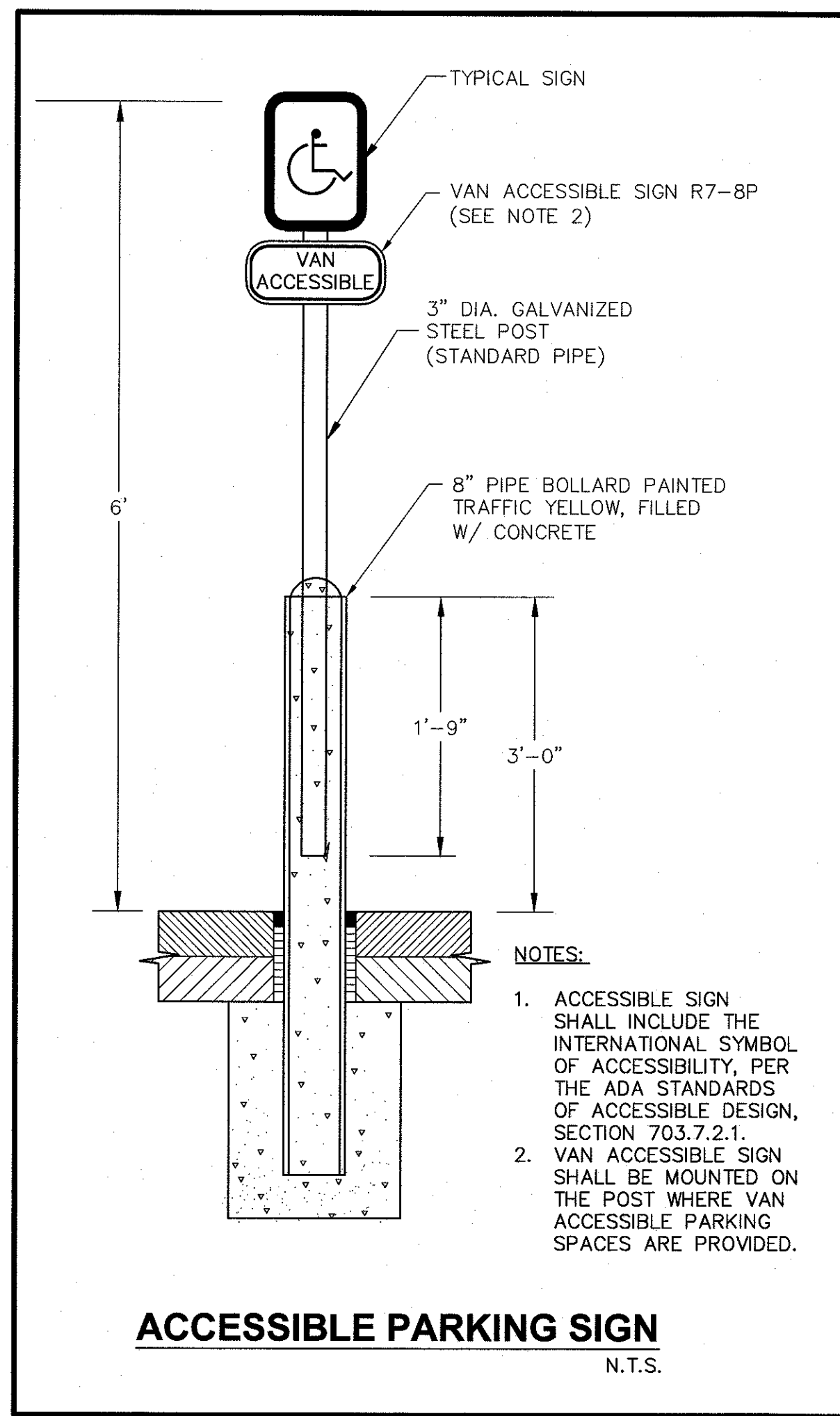
PROJECT:
BUILDING ADDITION
357 PAGE STREET
STOUGHTON, MASSACHUSETTS 02072

CON E C O
Engineers & Scientists
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PHONE 508-697-3111 FAX 508-697-5996
WEBSITE: WWW.CONECO.COM

DRAWING:
LANDSCAPING & LIGHTING PLAN

PERMITTING PLANS

DATE	12/12/2019
DESIGNED: DJD	CHECKED: JCS
DRAFTED: DJD	IN CHARGE: JEN
SCALE:	1" = 20'
PROJECT NO.	7966.1
SHEET NO.	7 OF 12



REVISIONS		DR/CK	DESCRIPTION	D/D/JEN
NO.	DATE	PER	TOWN COMMENTS	
1	02/04/2020			

PREPARED FOR:

367 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

DETAILS
SHEET 2 OF 3

PROJECT:

BUILDING ADDITION
367 PAGE STREET
STOUGHTON, MASSACHUSETTS 02072

PLAN SET

PERMITTING PLANS

CONECO

Engineers & Scientists

1 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355; FAX 508-697-5996
WEBSITE: www.coneco.com

DATE: 12/12/2019

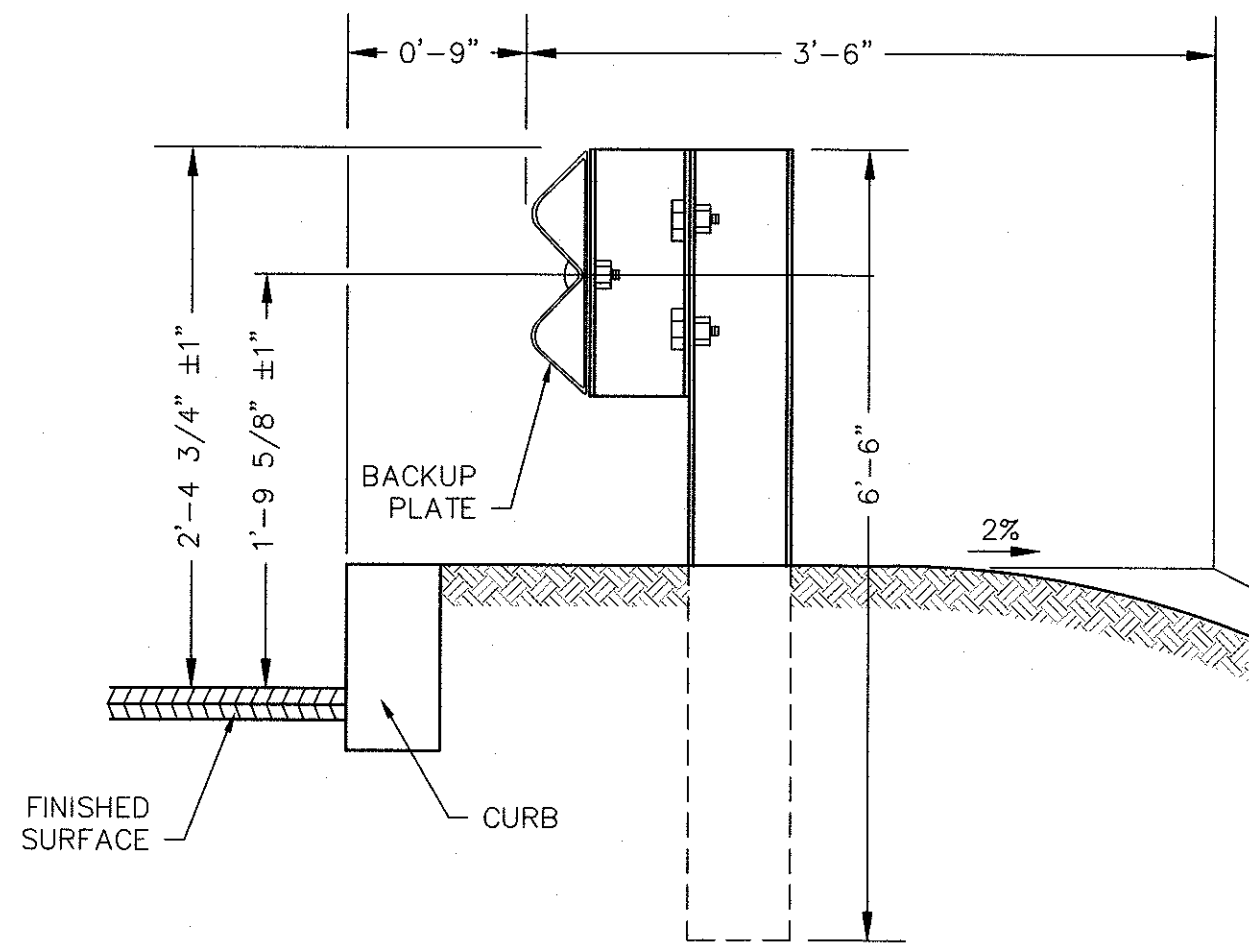
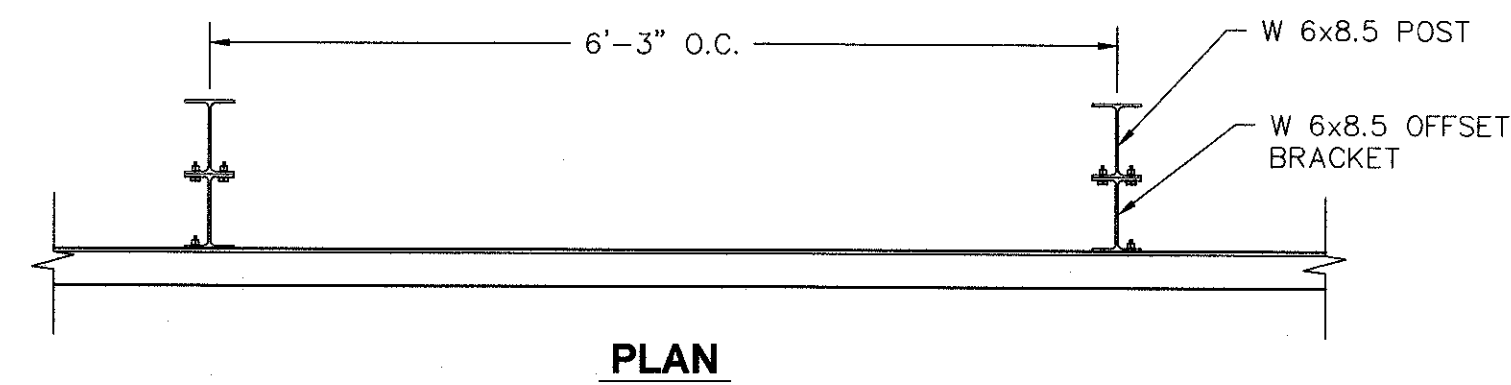
DESIGNED: DJD CHECKED: JCS

DRAFTED: DJD IN CHARGE: JEN

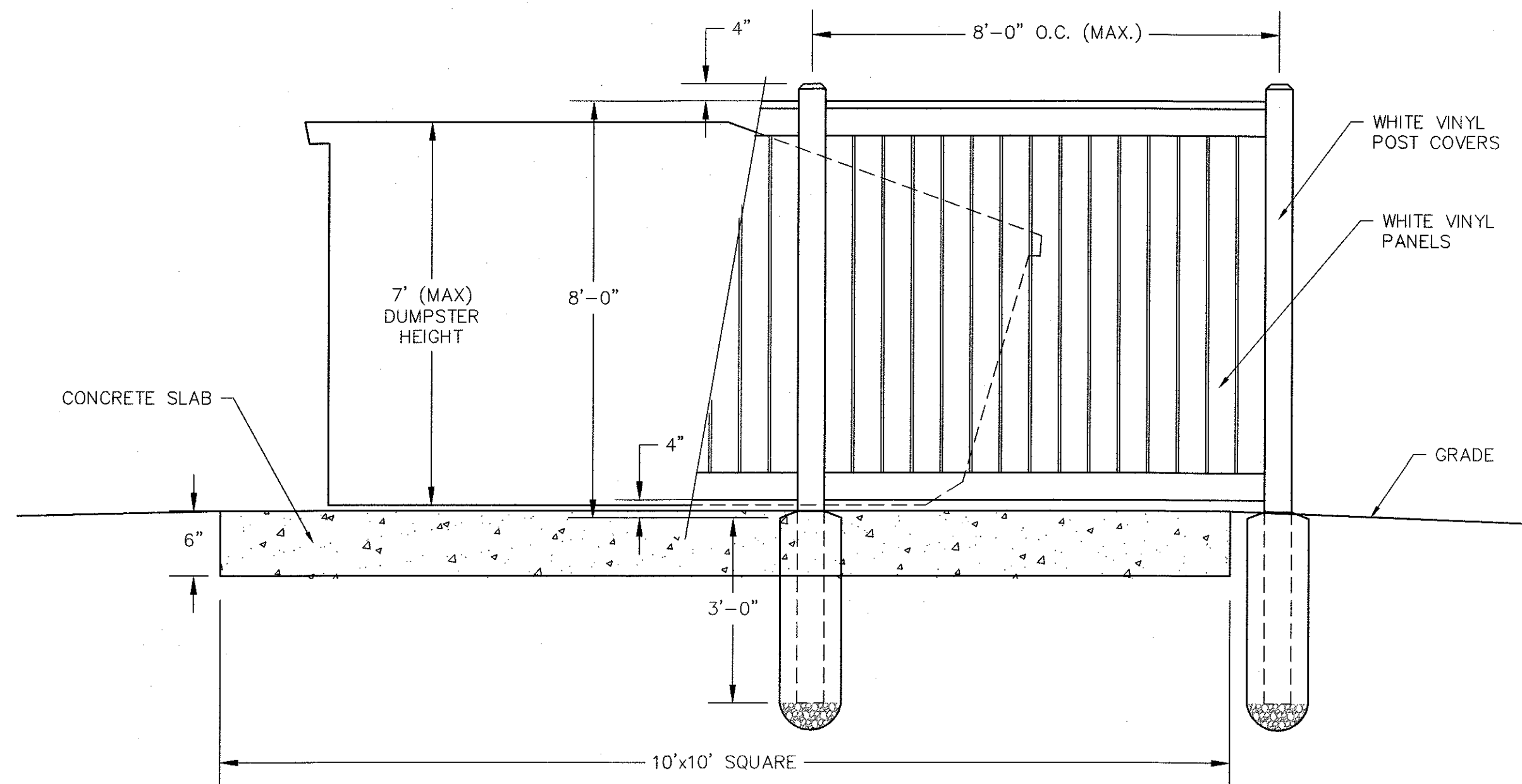
SCALE: N.T.S.

PROJECT NO. 7966.1

SHEET NO. 9 OF 11

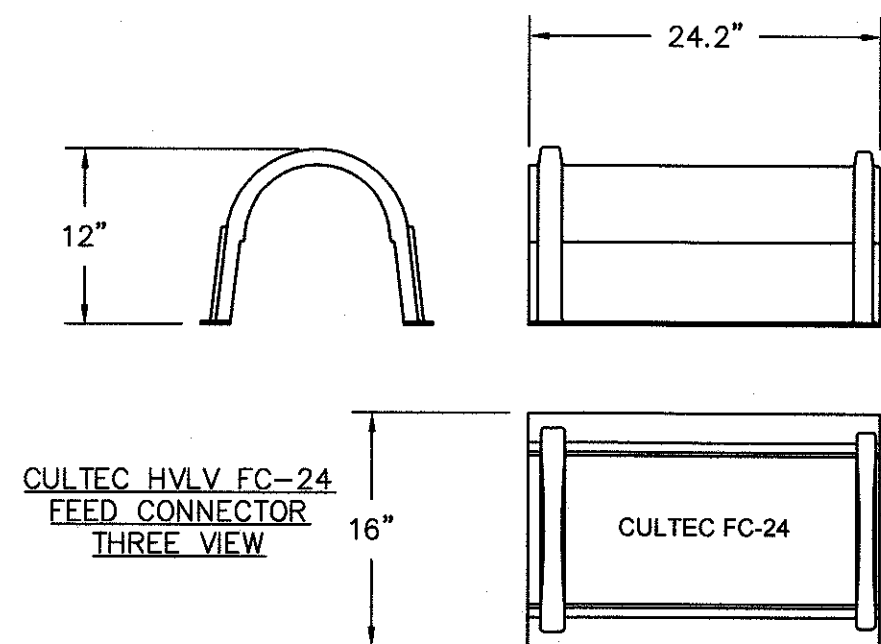
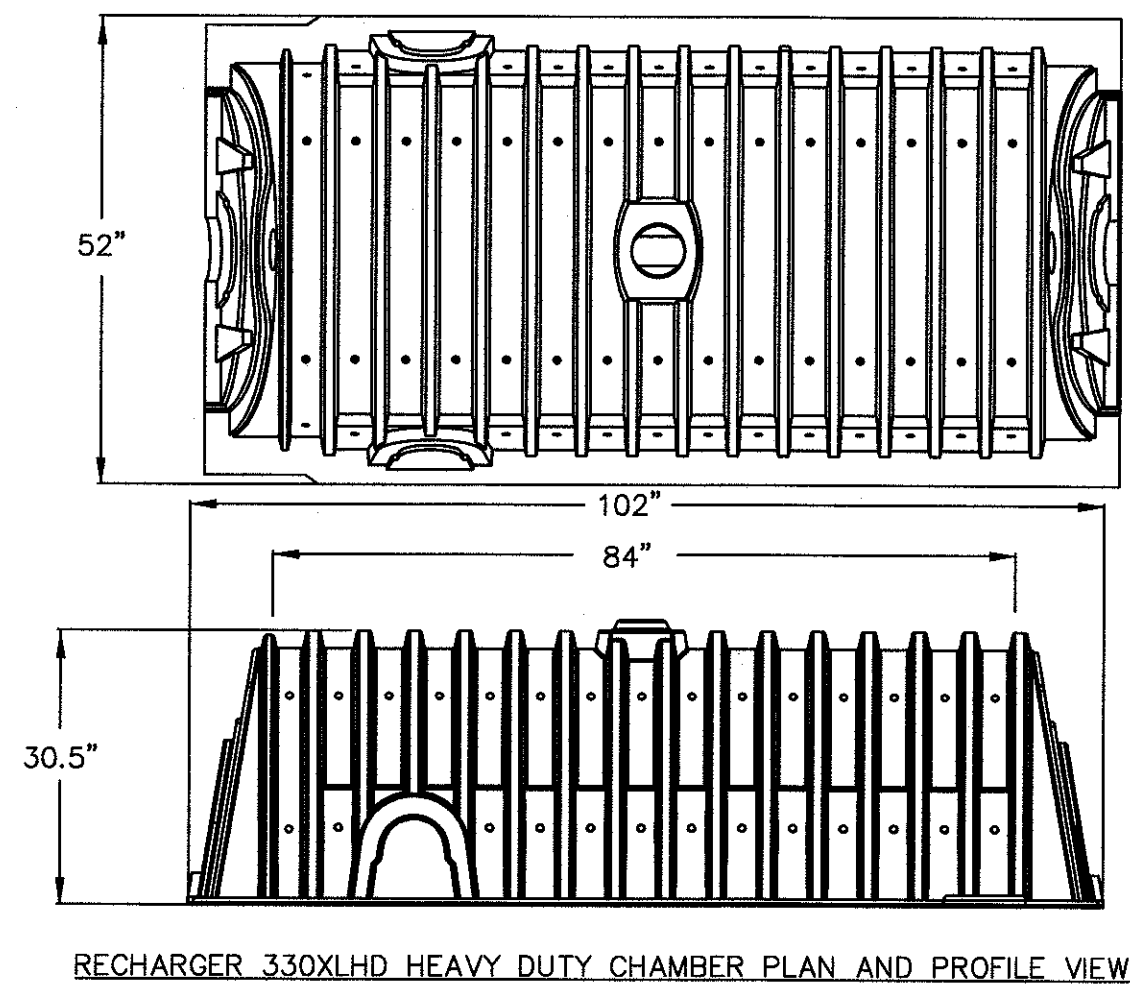


STEEL BEAM GUARDRAIL
N.T.S.

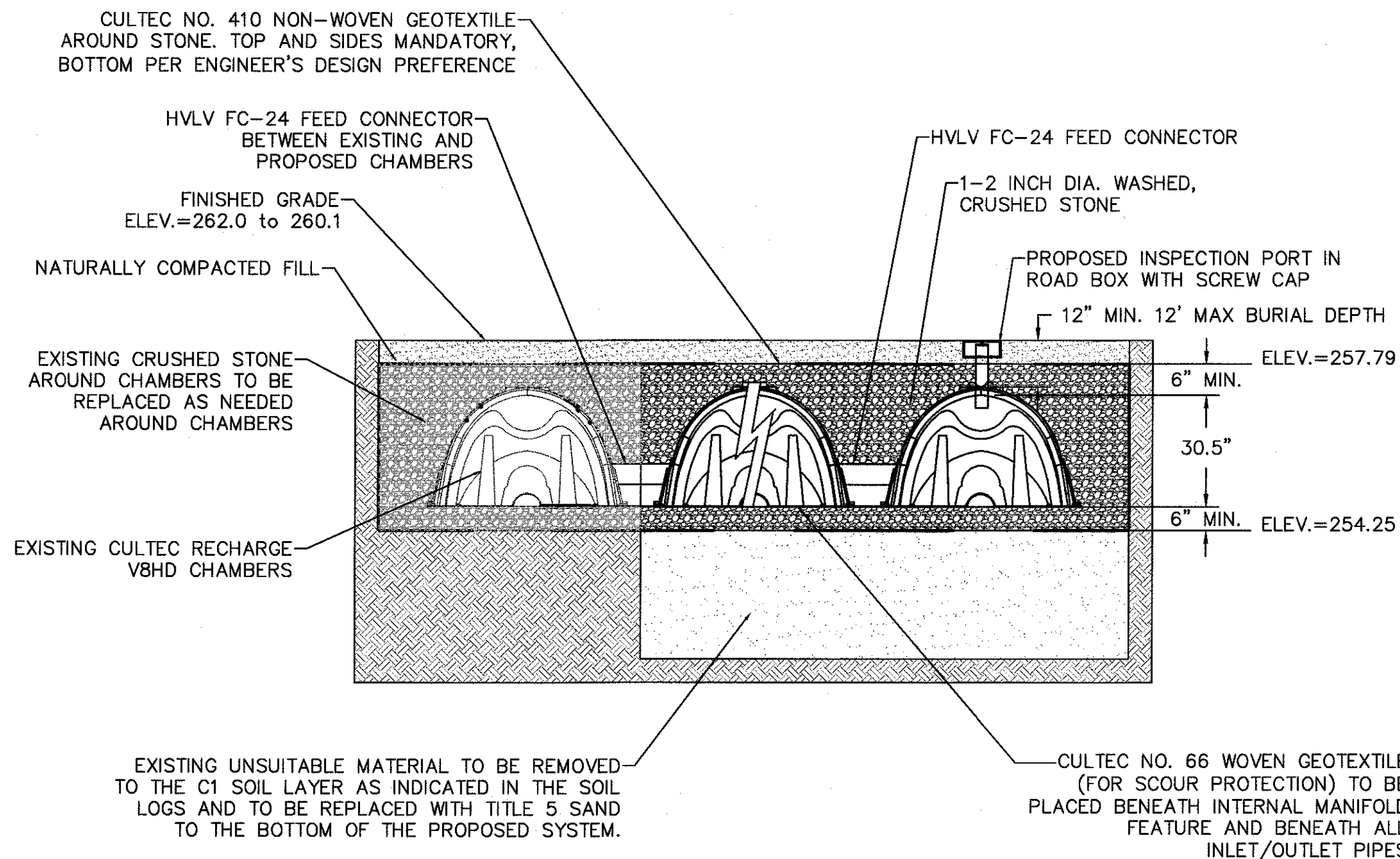


- SPECIFICATIONS:
1. ALL WOOD TO BE NO. 1 GRADE CEDAR AND FREE OF EXCESSIVE CHIPS, CRACKS, WARPS OR KNOTS, UNLESS NOTED OTHERWISE ON DRAWING.
 2. ALL FASTENERS TO BE HOT DIPPED GALVANIZED

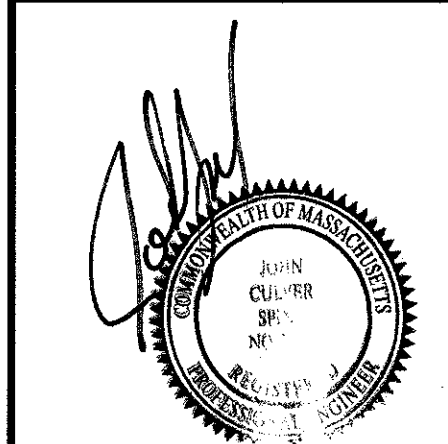
DUMPSTER ENCLOSURE
N.T.S.



CULTEC RECHARGER 330XLHD
N.T.S.



- NOTES:
1. INSTALL INSPECTION PORT TO GRADE WITH H20 RATED ROAD BOX.



REVISIONS		DESCRIPTION	DATE	DR/CK
1	02/04/2020	PER TOWN COMMENTS	DJD/JEN	
2	02/19/2020	PER TOWN COMMENTS	DJD/JEN	

PREPARED FOR: 357 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

DRAWING: DETAILS
SHEET 3 OF 3

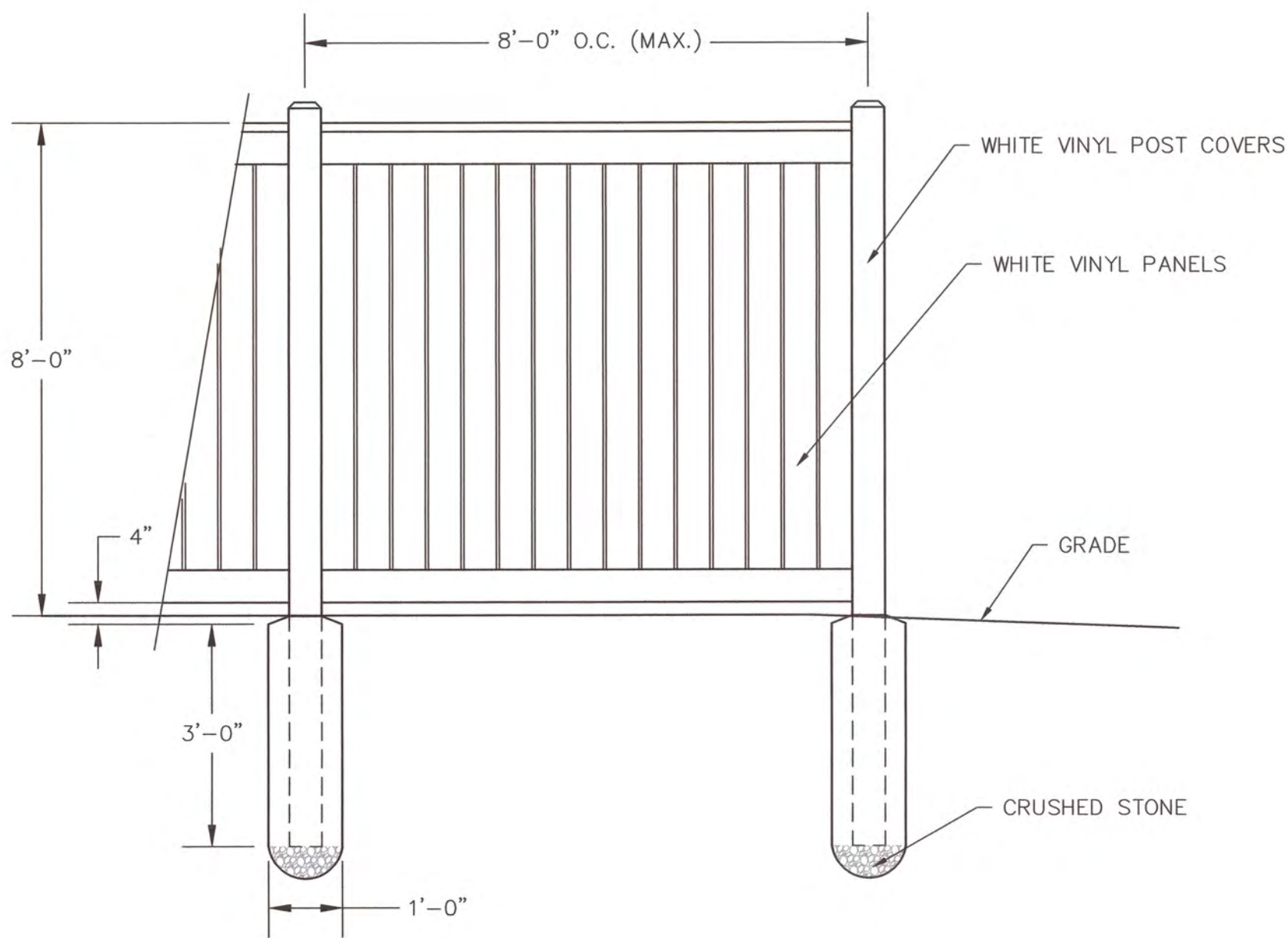
PROJECT: BUILDING ADDITION
357 PAGE STREET
STOUGHTON, MASSACHUSETTS 02072

PLAN SET: PERMITTING PLANS

CONECO
Engineers & Scientists

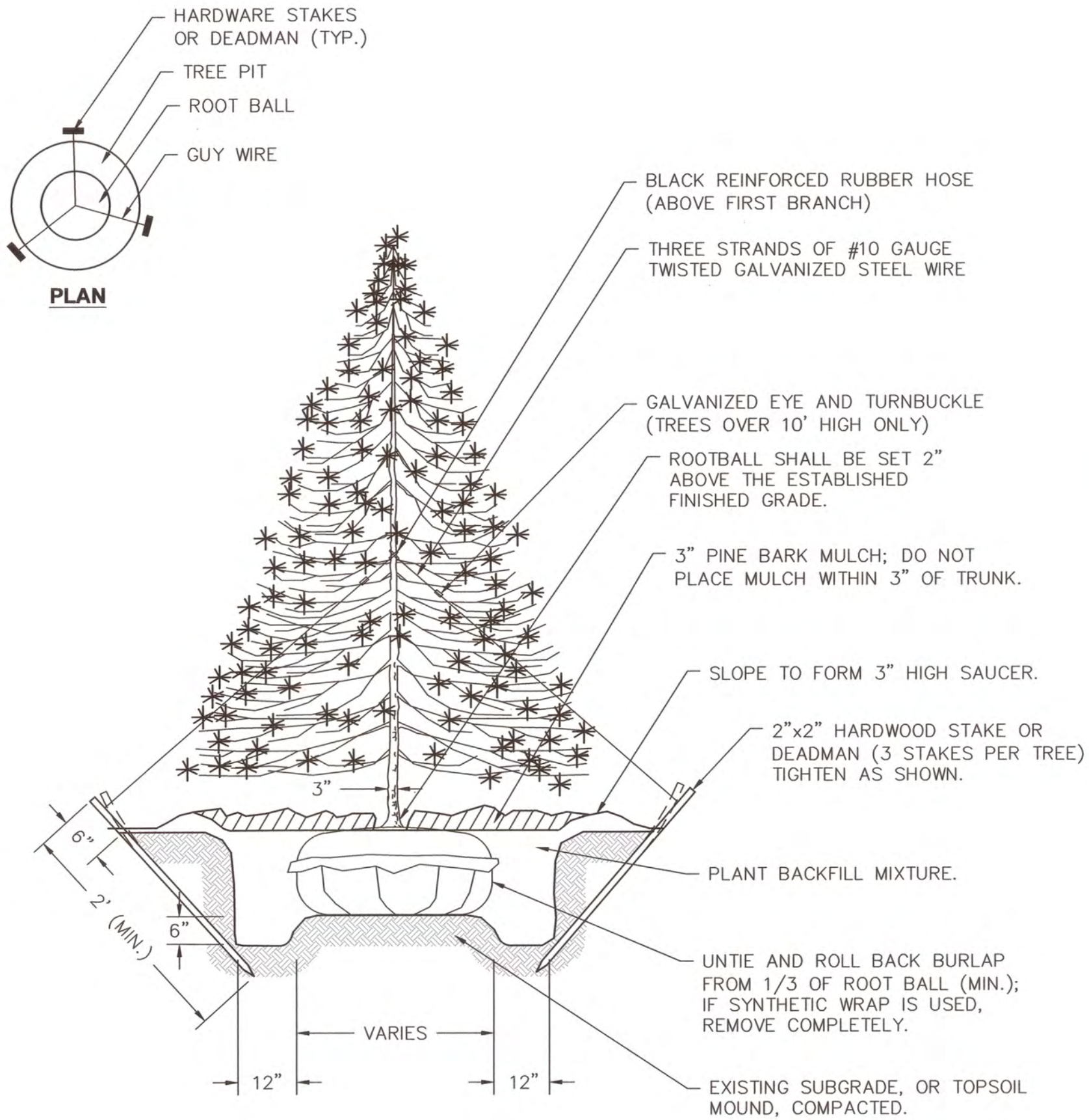
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-687-3191 OR 800-548-1335, FAX 508-687-5966
WEBSITE: www.coneco.com

DATE	12/12/2019
DESIGNED: DJD	CHECKED: JCS
DRAFTED: DJD	IN CHARGE: JEN
SCALE:	N.T.S.
PROJECT NO.	7966.1
SHEET NO.	

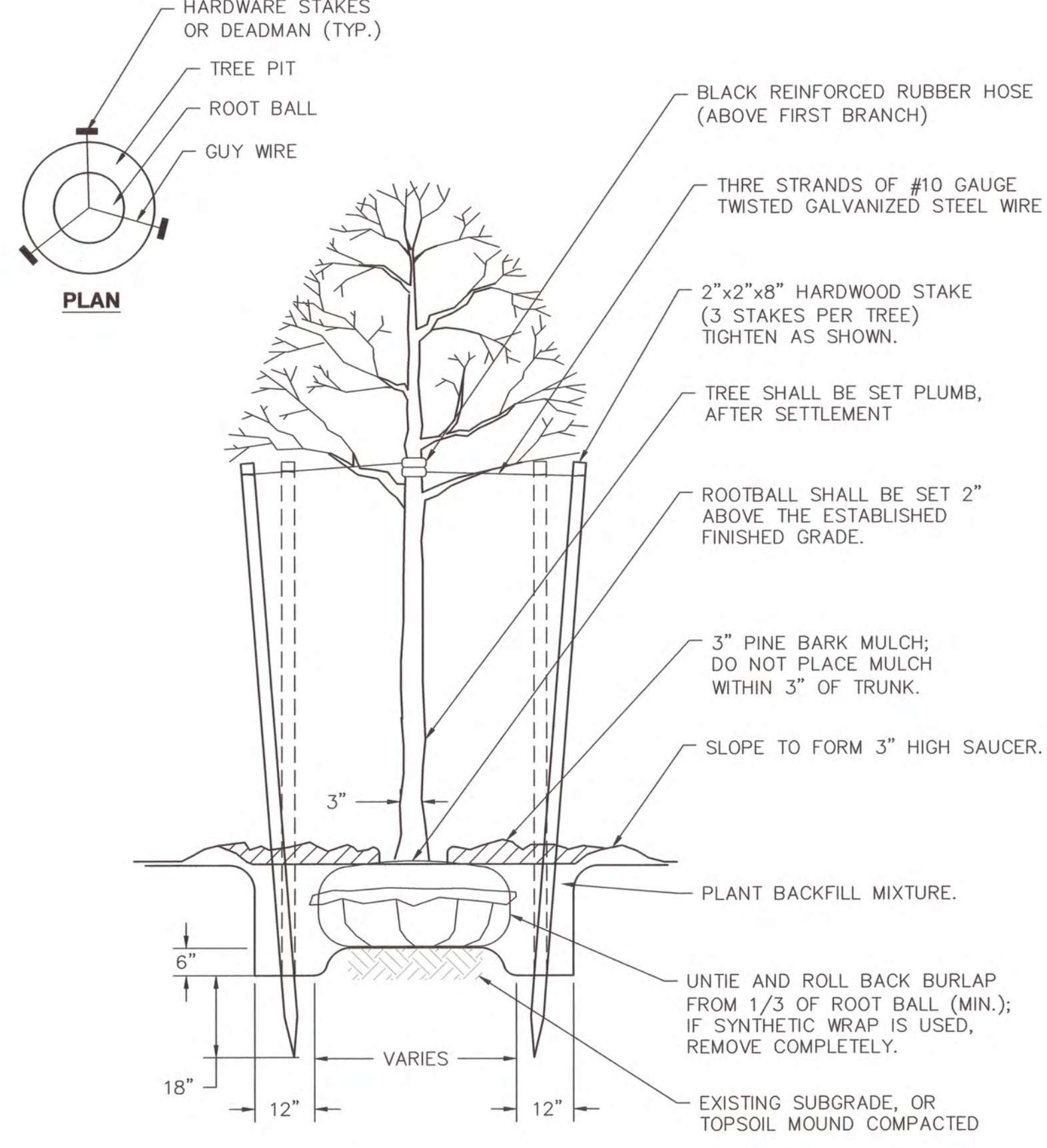


- SPECIFICATIONS:
1. ALL WOOD TO BE NO. 1 GRADE CEDAR AND FREE OF EXCESSIVE CHIPS, CRACKS, WARPS OR KNOTS. UNLESS NOTED OTHERWISE ON DRAWING.
 2. ALL FASTENERS TO BE HOT DIPPED GALVANIZED
 3. ALL WOOD TO BE COATED WITH TWO COATS OF SOLID STAIN. COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT

WHITE VINYL FENCING
N.T.S.



EVERGREEN TREE PLANTING
N.T.S.



TREE PLANTING (FOR TREES UNDER 4" CALIPER)
N.T.S.



RED MAPLE



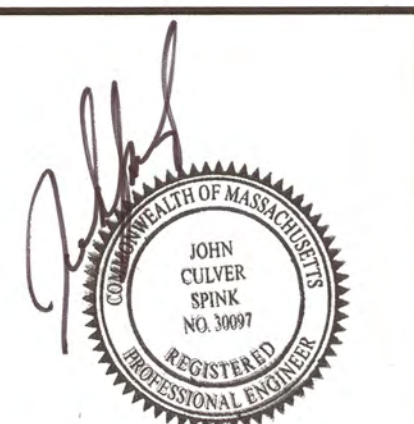
AMERICAN ARBORVITAE



EMPEROR JAPANESE MAPLE



EXISTING BUILDING ELEVATION



NO.	DATE	DESCRIPTION	DR/CK	DJD/JEN	DJD/JEN
1	02/04/2020	PER TOWN COMMENTS			
2	02/19/2020	PER TOWN COMMENTS			

357 PAGE STREET, LLC 23 HIGHLAND ROAD ROSLINDALE, MASSACHUSETTS 02131	LANDSCAPING DETAILS
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BUILDING ADDITION 357 PAGE STREET STOUGHTON, MASSACHUSETTS 02072	PERMITTING PLANS
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CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355; FAX 508-697-5986
WEBSITE: www.coneco.com

DATE	12/12/2019
DESIGNED: DJD	CHECKED: JCS
DRAFTED: DJD	IN CHARGE: JEN
SCALE:	N.T.S.
PROJECT NO.	7966.1
SHEET NO.	11



TOWN OF STOUGHTON
MASSACHUSETTS
RECEIVED
STOUGHTON, MASS.
MAY 18 3 00
OFFICE OF
THE TOWN CLERK

Site Plan Approval for
357 Page Street
Case # 19-007

Date: May 14, 2020
Applicant: 357 Page Street, LLC
23 Highfield Drive
Roslindale, MA 02131
Owner: 357 Page Street, LLC
23 Highfield Drive
Roslindale, MA 02131
Representative: Coneco Engineer's & Scientist, Inc.
4 First Street
Bridgewater, MA 02324
Property: 357 Page Street (Assessor's Map 94, Portion of Lot 32)

I) Project Summary

The proposed project includes the construction of a 6,400 SF addition to the existing 9,596 SF warehouse building in the Industrial (I) zoning district.

II) Procedural History

- A) Application for Site Plan Approval was made by the above referenced applicant and owners and filed with the Planning Board on December 17, 2019.
- B) The Site Plan submitted for review to the Planning Board is titled "Building Addition Permitting Plans, 357 Page Street, Stoughton, Massachusetts 02072" prepared by Coneco Engineer's & Scientist, Inc., 4 First Street, Bridgewater, MA 02324, dated December 12, 2019 and revised through March 11, 2020.

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- C) The land shown on the Site Plan is located off of Page Street and shown on Assessor's Map 94, Lot 32 (the "Property") and is located in the Industrial (I) zoning district and consists of approximately 1.84 acres of lot area.
- D) A public hearing on the Site Plan Application was held on January 9, 2020, February 13, 2020, February 27, 2020 and May 14, 2020.

II) Application Submittals

1. The Site Plan submitted for review to the Planning Board is titled "Building Addition Permitting Plans, 357 Page Street, Stoughton, Massachusetts 02072" prepared by Coneco Engineer's & Scientist, Inc., 4 First Street, Bridgewater, MA 02324, dated December 12, 2019 and revised through March 11, 2020.
2. Stormwater Management Report prepared by Coneco Engineer's & Scientist, Inc. dated December 12, 2019 and revised through February 4, 2020.

III) Related Documents

1. Copy of the Legal Public Hearing notice from the edition of the Journal-Sun dated December 25, 2019 and January 1, 2020.
2. Certified List of Abutters dated November 25, 2019
3. Project Narrative dated December 12, 2019.
4. Comment letter from John Charbonneau, Town Planner dated December 18, 2019.
5. Impact Statement prepared by Coneco Engineer's & Scientist, Inc. dated December 20, 2019.
6. Comment letter from Police Chief Donna McNamara dated December 30, 2019.
7. Comment letter from Larry Perry, Town Sanitarian dated January 6, 2020.
8. Comment letter from Scott Breen, Deputy Fire Chief dated January 8, 2020.
9. First Review comment letter from Craig Horsfall, Assistant Town Engineer dated January 7, 2020.
10. Operation and Maintenance Plan prepared by Coneco Engineer's & Scientist, Inc. dated February 4, 2020.
11. Response to Town Planner comments dated February 4, 2020.
12. Response to Engineering comments dated February 4, 2020.
13. Response to Fire Department comments dated February 4, 2020.
14. Waiver Request letter dated February 4, 2020.
15. Second Review comment letter from Craig Horsfall, Assistant Town Engineer dated February 11, 2020.

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IV) Findings

1. The Planning Board finds that the applicant has submitted the required information for determination of approval of the Site Plan.
2. The Planning Board finds that the proposed use will not be detrimental to this district or the surrounding neighborhood and will not create noise, dust, odor or visual impacts that will have a negative effect.
3. After careful review of this project by the Board of Health, Building Department, Fire Department, Police Department, Conservation Commission, Department of Public Works and the Engineering Department, the Planning Board analyzed all the comments and reports received. There were several productive in-house meetings with the Applicant in conjunction with extensive professional technical reviews completed by the Engineering Department throughout this process and provided due diligence on all aspects with a comprehensive approach to the impact of the development on the community.
4. The Planning Board, in granting the Applicant's request for a Site Plan Approval pursuant to the provisions of Section 10.6 "Site Plan Approval" found that the Applicant has met the conditions and the project will not result in any substantial detriment to the district.

V) Waivers

1. Zoning Bylaw Section 3.1.4 "General Landscaping Requirements" for a reduction in the minimum fence height.
2. Zoning Bylaw Section 6.4.3 "General Landscaping Requirements to allow the applicant to treat all on-site slopes as shown on the approved plans.
3. Zoning Bylaw Section 6.4.7 "General Landscaping Requirements" to maintain the existing concrete apron along the building foundation wall and to continue it along the foundation of the proposed addition.
4. Zoning Bylaw Section 10.8.9 "Preparation and Contents of Site Plan" to omit color renderings from the application submission.
5. Zoning Bylaw Section 10.8.9 "Preparation and Contents of Site Plan" to omit a proposed construction schedule from the site plan

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VI) Decision

A) General Conditions

1. This decision for Site Plan Approval shall expire in two (2) years from the filing date of this decision unless substantial construction has commenced. The expiration of this decision may be extended, for good cause, upon timely written request by the applicant.
2. Prior to commencement of construction, a revised full set of approved plans and calculations, showing any required changes to the Site Plan required by this decision shall be submitted to the Planning Board for its records. The Planning Board decision shall be scanned onto and incorporated into the approved Site Plan/Special Permit plan set on the last page of the plan and shall be submitted to the Planning Department.
3. Electronic PDF copies of the approved plans shall be submitted to the Engineering Department and the Planning Department following endorsement and recording. The plans shall also be submitted to the Engineering Department in AutoCAD format.
4. Any modification(s) affecting the approved site plan, this decision or any other action or condition approved under this decision shall be subject to the review and approval of the Planning Board prior to implementing said modification(s) on the ground. Minor modifications may not require an additional public hearing, which is at the discretion of the Planning Board.
5. The Applicant is responsible for the filing of this decision with the Registry of Deeds.
6. The Applicant shall hold a pre-construction meeting with the Engineering Department to coordinate the necessary inspections.
7. All applicable Zoning Bylaw requirements of the Town of Stoughton shall be satisfied.
8. The project shall be constructed in accordance with any approvals issued relative to this project from all applicable town boards, departments and commissions, who shall retain their respective authorities and oversight of such permits, approval and decisions.
9. No site activity shall take place at the property under the Site Plan without proper authorization and permitting from all local and state agencies, as required.

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10. Construction shall be performed by contractors licensed to perform such work in the Town of Stoughton.
11. All required inspection fees shall be paid through the Engineering Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first in accordance with the fee schedule dated March 23, 2017.
12. The cost of any necessary outside testing, inspectional or other services required by any town department as part of the development process for the project shall be borne by the applicant and the timing of payment thereof shall be determined by the requesting source.
13. Any required easements, licenses, permits or grants of usage required as part of the development process for the project shall be obtained by the applicant prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
14. The Applicant shall submit final construction plans to the Engineering Department and the Public Works Department prior to the issuance of a demolition permit, the issuance of a building permit or the initiation of site work, whichever of these occurs first.
15. Required soil and erosion control measures shall be erected and serviceable prior to any site activity. For purposes of controlling erosion, all grades exposed for greater than a 30-day period shall be stabilized.
16. The Applicant shall be responsible for ensuring that any trucks involved in hauling materials onto or off-site are properly covered and otherwise secured from spilling material along any street outside the site. Violation of this condition may lead to the discontinuation of construction activities and/or permits and fines.
17. Wetting and stabilization of exposed grades shall occur as necessary to suppress dust generation. The use of municipal water for wetting of exposed grades and for other purposes associated with this approved operation shall require the prior written authorization of the Stoughton Public Works Department. Copies of said authorization must be filed by the Applicant with the Planning Board and the Building Commissioner prior to its use. Otherwise, the potable water shall be transported to the site from a lawful source outside of the Town of Stoughton or provided by private well.
18. A Final As-Built Plan that is stamped and signed by the fully-licensed project engineer shall be submitted to the Engineering Department and

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the Planning Department along with a letter that details any differences between the as-built plan and the approved plan prior to the issuance any certificate of occupancy.

19. The Applicant shall record the "Operation and Maintenance Plan," attached hereto as Exhibit "A," and provide proof of recording to the Planning Board and the Engineering Department prior to the issuance of a Building Permit.

B) Special Conditions

1. During construction, the hours of operation shall be from 7:00 am until 8:00 pm Monday through Friday and 8:00 am until 5:00 pm on Saturday. No machinery shall be started or run prior to those start times. There shall be no construction activities on Sunday or any state or federal holiday.

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VII) Record of Vote

The following members of the Planning Board constituting a majority, hereby vote to approve the Site Plan based on the above stated facts, findings and conditions. They also voted to authorize the Chairman to endorse the decision on their behalf.

On this day of May 14, 2020.

Joseph Scardino, Chairman

Daniel Kelly, Vice Chairman

Lynne Jardin

Jonathan Garland

Senesio Kabba

Cc: Town Clerk:
Applicant:
Interested Parties:

CERTIFICATION:

The Planning Board certifies that a copy of this decision was filed with the Town Clerk of the Town of Stoughton on May 18, 2020.

FOR THE PLANNING BOARD

Joseph Scardino, Chairman

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REVISIONS				NO.	DATE	DESCRIPTION	DR/CK
DESIGNED	CHECKED	DRAWN	IN CHARGE				
				1	02/04/2020	PER TOWN COMMENTS	D/J/JEN
				2	02/20/2020	PER TOWN COMMENTS	D/J/JEN
				3	03/11/2020	PER TOWN COMMENTS	D/J/JEN

357 PAGE STREET, LLC
23 HIGHFIELD ROAD
ROSLINDALE, MASSACHUSETTS 02131

PLANNING BOARD DECISION

BUILDING ADDITION
357 PAGE STREET
STOUGHTON, MASSACHUSETTS 02072

PERMITTING PLANS

CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-545-3355; FAX 508-697-5996
WEBSITE: www.coneco.com

DATE	12/12/2019
DESIGNED: D/J	CHECKED: JCS
DRAFTED: D/J	IN CHARGE: JEN
SCALE:	N.T.S.
PROJECT NO.	7966.1
SHEET NO.	

12
OF 12